

CITY OF ALBUQUERQUE



March 13, 2007

Scott McGee, P.E.
Isaacson & Arfman
128 Monroe St. NE
Albuquerque, NM 87108

**Re: Dion's Corporate Addition, 8525 Jefferson NE, Lot 1 Unit 5,
Approval of Permanent Certificate of Occupancy (C.O.)
Engineer's Stamp dated 4/24/05 (C-17/D13BG)
Certification dated 3/12/07**

Based upon the information provided in your submittal received 3/12/07, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

P.O. Box 1293

If you have any questions, you can contact me at 924-3982.

Albuquerque

Sincerely,

New Mexico 87103

Timothy Sims
Plan Checker, Planning Dept.
Development and Building Services

www.cabq.gov

C: Katrina Sigala
File C-17/D13G

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: DION'S CORPORATE ADDITION
DRB #: _____ EPC #: _____

ZONE MAP / DRG. FILE: #C-17 / D13G
WORK ORDER #: _____

LEGAL DESCRIPTION: LOT 1, UNIT V, LOOP INDUSTRIAL DISTRICT
CITY ADDRESS 8525 JEFFERSON NE

ENGINEERING FIRM: Isaacson & Arfman, P.A.

ADDRESS: 128 Monroe St. NE

CITY, STATE: Albuquerque, NM

CONTACT: SCOTT McGEE

PHONE: 268-8828

ZIP CODE: 87108

OWNER DION'S PIZZA

ADDRESS: 8525 JEFFERSON NE

CITY, STATE: ALBUQUERQUE, NM

CONTACT: _____

PHONE: _____

ZIP CODE: 87113

ARCHITECT: ALEX HARRISON ARCHITECT

ADDRESS: 8605 MOUNTAIN RD NE

CITY, STATE: Albuquerque, New Mexico

CONTACT: ALEX HARRISON

PHONE: 299-6322

ZIP CODE: 87112

SURVEYOR: JEFF MORTENSEN & ASSOCS.

ADDRESS: _____

CITY, STATE: Albuquerque, New Mexico

CONTACT: CHUCK CALA

PHONE: _____

ZIP CODE: _____

CONTRACTOR: GERALD MARTIN

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

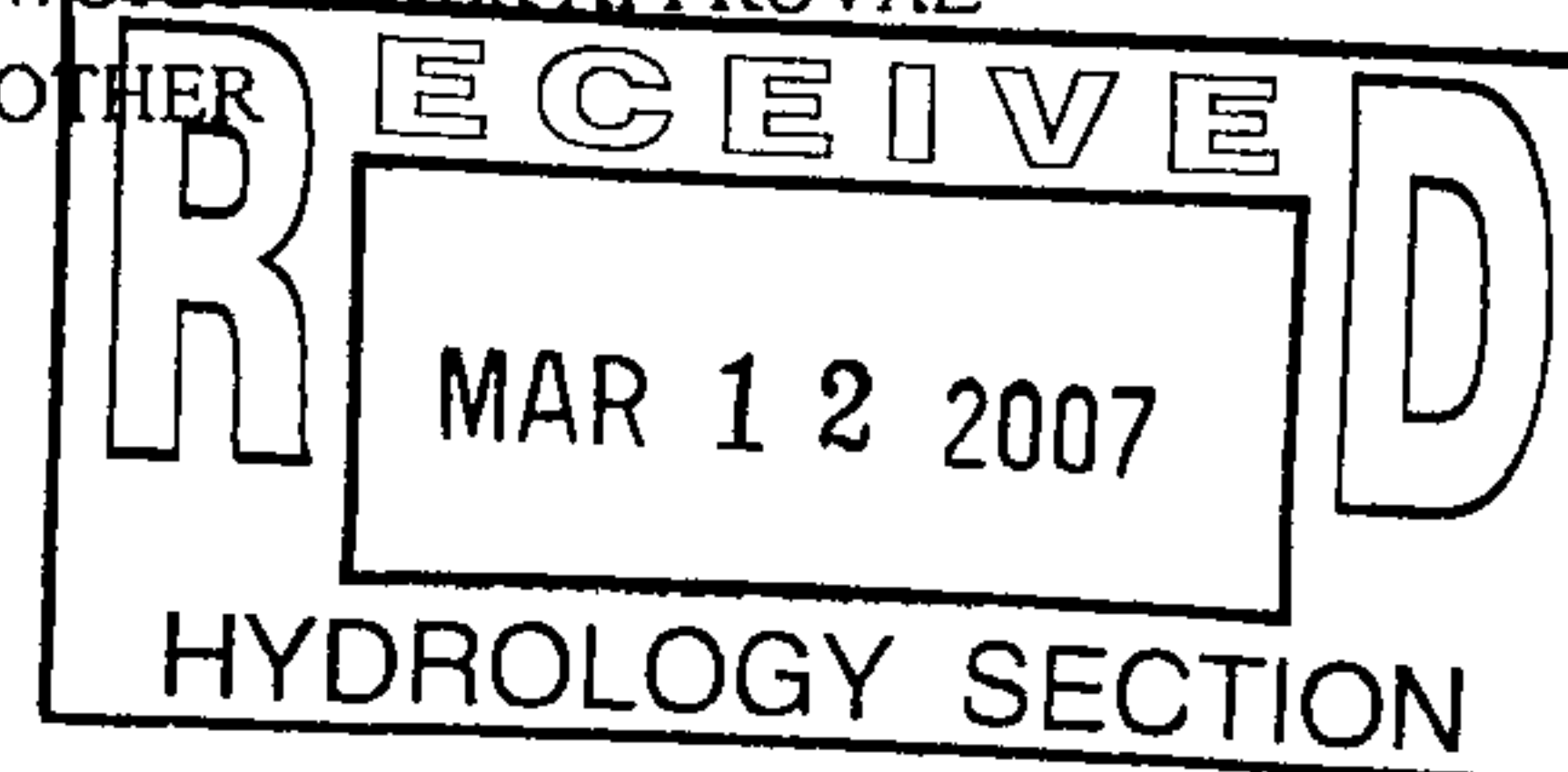
- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1ST *REQUIRES TCL or equal*
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR / LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERTIFICATION (TCL)
☐ ENGINEER'S CERTIFICATION (DRB APPR, SITE PLAN)
☐ OTHER

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☐ NO
☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPR
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER



DATE SUBMITTED: Monday, 03/12/07 BY: SCOTT M McGEE

Isaacson & Arfman, P.A.

Requests for approvals of Site Development Plans and / or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five acres and Sector Plans
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five acres
3. Drainage Report. Required for subdivisions containing more than ten (10) lots or constituting five acres or more.

CITY OF ALBUQUERQUE



May 17, 2006

Scott M. McGee, PE
Isaacson & Arfman, PA
128 Monroe St. NE.
Albuquerque, NM 87108

Re: Dions Corporate Addition, 8525 Jefferson NE
Grading and Drainage Plan
Engineer's Stamp dated 4-24-06 (C17/D13G)

Dear Mr. McGee,

Based upon the information provided in your submittal received 4/24/06, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Also, prior to Certificate of Occupancy release, Engineer Certification of the grading plan per the DPM checklist will be required.

P.O. Box 1293

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. If you have any questions regarding this permit please feel free to call the DMD Storm Drainage Design section at 768-3654 (Charles Caruso).

Albuquerque

If you have any questions, you can contact me at 924-3977.

New Mexico 87103

www.cabq.gov

Sincerely,

Rudy E. Rael, Associate Engineer
Planning Department.
Building and Development Services

C: Charles Caruso
CC: file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: DION'S CORPORATE ADDITION

DRB #: _____ EPC #: _____

ZONE MAP / DRG. FILE #C - 17 /D13G

WORK ORDER #: _____

LEGAL DESCRIPTION: LOT 1, UNIT V, LOOP INDUSTRIAL DISTRICT

CITY ADDRESS 8525 JEFFERSON NE

ENGINEERING FIRM: Isaacson & Arfman, P.A.

ADDRESS: 128 Monroe St. NE

CITY, STATE: Albuquerque, NM

CONTACT: SCOTT McGEE

PHONE: 268-8828

ZIP CODE: 87108

OWNER DION'S PIZZA

ADDRESS: 8525 JEFFERSON NE

CITY, STATE: ALBUQUERQUE, NM

CONTACT: _____

PHONE: _____

ZIP CODE: 87113

ARCHITECT: ALEX HARRISON ARCHITECT

ADDRESS: 8605 MOUNTAIN RD NE

CITY, STATE: Albuquerque, New Mexico

CONTACT: ALEX HARRISON

PHONE: 299-6322

ZIP CODE: 87112

SURVEYOR: JEFF MORTENSEN & ASSOCS.

ADDRESS: _____

CITY, STATE: Albuquerque, New Mexico

CONTACT: CHUCK CALA

PHONE: _____

ZIP CODE: _____

CONTRACTOR: GERALD MARTIN

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

☐ DRAINAGE PLAN 1ST *REQUIRES TCL or equal*

☐ DRAINAGE PLAN RESUBMITTAL

☐ CONCEPTUAL GRADING & DRAINAGE PLAN

☒ GRADING PLAN

☐ EROSION CONTROL PLAN

☐ ENGINEER'S CERTIFICATION (HYDROLOGY)

☐ CLOMR / LOMR

☐ TRAFFIC CIRCULATION LAYOUT (TCL)

☐ ENGINEER'S CERTIFICATION (TCL)

☐ ENGINEER'S CERTIFICATION (DRB APPR, SITE PLAN)

☐ OTHER

See paid ✓

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES

☐ NO

☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA / FINANCIAL GUARANTEE RELEASE

☐ PRELIMINARY PLAT APPROVAL

☐ S. DEV. PLAN FOR SUB'D APPROVAL

☐ S. DEV. PLAN FOR BLDG PERMIT APPR

☐ SECTOR PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☒ BUILDING PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY (PERM)

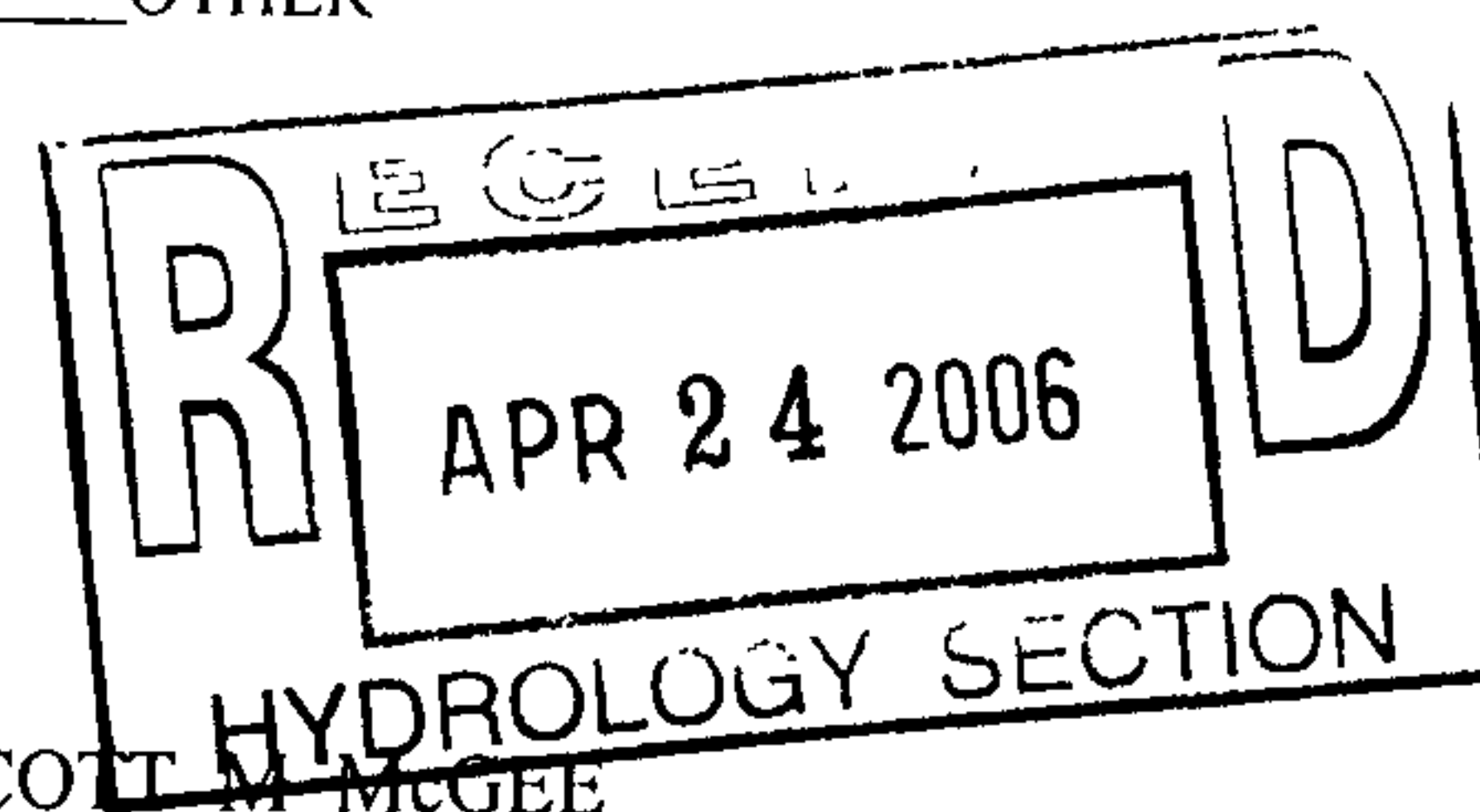
☐ CERTIFICATE OF OCCUPANCY (TEMP)

☐ GRADING PERMIT APPROVAL

☐ PAVING PERMIT APPROVAL

☐ WORK ORDER APPROVAL

☐ OTHER



DATE SUBMITTED: Monday, April 24, 2006

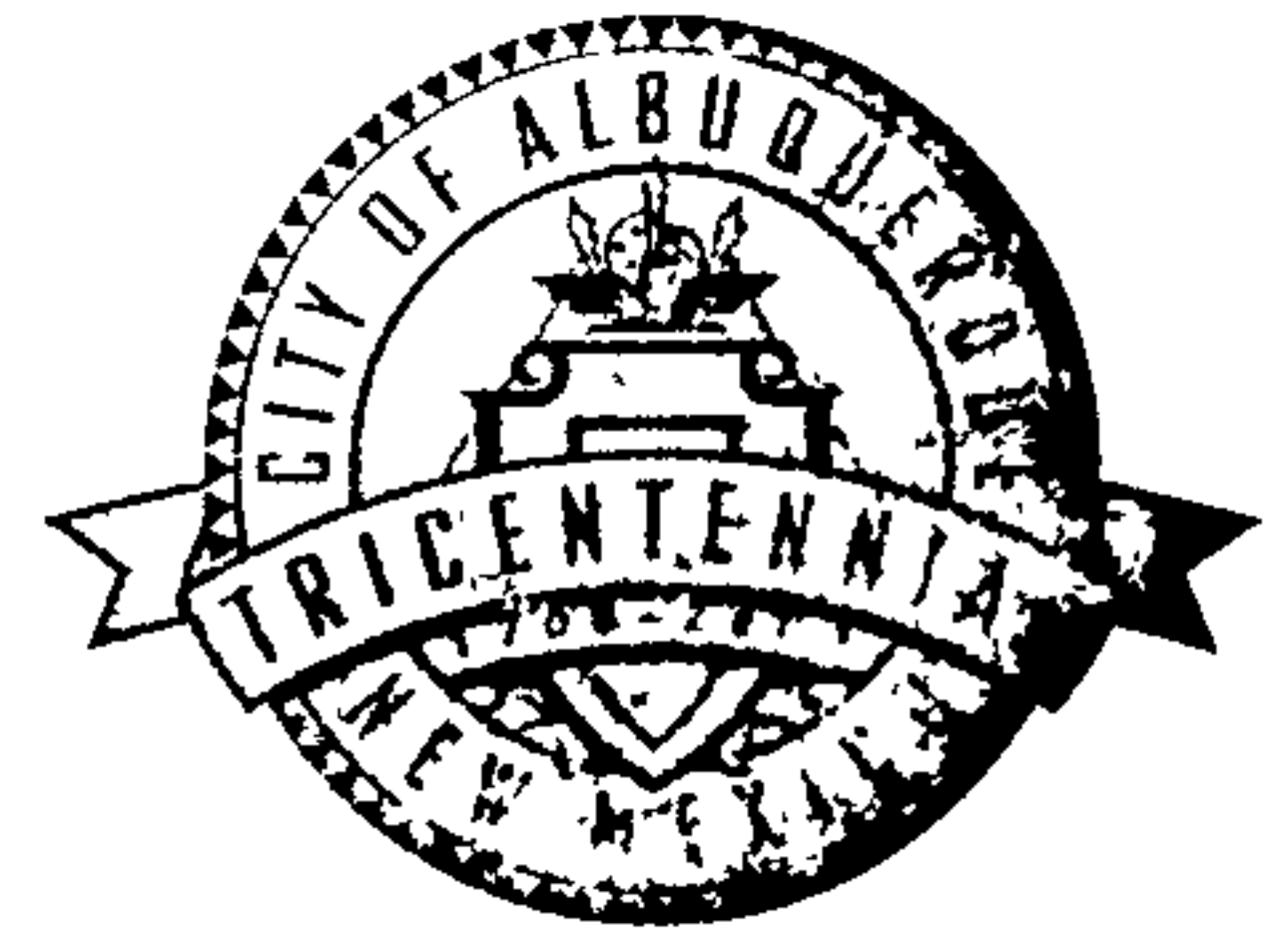
BY: SCOTT MCGEE

Isaacson & Arfman, P.A.

Requests for approvals of Site Development Plans and / or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five acres and Sector Plans
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3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five acres or more

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

March 9, 2007

Alexander Harrison, Registered Architect
8605 Mountain Road NE
Albuquerque, NM 87112

Re: Certification Submittal for Final Building Certificate of Occupancy for
Dions Corporate Headquarters, [C-17 / D13G]
8525 Jefferson NE
Architect's Stamp Dated 03/07/07

Dear Mr. Abraham:

The TCL / Letter of Certification submitted on March 7, 2007 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

ALEXANDER HARRISON - ARCHITECT

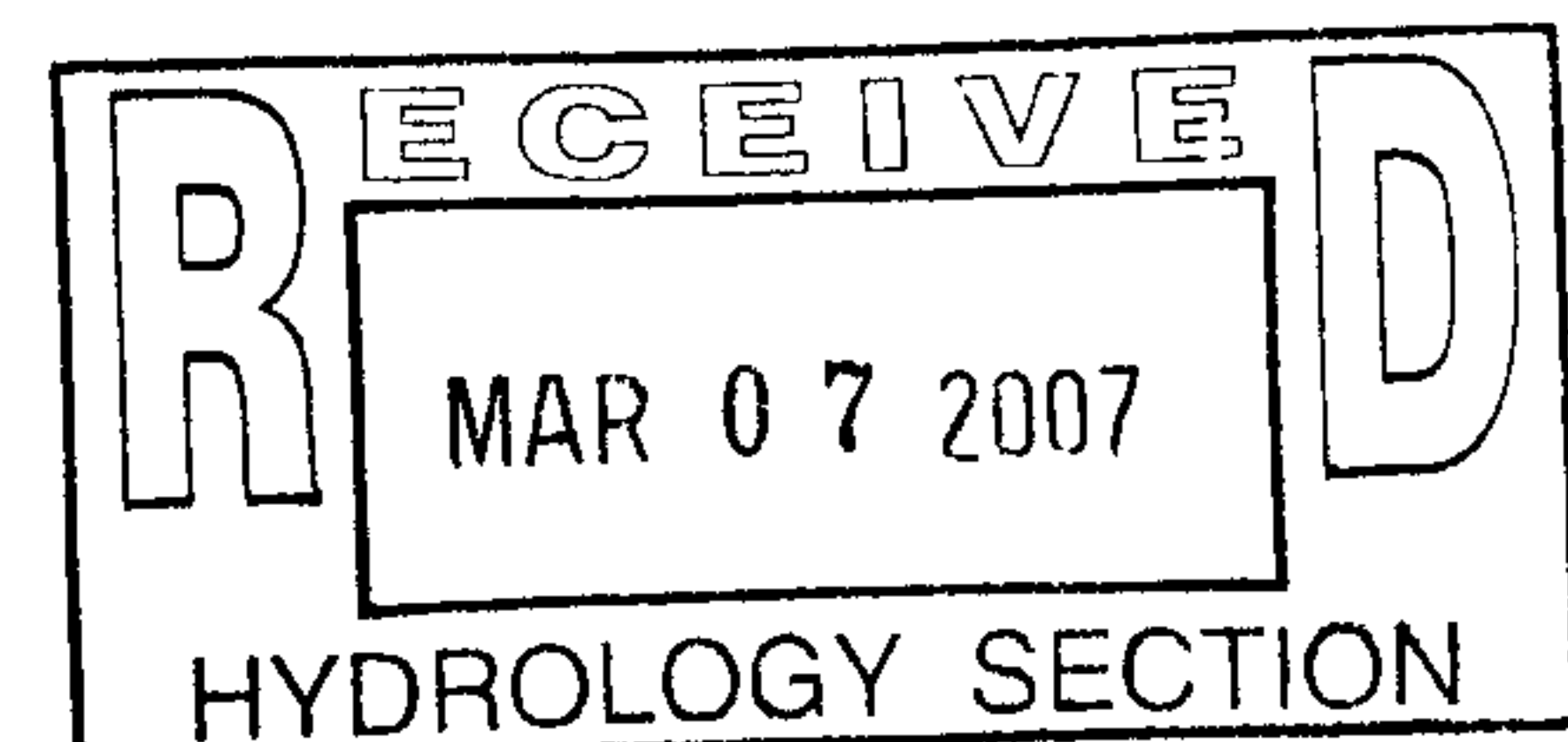
8605 Mountain Road NE, Albuquerque, New Mexico 87112, 505-299-6322

TRAFFIC CERTIFICATION

I, Alex Harrison, NMRA #1507, of the firm Alexander Harrison – Architect, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the plans approved for permit by the City. The record information edited onto the original design document has been obtained by myself. I further certify that I have personally visited the project site on 3/7/07 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy – Permanent.

The record information presented hereon is not necessarily complete and is intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.


Alex Harrison, Architect
3/7/07



C-17/D13G

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 12/2005)

PROJECT TITLE: DION'S CORPORATE HQ ZONE MAP: C-17-2
DRB#: NA EPC#: NA WORK ORDER#: _____

LEGAL DESCRIPTION: LOT 1, UNIT V, LOOP INDUSTRIAL DISTRICT
CITY ADDRESS: 8525 JEFFERSON NE, ALBUQ., NM 87113

ENGINEERING FIRM: ISAACSON + ARFMAN CONTACT: SCOTT MCGEE
ADDRESS: 128 MONROE ST. NE PHONE: 208-8828
CITY, STATE: ALBUQ., NM

OWNER: DION'S
ADDRESS: 8525 JEFFERSON NE
CITY, STATE: ALBUQ. NM

FRITZ,

I GAVE A ~~PERM~~

VERBAL PERM. C.O.

M

ARCHITECT: ALEX HARRISON
ADDRESS: 8605 MOUNTAIN NE
CITY, STATE: ALBUQ. NM

SURVEYOR: PRECISION SURVEYS INC
ADDRESS: 8414-D JEFFERSON NE
CITY, STATE: ALBUQ. NM

WILFRED

CONTRACTOR: GERALD MARTIN
ADDRESS: 8501 JEFFERSON NE
CITY, STATE: ALBUQ. NM

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT
☒ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY)

CHECK TYPE

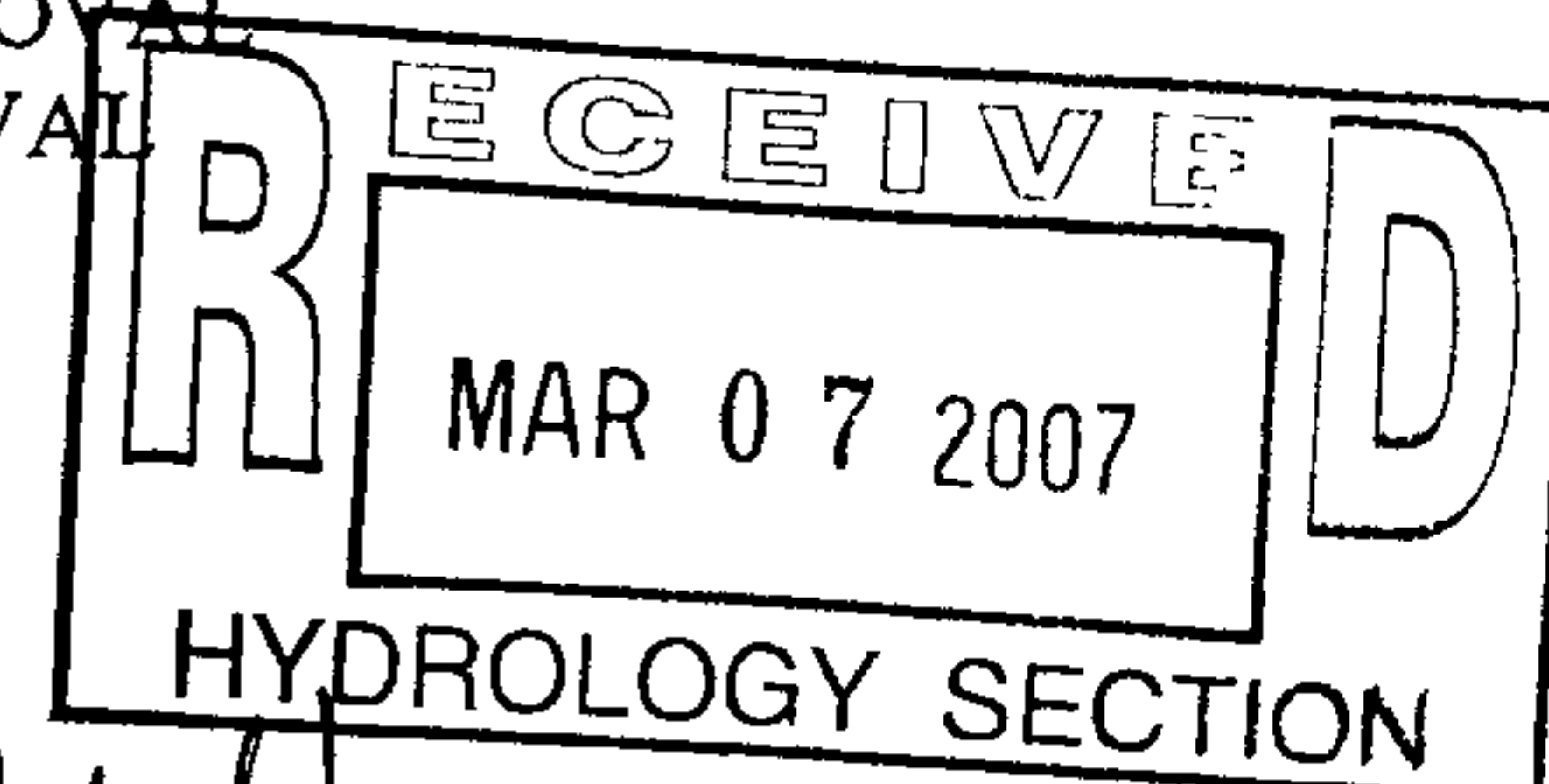
- ☐ SIA/FI
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☐ NO
☐ COPY PROVIDED

DATE SUBMITTED: 3/7/07

BY: _____



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

June 30, 2006

Alex Harrison
Harrison Architect
8605 Mountain Rd NE
Albuquerque, NM 87112

Re: Traffic Circulation Layout (TCL) Submittal for Building Permit Approval for
Offices and Warehouse for Dion's Corporate Addition [C-17/D-13G]
(8525 Jefferson NE), Albuquerque, NM
Engineer's/Architect's Stamp Dated 06-26-06

Dear Mr. Harrison,

The TCL submittal dated June 29, 2006 is approved for building permit. The plan is stamped and signed as approved. Two copies of the plan that is stamped as approved will be required: one for each of the building permit plans and the original to be kept by you to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

If a temporary CO is needed then a copy of the original TCL that was stamped as approved by the City which includes a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance". This statement requires a NM registered architect or engineer stamp to be dated. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer needs stamp and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Wilfred A. Gallegos, PE
Development and Building Services

cc: Hydrology file
File

ALEXANDER HARRISON - ARCHITECT

8605 Mountain Road NE, Albuquerque, New Mexico 87112, 505-299-6322

Transportation Development
City of Albuquerque

RE: Dion's Corporate Headquarters

Executive Summary:

This project is an addition to the existing Dion's Corporate Headquarters, located at 8525 Jefferson NE, just south of Alameda (vicinity map C-17). The original office building was built in 1998 and an addition was built 1999. Neither of these projects required EPC or DRB approval. The back half of the site was left undeveloped with the intention of adding space as needed in the future. The completed site will consist of office space primarily, with a small maintenance building for routine work in connection with Dion's restaurants.

Legal Description: Lot 1, Unit V, Loop Industrial District

Planning history: ZA-82-348, ZX-70-33, Z-70-124, S-70-40

Areas: Site - 2 acres, Existing Buildings – 8,894 sf, New Buildings – 11,701

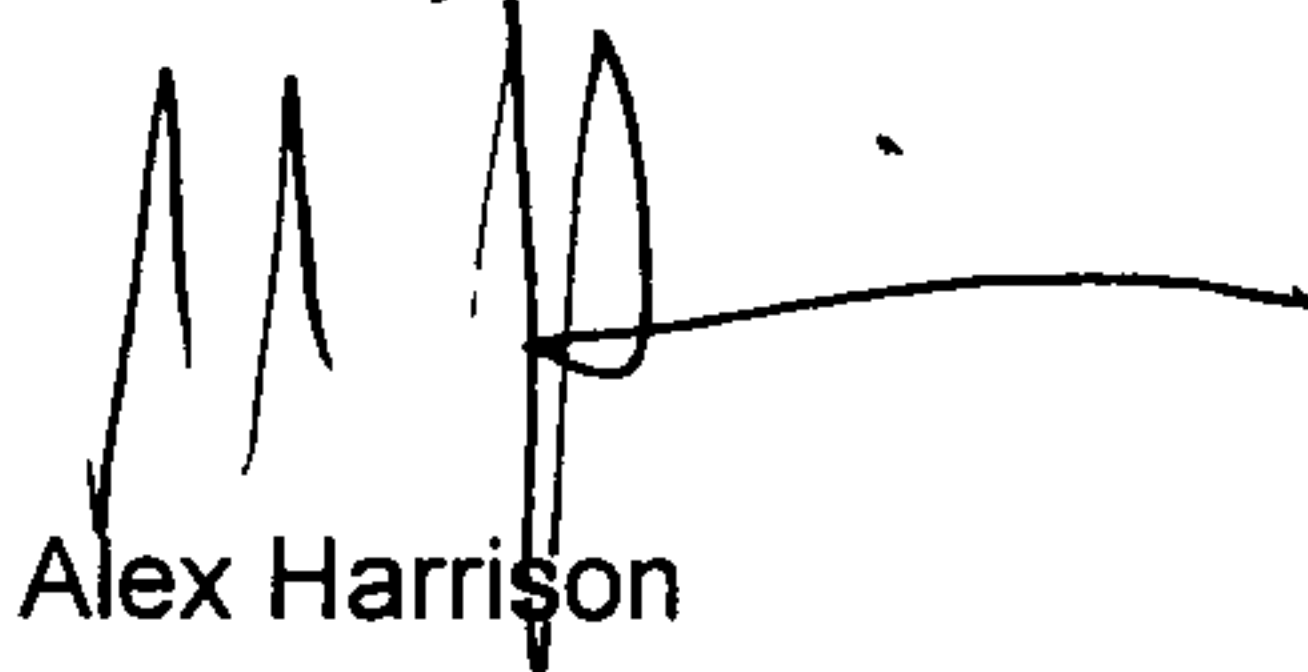
The only access to the site is existing on the east side onto Jefferson NE. Both the Solid Waste Dept. and the Fire Marshall have approved the access on the site.

Adjacent sites, to the north, west, and south, are developed and have parking located next to our property lines. The required landscaping buffers are provided, in addition to landscape buffers on the adjacent properties. There is no access to any of these sites.

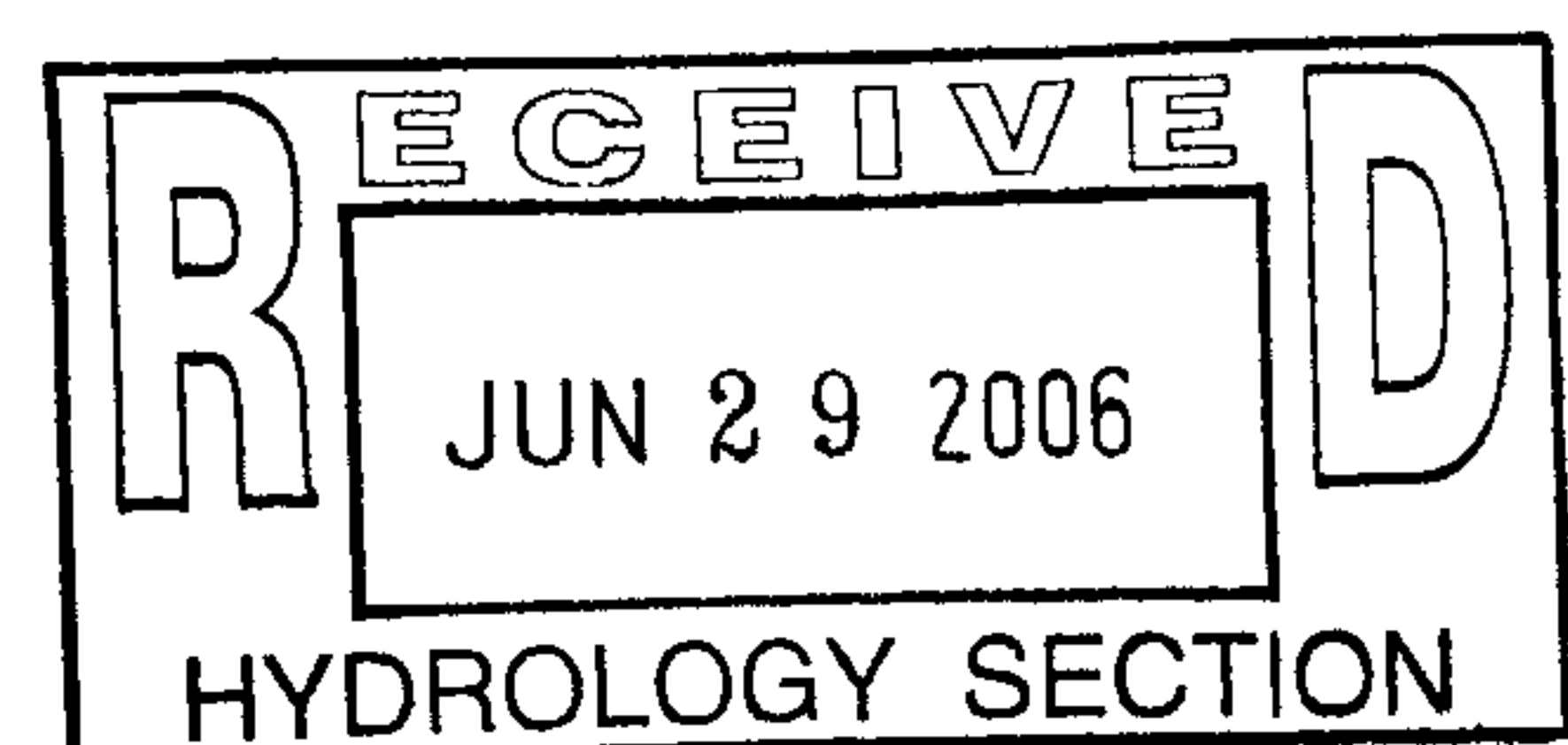
I am unaware of any Traffic Impact Studies which are applicable to this site.

No variances are being requested for this project.

Sincerely,



Alex Harrison



DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: DION'S CORPORATE ADDITION
DRB #: _____ EPC #: _____

ZONE MAP / DRG. FILE # C - 17 / D13G.
WORK ORDER #: _____

LEGAL DESCRIPTION: LOT 1, UNIT V, LOOP INDUSTRIAL DISTRICT
CITY ADDRESS 8525 JEFFERSON NE

ENGINEERING FIRM: Isaacson & Arfman, P.A.
ADDRESS: 128 Monroe St. NE
CITY, STATE: Albuquerque, NM

CONTACT: SCOTT McGEE
PHONE: 268-8828
ZIP CODE: 87108

OWNER DION'S PIZZA
ADDRESS: 8525 JEFFERSON NE
CITY, STATE: ALBUQUERQUE, NM

CONTACT: DOUG MORSE
PHONE: 858-2421
ZIP CODE: 87113

ARCHITECT: ALEX HARRISON ARCHITECT
ADDRESS: 8605 MOUNTAIN RD NE
CITY, STATE: Albuquerque, New Mexico

CONTACT: ALEX HARRISON
PHONE: 299-6322
ZIP CODE: 87112

SURVEYOR: JEFF MORTENSEN & ASSOCS.
ADDRESS: _____
CITY, STATE: Albuquerque, New Mexico

CONTACT: CHUCK CALA
PHONE: _____
ZIP CODE: _____

CONTRACTOR: GERALD MARTIN
ADDRESS: 8501 Jefferson NE
CITY, STATE: Albuquerque, NM

CONTACT: JIM KARNES
PHONE: 828-1144
ZIP CODE: 87113

CHECK TYPE OF SUBMITTAL

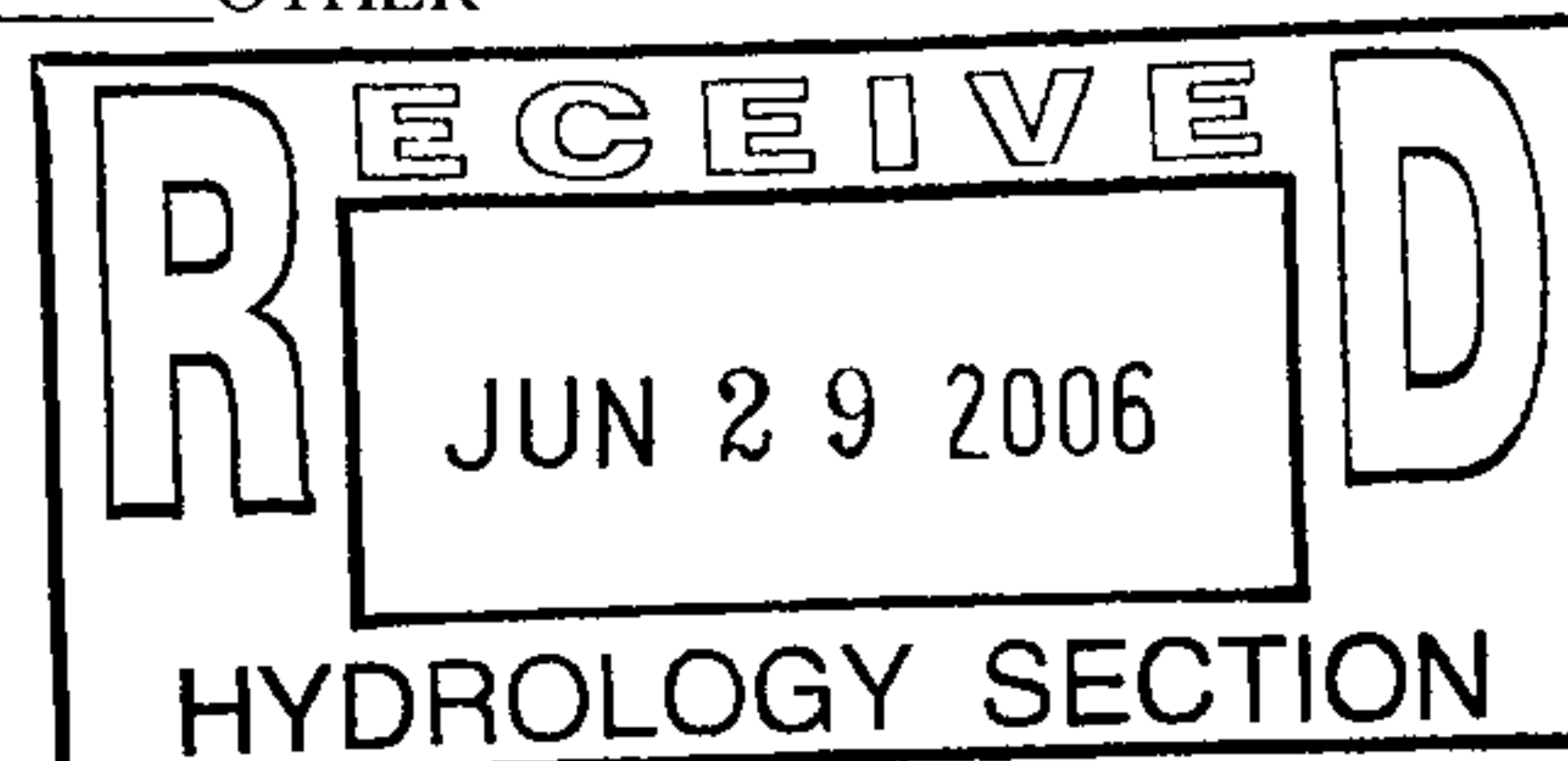
☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1ST *REQUIRES TCL or equal*
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR / LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERTIFICATION (TCL)
☐ ENGINEER'S CERTIFICATION (DRB APPR, SITE PLAN)
☐ OTHER

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☐ NO
☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT

☐ SIA / FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. PLAN FOR BLDG PERMIT APPR
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER



DATE SUBMITTED: Wednesday, June 28, 2006

BY: Alex Harrison

Alexander Harrison - Architect

Requests for approvals of Site Development Plans and / or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following.

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City of Albuquerque

May 18, 2000

Jeff Mortensen, P.E.
Jeff Mortensen & Associates, Inc.
6010B Midway Park Boulevard, NE
Albuquerque, NM 87109

RE: ENGINEER'S CERTIFICATION FOR DIONS HEADQUARTERS ADDITION, (C-17/D136), ENGINEER'S STAMP DATED 08-20-99, CERTIFICATION DATED 05-15-2000.

Dear Mr. Mortensen,

Based upon the information provided in your submittal dated May 16, 2000, the Engineering Certification for Certificate of Occupancy for the project referred to above is approved.

If you have any questions, please call me at 924-3988.

Sincerely,

Stuart Reeder, P.E.

Stuart Reeder, P.E.
Hydrology Division

xc: Whitney Reiersen
✓file

DRAINAGE INFORMATION SHEET

970705

PROJECT TITLE: DION'S HEADQUARTERS ADDITION ZONE ATLAS/DRNG. FILE #: C17/D136

DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: LOT 1, UNIT V, LOOP INDUSTRIAL

CITY ADDRESS: 8525 JEFFERSON NC

ENGINEERING FIRM: JEFF MORTENSEN & ASSOC. CONTACT: JEFF MORTENSEN

ADDRESS: 6010-B MIDWAY PARK BLVD NC PHONE: 345-4250

OWNER: DIONS CONTACT: KARLA

ADDRESS: 8525 JEFFERSON NC PHONE: _____

ARCHITECT: ALEX HARRISON CONTACT: SAMS

ADDRESS: 8605 MOUNTAIN RD NC PHONE: 299-6322

SURVEYOR: JEFF MORTENSEN & ASSOC. CONTACT: JEFF MORTENSEN

ADDRESS: 6010-B MIDWAY PARK BLVD NC PHONE: 345-4250

CONTRACTOR: GERALD MARTIN CONTACT: JIM ESKEN

ADDRESS: _____ PHONE: 828-1144

TYPE OF SUBMITTAL:

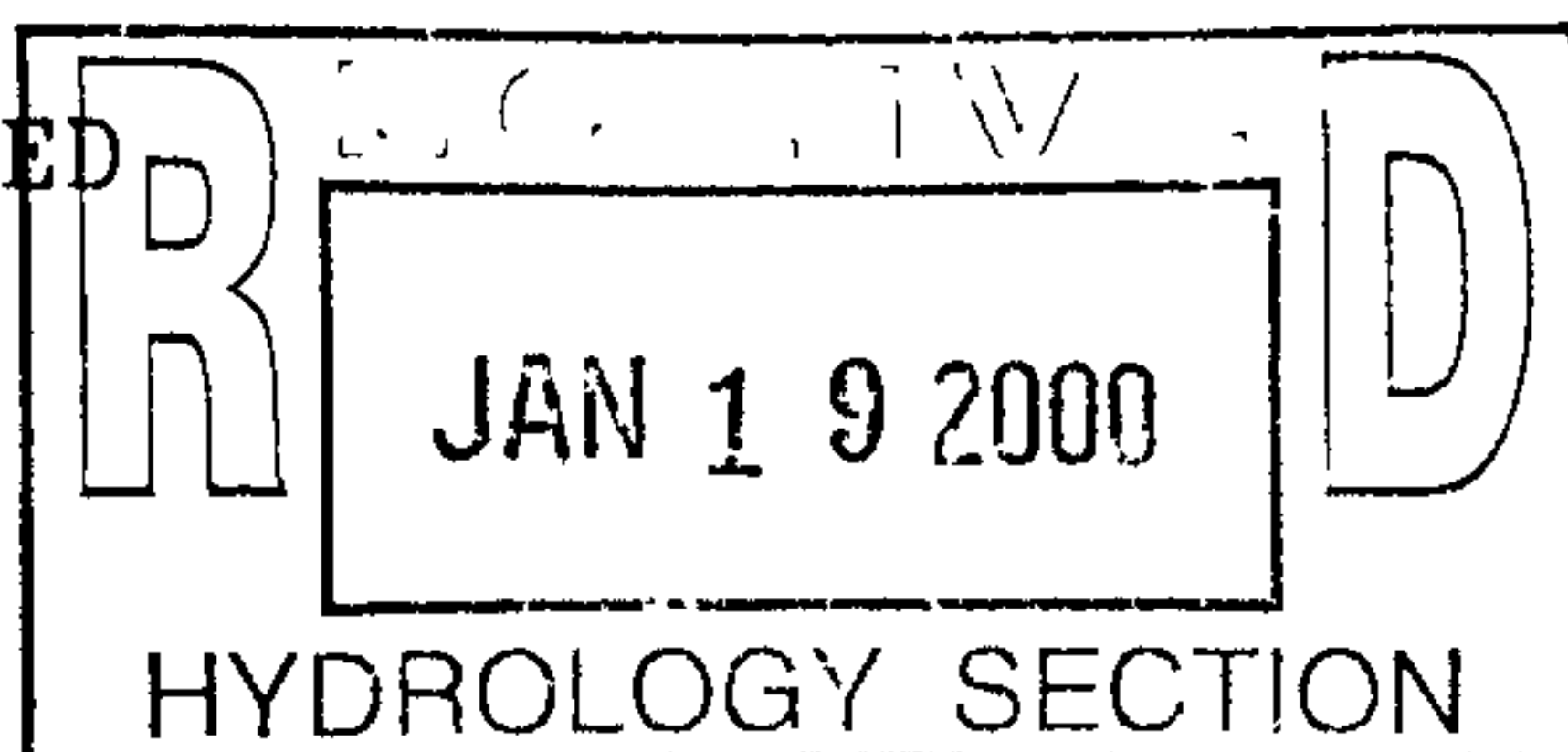
- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERTIFICATION
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY APPROVAL (Temp)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER _____ (SPECIFY)

PRE-DESIGN MEETING:

- ☐ YES
☒ NO
☐ COPY PROVIDED



DATE SUBMITTED:

01/19/2000

BY:

JEFFREY G. MORTENSEN



City of Albuquerque

October 12, 1999

Jeff Mortensen, PE
Jeff Mortensen & Associates, Inc
6010-B Midway Park Blvd. NE
Albuquerque, NM 87109

**Re: Dion's Corporate Headquarters Addition Grading and Drainage Plan
Engineer's Stamp dated 8-20-99 (C17/D13G)**

Dear Mr. Mortensen,

Based upon the information provided in your submittal dated 8-20-99, the above referenced site is approved for Building Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Also, prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

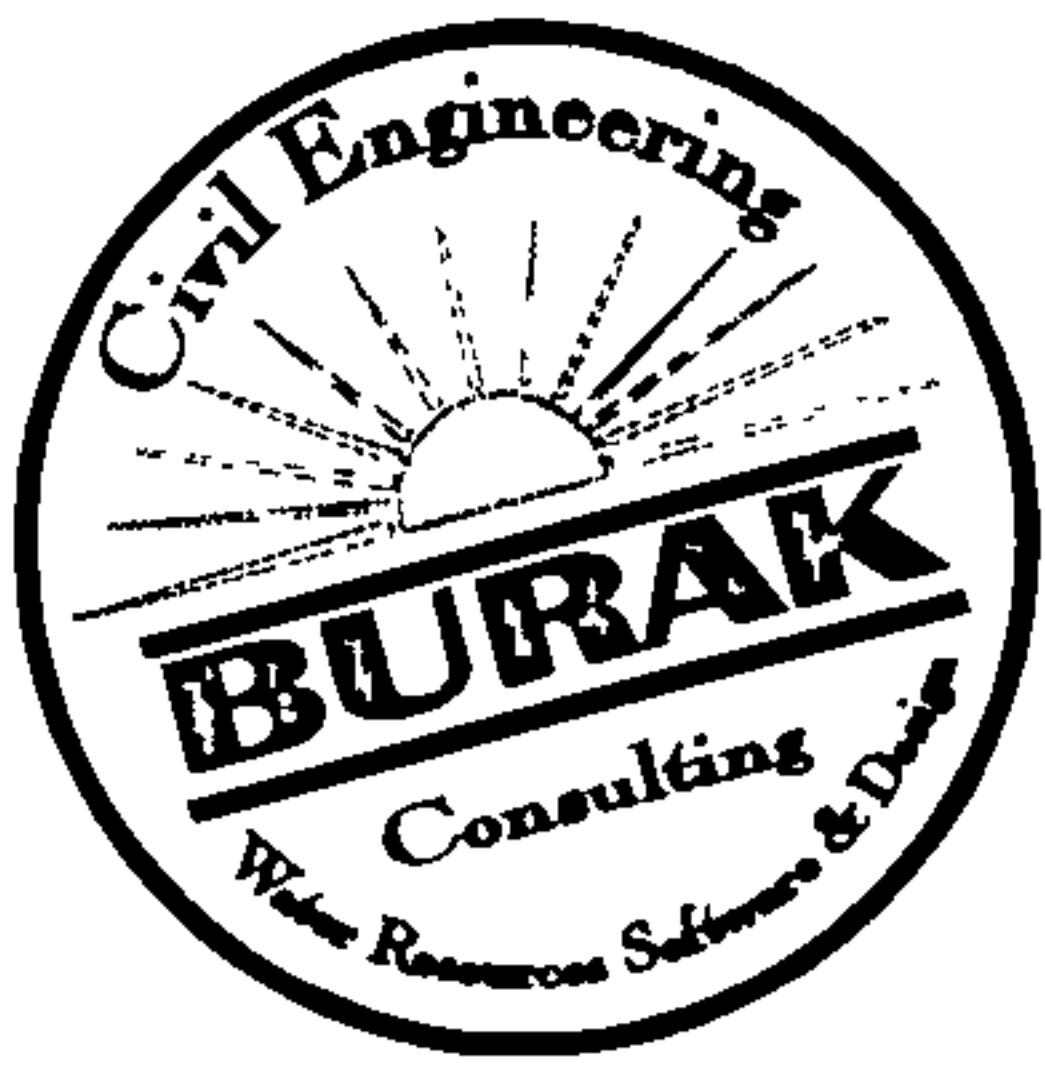
If you have any questions, you can contact me at 924-3986

Sincerely,

Bradley L. Bingham, PE
Hydrology Review Engineer

C: Arlene Portillo

file



Mark H. Burak, P.E.

1512 Sagebrush Trail SE Albuquerque, NM 87123

(505) 296-0461

235-2256 cell

296-0467 fax

October 5, 1999

Fred J. Aguirre, P.E., City Engineer
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

- **Case No:** C17-D013G
- **Submittal dated:** August 20, 1999 by JMA
- **Project Title:** Dion's Corporate Headquarters
- **Location:** 8525 Jefferson NE near I-25 corridor
- **Approval Type:** Building Permit
- **Note:** *This submittal concerns the construction of a new 1,500 sf addition to an existing commercial building in an infill area.*

Dear Mr. Aguirre:

Based on the submittal stamped August 20, 1999, the proposed grading and drainage plan appears to be sufficiently complete and can be approved for building permit.

If you have any questions regarding this letter or need any clarification concerning the above project, please feel free to call me at 296-0461.

Sincerely,

Mark H. Burak, P.E.
Hydrology Consultant

DRAINAGE INFORMATION SHEET

970704

PROJECT TITLE: DIONS HEADQUARTERS ADDITION ZONE ATLAS/DRNG. FILE #: C17/D13G

DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: LOT 1, UNIT V, LOOP INDUSTRIAL

CITY ADDRESS: 8525 JEFFERSON NE

ENGINEERING FIRM: JEFF MORTENSEN & ASSOC. CONTACT: JEFF MORTENSEN

ADDRESS: 6010-B MIDWAY PARK BLVD NE PHONE: 345-4250

OWNER: DIONS CONTACT: ARCHITECT

ADDRESS: 8525 JEFFERSON NE PHONE: _____

ARCHITECT: ALEX HARRISON CONTACT: ALEX

ADDRESS: 8605 MOUNTAIN RD NE PHONE: 299-6322

SURVEYOR: JEFF MORTENSEN & ASSOC CONTACT: JEFF MORTENSEN

ADDRESS: 6010-B MIDWAY PARK BLVD NE PHONE: 345-4250

CONTRACTOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

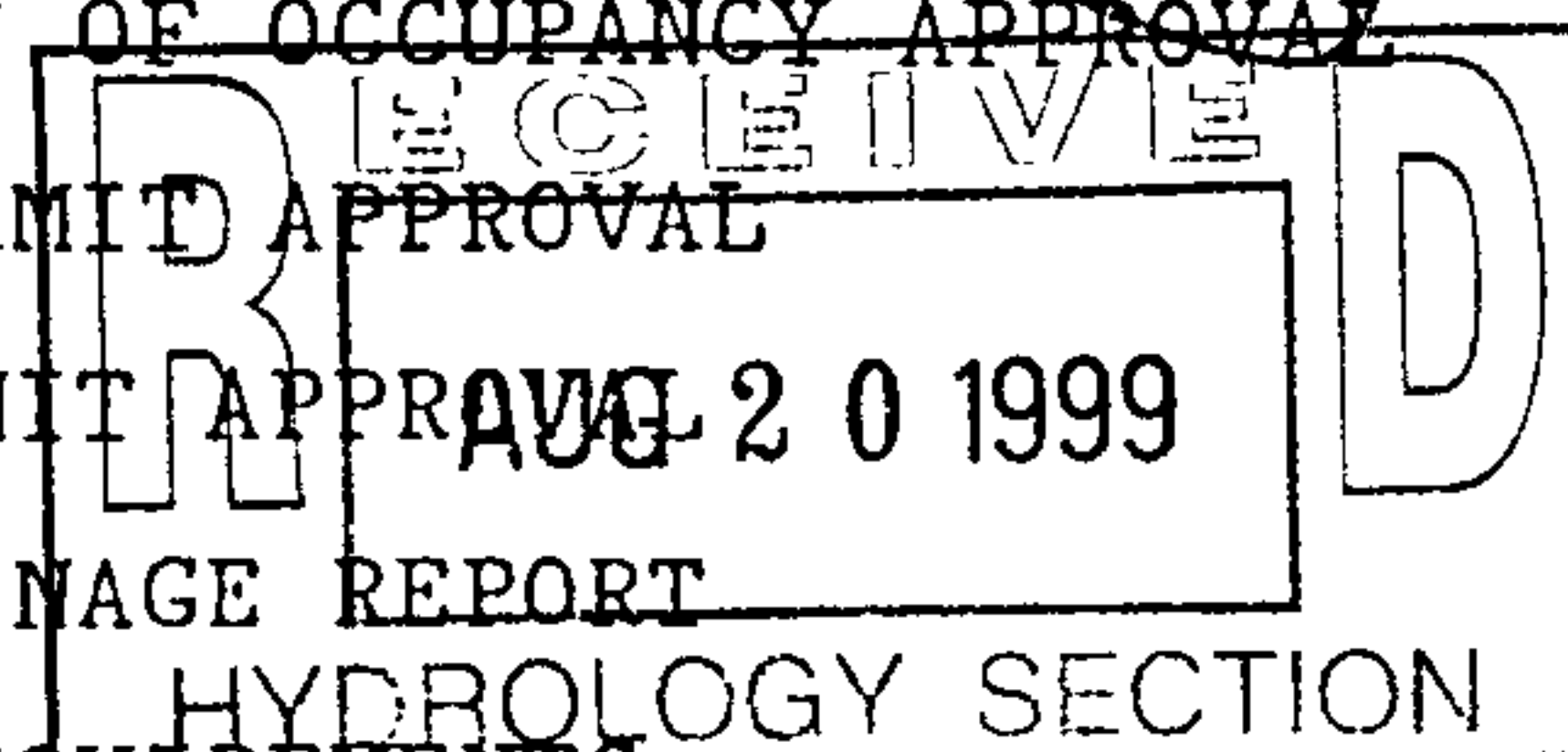
- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION
- ☐ OTHER

PRE-DESIGN MEETING:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL *JGM*
- ☐ CERTIFICATE OF OCCUPANCY APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ S.A.D. DRAINAGE REPORT
- ☐ DRAINAGE REQUIREMENTS
- ☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: 08-20-99BY: JEFFREY G. MORTENSEN



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

December 23, 1998

Jeff Mortensen
Jeff Mortensen & Associates
6010-B Midway Parl Blvd. NE
Albuquerque, New Mexico 87109

**RE: ENGINEER'S CERTIFICATION FOR C.O. RELEASE FOR DION'S
CORPORATE HEADQUARTERS (C-17/D13G), ENGINEER'S
CERTIFICATION STATEMENT DATED 12/3/98.**

Dear Mr. Mortensen:

Based on the information provided on your December 4, 1998 submittal, Engineer's Certification for Certificate of Occupancy is acceptable for the above referenced site.

If I can be of any further assistance, please feel free to contact me at 924-3330.

C: file

Sincerely,

Andrew Garcia
Andrew Garcia
Drainage Inspector

DRAINAGE INFORMATION SHEET

970703

PROJECT TITLE: DIONS HEADQUARTERS ZONE ATLAS/DRNG. FILE #: C17/D13G

DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: LOT 1, UNIT V, LOOP INDUSTRIAL

CITY ADDRESS: 8525 JEFFERSON NE

ENGINEERING FIRM: JEFF MORTENSEN & ASSOC. CONTACT: JEFF MORTENSEN

ADDRESS: 6010-B MIDWAY PARK BLVD NE PHONE: 345-4250

OWNER: DIONS CONTACT: _____

ADDRESS: 8525 JEFFERSON NE PHONE: _____

ARCHITECT: ALEX HARRISON CONTACT: ALEX

ADDRESS: 8605 MOUNTAIN RD NE PHONE: 299-6322

SURVEYOR: JEFF MORTENSEN & ASSOC CONTACT: JEFF MORTENSEN

ADDRESS: 6010-B MIDWAY PARK BLVD NE PHONE: 345-4250

CONTRACTOR: GERALD MARTIN CONTACT: TM

ADDRESS: _____ PHONE: 280-7727

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION
- ☐ OTHER

PRE-DESIGN MEETING:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

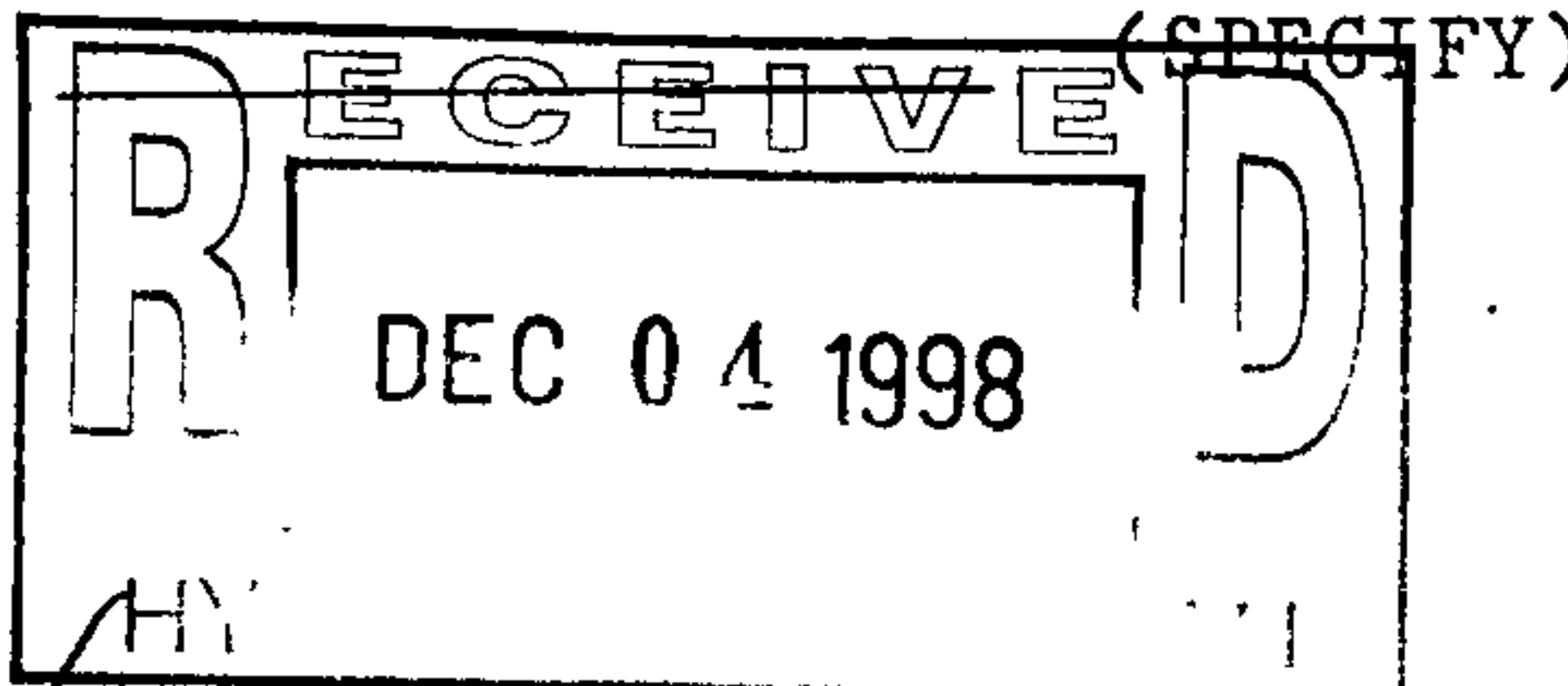
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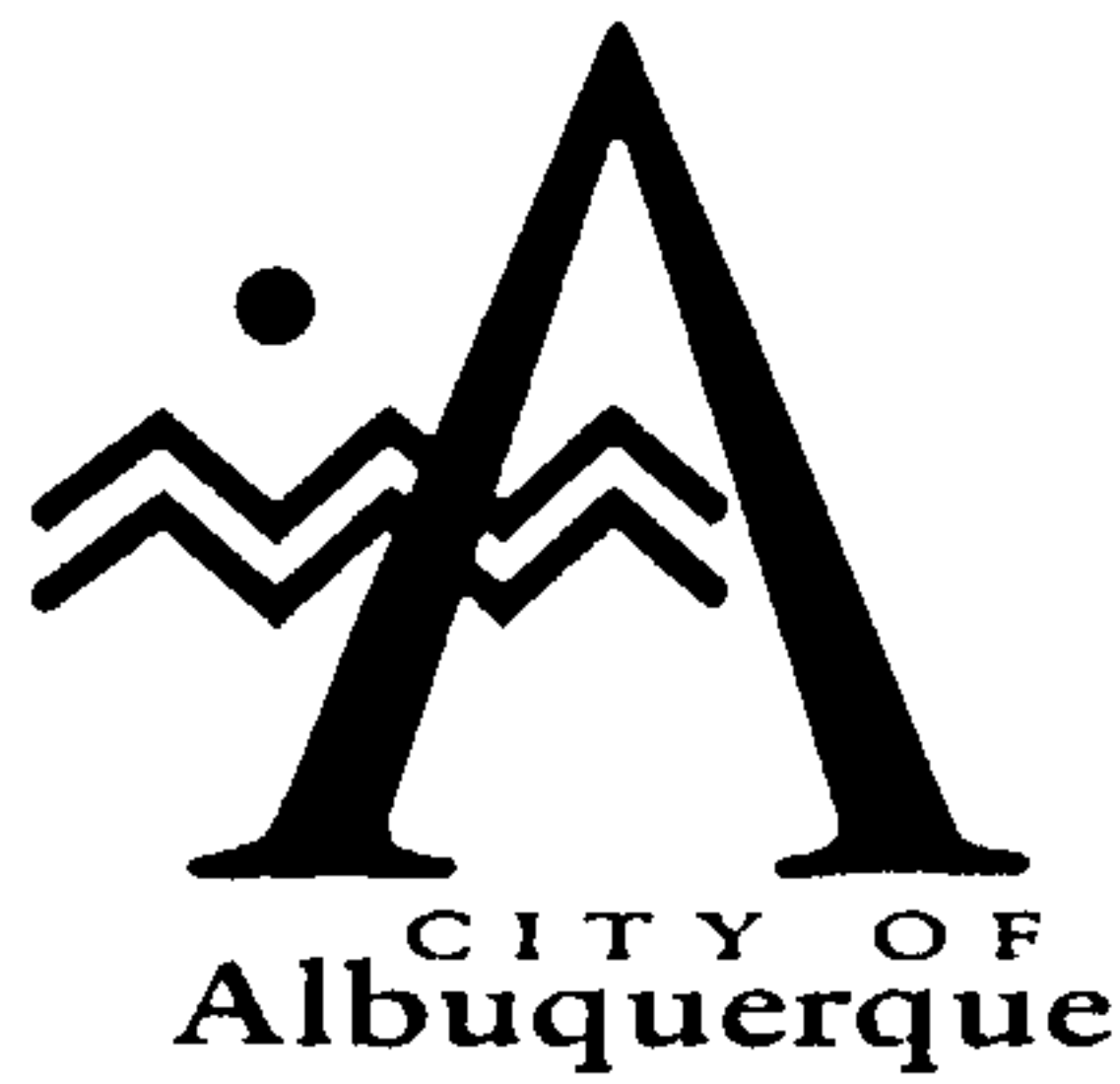
- ☐ SKETCH PLAT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ S.A.D. DRAINAGE REPORT
- ☐ DRAINAGE REQUIREMENTS
- ☐ OTHER (SPECIFY)

DATE SUBMITTED:

12/04/98

BY:

JEFFREY G. MORTENSEN



March 13, 1998

Jeff Mortensen, P.E.
Jeff Mortensen & Associates
6010-B Midway Park Blvd. NE
Albuquerque, NM 87109

**RE: DION'S CORPORATE HEADQUARTERS (C17-D13G). UPDATED GRADING
AND DRAINAGE PLAN FOR BUILDING PERMIT. ENGINEER'S STAMP DATED
MARCH 10, 1998.**

Dear Mr. Mortensen:

Based on the updated information provided on your March 10, 1998 submittal, the above referenced project is approved for Building Permit.

Prior to Certificate of Occupancy approval, and Engineer's Certification will be required.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,

Lisa Ann Manwill, P.E.

Hydrology

c: Andrew Garcia
File

Good for You, Albuquerque!



970703

DRAINAGE INFORMATION SHEET

PROJECT TITLE: DIONS HEADQUARTERS ZONE ATLAS/DRNG. FILE #: C17/D13G
DRB #: _____ EPC #: _____ WORK ORDER #: _____
LEGAL DESCRIPTION: LOT 1, UNIT V, LOOP INDUSTRIAL
CITY ADDRESS: 8525 JEFFERSON NE
ENGINEERING FIRM: JEFF MORTENSEN & ASSOC. CONTACT: JEFF MORTENSEN
ADDRESS: 6010-B MIDWAY PARK BLVD NE PHONE: 345-4250
OWNER: DIONS CONTACT: ARCHITECT
ADDRESS: _____ PHONE: _____
ARCHITECT: ALEXANDER HARRISON CONTACT: ALEX HARRISON
ADDRESS: 8605 MOUNTAIN RD NE PHONE: 299-6322
SURVEYOR: JEFF MORTENSEN & ASSOC CONTACT: JEFF MORTENSEN
ADDRESS: 6010-B MIDWAY PARK BLVD NE PHONE: 345-4250
CONTRACTOR: GERALD MARTIN CONTACT: TM
ADDRESS: _____ PHONE: 530-1422

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERTIFICATION
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY APPROVAL (Temp.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER _____ (SPECIFY)

PRE-DESIGN MEETING:

- ☐ YES
☒ NO
☐ COPY PROVIDED

RECEIVED
AUG 13 1998
HYDROLOGY SECTION

DATE SUBMITTED:

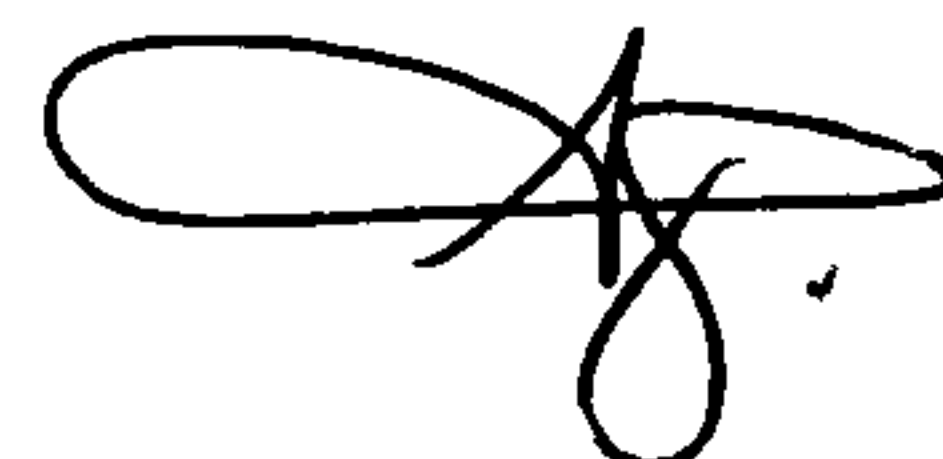
BY:

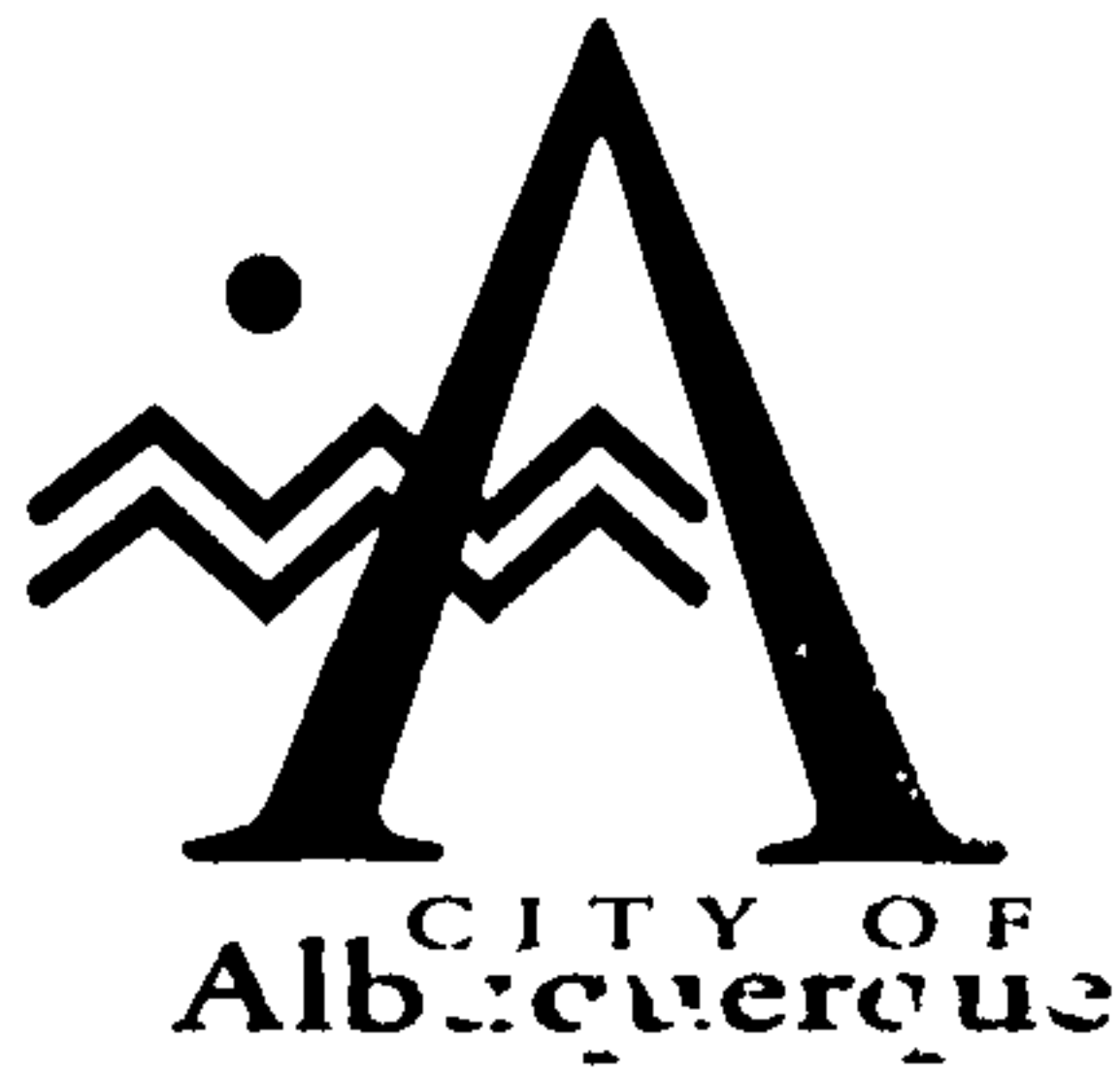
08-13-98

JEFFREY G. MORTENSEN

30 day Temp CO. issued on

8-13-98





January 14, 1993

Martin J. Chávez, Mayor

J. Graeme Means, P.E.
Jeff Mortensen & Associates
6010-B Midway Park Blvd. NE
Albuquerque, NM 87109

**RE: DION'S CORPORATE HEADQUARTERS (C17-D13G). GRADING AND
DRAINAGE PLAN FOR BUILDING PERMIT. ENGINEER'S STAMP DATED
DECEMBER 19, 1997.**

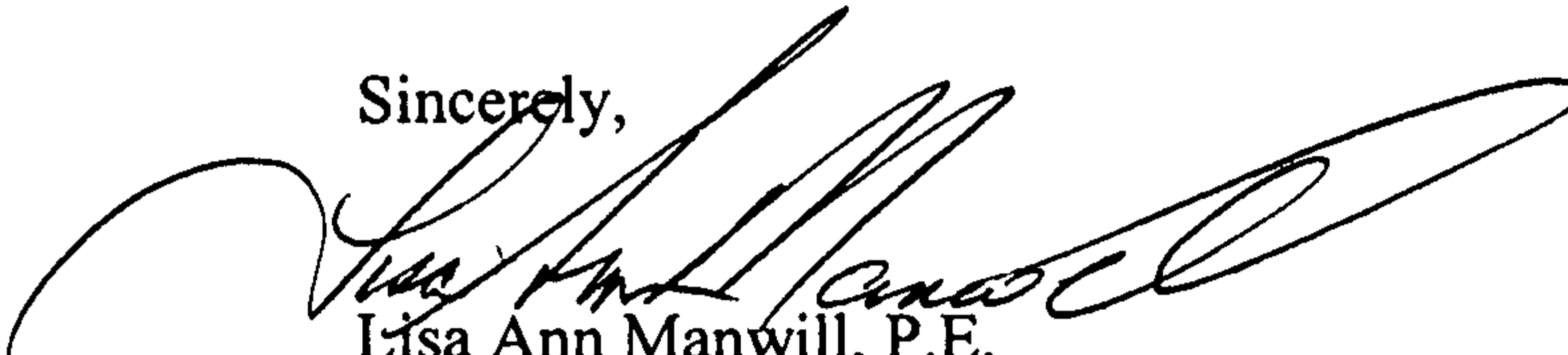
Dear Mr. Means:

Based on the information provided on your December 19, 1997 submittal, the above referenced project is approved for Building Permit.

Prior to Certificate of Occupancy approval, and Engineer's Certification will be required.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,



Lisa Ann Manwill, P.E.
Hydrology

c: Andrew Garcia
File

Good for You, Albuquerque!





Jeff Mortensen & Associates, Inc.
Engineers & Surveyors

Jeffrey G. Mortensen, P.E.
Juan M. Cala
Charles G. Cala, Jr., P.S.

970703
March 5, 1998

Ms. Lisa Ann Manwill, P.E.
City of Albuquerque
Public Works Department
Hydrology Section
600 Second Street N.W.
Plaza Del Sol - Second Floor
Albuquerque, NM 87102

Re: Dion's Headquarters - C17/D13G

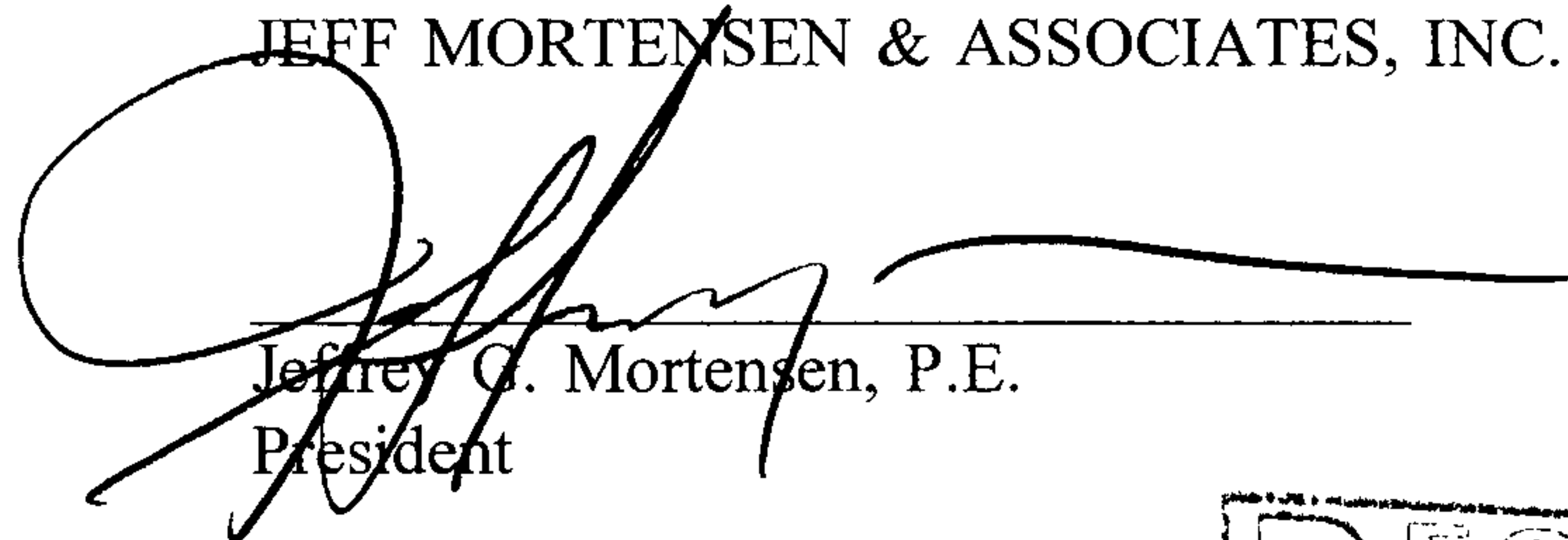
Dear Lisa:

Per our telephone conversation of March 3, 1998, minor revisions were required by Transportation as a result of Building Permit review. These changes are illustrated on the attached exhibits. Exhibit A illustrates that the one foot waterblock will be moved back a distance of 25 feet from the flowline of Jefferson Street N.E. This will reduce the slope from 5% to 4%. These changes will be reflected on the Drainage Certification required as a condition for Certificate of Occupancy approval. Secondly, the gravel paving proposed at the rear of the site has been changed to asphalt paving, as shown on Exhibit B. This will result in a slight increase in runoff, however, the total actual imperviousness will remain less than the maximum allowable per the Master Drainage Plan for this site. The Drainage Calculations will be revised at the time of certification. As we understand, certification is a condition for Certificate of Occupancy release.

If you should have any questions or comments concerning this correspondence, or any other aspect of this project, please do not hesitate to call.

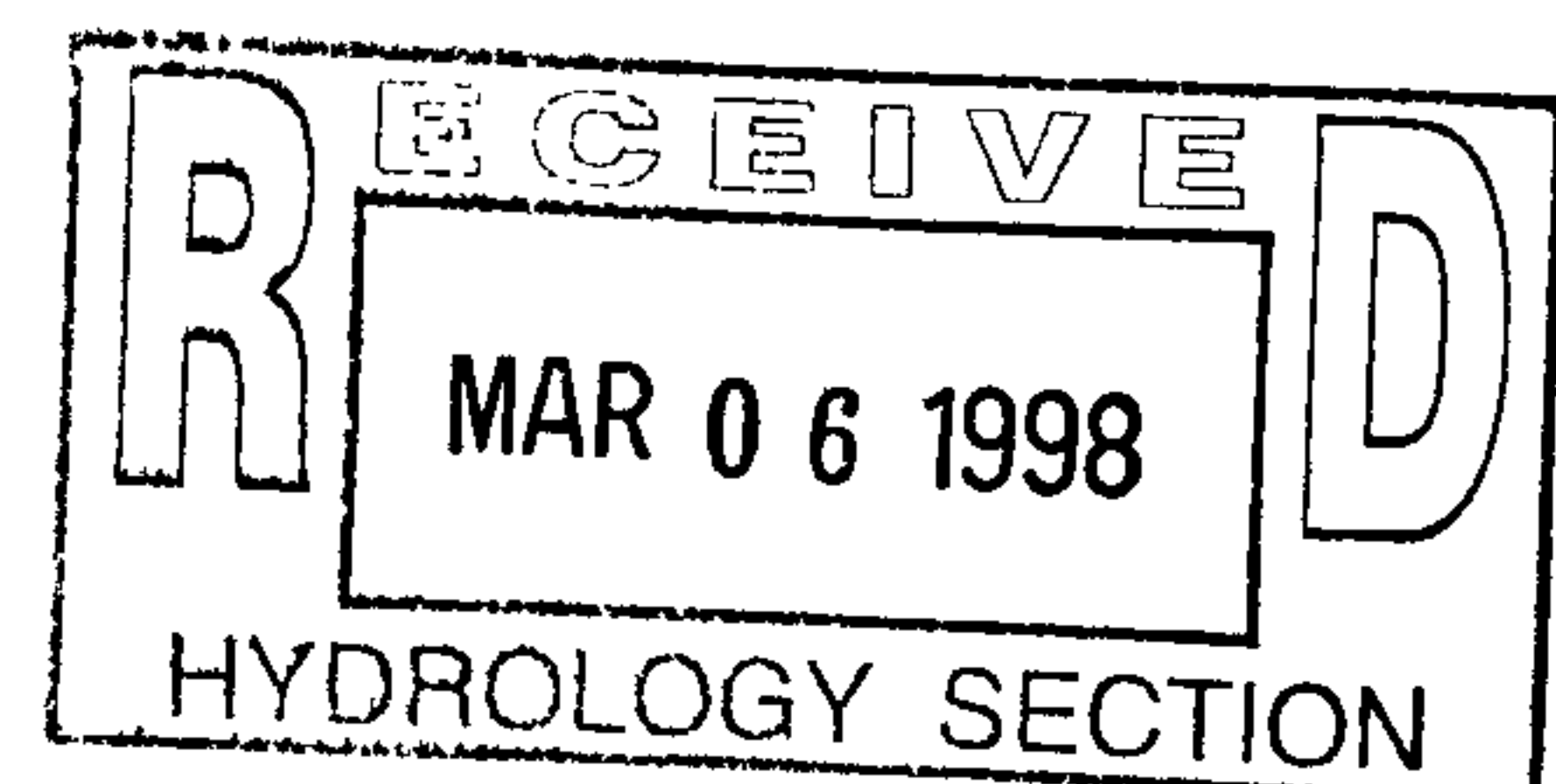
Sincerely,

JEFF MORTENSEN & ASSOCIATES, INC.



Jeffrey G. Mortensen, P.E.
President

JGM:dsj
Enclosures
xc: Alex Harrison w/enclosures (4)



PROJECT TITLE: DION'S CORPORATE HEADQUARTERS ZONE ATLAS/DRNG. FILE #: C17 136

DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: LOT 1, UNIT V, LOOP INDUSTRIAL DISTRICTCITY ADDRESS: JEFFERSON N.E. BETWEEN ALAMEDA AND P.D.N.ENGINEERING FIRM: Jeff Mortensen and Associates CONTACT: J. Graeme MeansADDRESS: 6010-B MIDWAY PL BLD NE PHONE: 345-4250OWNER: CONTACT ARCHITECT CONTACT: ALEXANDER HARRISONADDRESS: 8605 MOUNTAIN RD. N.E. PHONE: _____ARCHITECT: ALEXANDER HARRISON CONTACT: SAMEADDRESS: 8605 MOUNTAIN RD. N.E. PHONE: 299-6322SURVEYOR: JMA CONTACT: CHUCK CALAADDRESS: _____ PHONE: 345-4250CONTRACTOR: N/A CONTACT: _____

ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

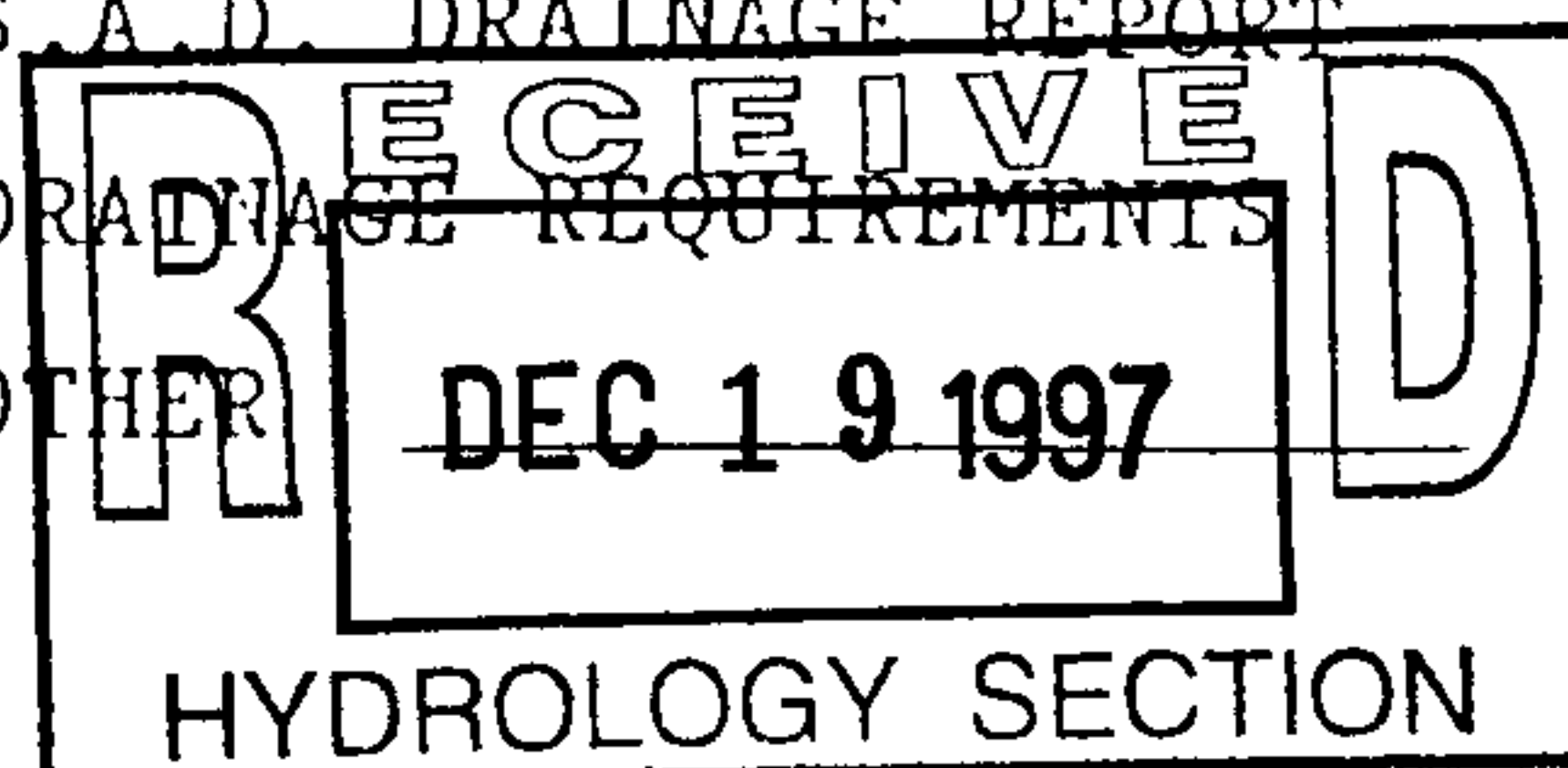
- ☐ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☐ OTHER

PRE-DESIGN MEETING:

- ☐ YES
☒ NO
☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

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☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER



XC: Alexander Harrison w/encl.

DATE SUBMITTED: 12/19/97BY: J. GRAEME MEANS