## CITY OF ALBUQUERQUE

Hydrology Section Planning Department David S. Campbell, Director



Timothy M. Keller, Mayor

April 16, 2018

Dennis Lorenz Lorenz Design & Consulting LLC 2501 Rio Grande NW Suite A Albuquerque, NM 87104

RE: Silver Star Auto Haus

5111 Wilshire Ave. NE

Engineer's Stamp Date: 3/19/2018 Hydrology File: C17D014A1

Dear Mr. Lorenz:

Based on the information provided in the submittal received on 3/20/2018 the above-referenced Grading and Drainage Plan is approved for Site Plan for Building Permit. The following comments must be addressed prior to approval for building permit and SO-19 permit.

- 1. A Drainage Covenant is required to insure maintenance of the pond, pump and force main. The original signed and notarized document must be submitted to Madeline Carruthers along with a \$25 check payable to Bernalillo County for the recording fees for each document to be recorded. The blank form of the Drainage Covenant can be downloaded from the Hydrology section web page.
- 2. Add the words "see Notice to Contractor on sheet C-3" to keynote 28 on sheet C-2, and check the "SO-19 Approval" line on the DTIS.
- 3. Please consider moving the retaining walls away from the property lines to keep the footer out of the soil friction plain. Add a note on the plan view stating that "no encroachment is allowed into the neighbor's property without written permission and any damages to the neighbor's property must be repaired". Consider adding a requirement for piling and/or shoring of the taller cuts.
- 4. Pump specifications and performance curve are required. They should be added to the G&D Plan and the information should be included in the Drainage Covenant

If you have any questions, please contact me at 924-3986 or jhughes@cabq.gov.

Sincerely, James D. Bughler

James D. Hughes

Principal Engineer, Planning Dept. Development Review Services

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

Orig: Drainage File

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## City of Albuquerque

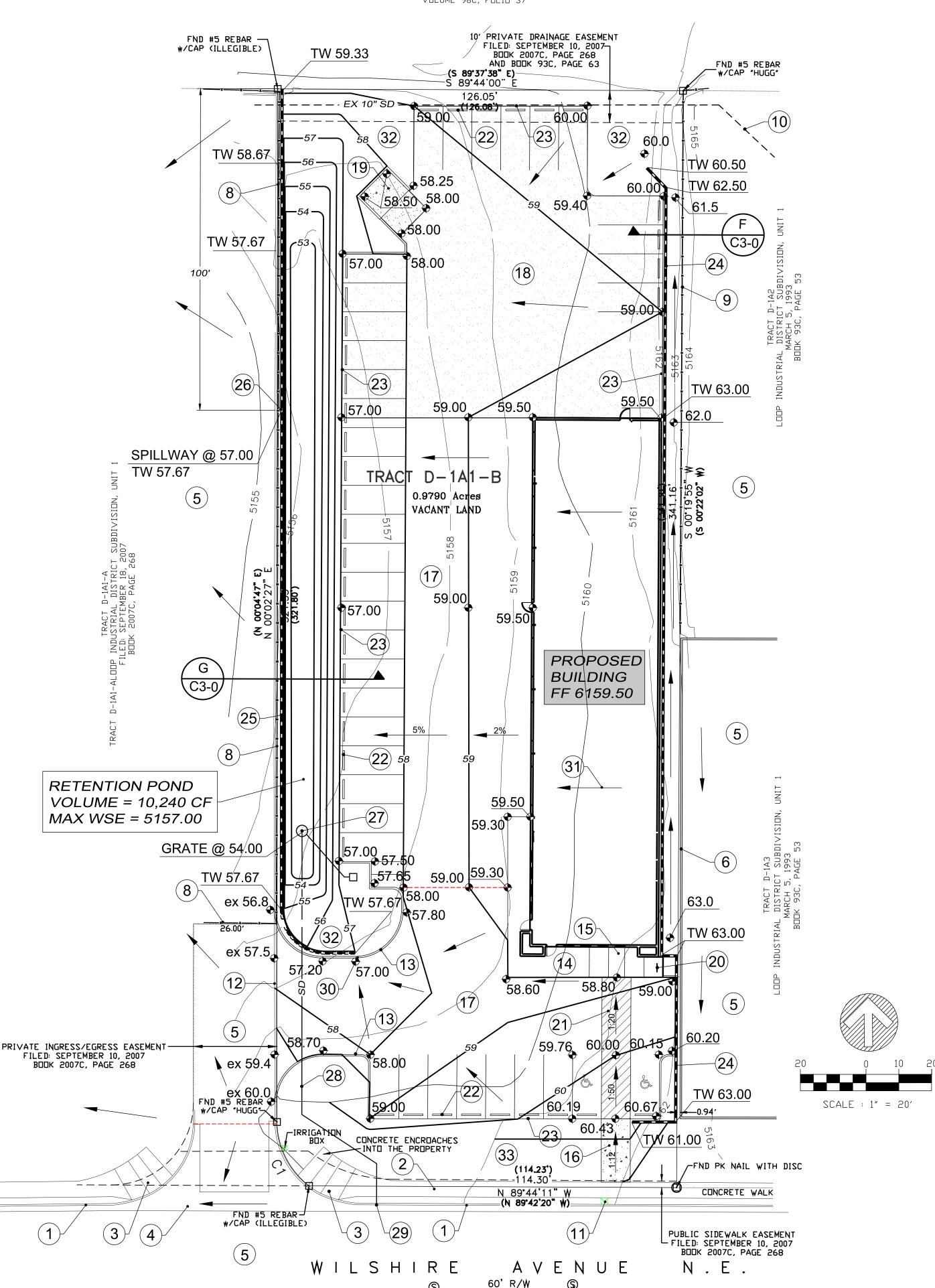
#### Planning Department

#### Development & Building Services Division

#### DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title:		Building Permit #:	City Drainage #:		
DRB#:	EPC#:		k Order#:		
Legal Description:					
City Address:					
Engineering Firm:		Cont	act:		
Address:					
Phone#:	Fax#:	E-ma	ail:		
Owner:		Cont	act:		
Address:					
Phone#:	Fax#:	E-ma	ail:		
Architect:		Cont	act:		
Address:					
Phone#:	Fax#:	E-ma	ail:		
Other Contact:		Cont	act:		
Address:					
Phone#:	Fax#:	E-ma	ail:		
Check all that Apply:  DEPARTMENT:  HYDROLOGY/ DRAINAGE			ROVAL/ACCEPTANCE SOUGHT:		
TRAFFIC/ TRANSPORTATION			BUILDING PERMIT APPROVAL		
MS4/ EROSION & SEDIMENT CO	NTROL	CERTIFICATE OF	OCCUPANCY		
TYPE OF SUBMITTAL:		PRELIMINARY PI	AT APPROVAL		
ENGINEER/ ARCHITECT CERTIFIC	CATION	<del></del>	SITE PLAN FOR SUB'D APPROVAL		
		SITE PLAN FOR B	LDG. PERMIT APPROVAL		
CONCEPTUAL G & D PLAN		FINAL PLAT APP	FINAL PLAT APPROVAL		
GRADING PLAN		SIA/ RELEASE OF	SIA/ RELEASE OF FINANCIAL GUARANTEE		
DRAINAGE MASTER PLAN		FOUNDATION PE	FOUNDATION PERMIT APPROVAL		
DRAINAGE REPORT		GRADING PERMI	GRADING PERMIT APPROVAL		
CLOMR/LOMR		SO-19 APPROVAL	SO-19 APPROVAL		
		PAVING PERMIT			
TRAFFIC CIRCULATION LAYOU	Γ (TCL)		APPROVAL		
TRAFFIC CIRCULATION LAYOUT TRAFFIC IMPACT STUDY (TIS)	Γ (TCL)	PAVING PERMIT	APPROVAL ERTIFICATION		
		PAVING PERMIT GRADING/ PAD C	APPROVAL ERTIFICATION		
TRAFFIC IMPACT STUDY (TIS)	L PLAN (ESC)	PAVING PERMIT GRADING/ PAD C WORK ORDER APP	APPROVAL ERTIFICATION ROVAL		
TRAFFIC IMPACT STUDY (TIS) EROSION & SEDIMENT CONTRO	L PLAN (ESC)	PAVING PERMIT GRADING/ PAD C WORK ORDER APP CLOMR/LOMR PRE-DESIGN MEET	APPROVAL ERTIFICATION ROVAL ING		
TRAFFIC IMPACT STUDY (TIS) EROSION & SEDIMENT CONTRO	L PLAN (ESC)	PAVING PERMIT GRADING/ PAD C WORK ORDER APP CLOMR/LOMR PRE-DESIGN MEET	APPROVAL ERTIFICATION ROVAL		
TRAFFIC IMPACT STUDY (TIS) EROSION & SEDIMENT CONTRO OTHER (SPECIFY)	L PLAN (ESC)	PAVING PERMIT GRADING/ PAD C WORK ORDER APP CLOMR/LOMR PRE-DESIGN MEET OTHER (SPECIFY	APPROVAL ERTIFICATION ROVAL ING		

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_



#### CONCEPTUAL GRADING AND DRAINAGE PLAN

#### PURPOSE AND SCOPE

Pursuant to the Drainage Ordinance for the City of Albuquerque and the Development Process Manual, this Conceptual Grading and Drainage Plan outlines the drainage management criteria for controlling developed runoff from the project site. The project consists of the design and comstruction of the Silver Star Auto Haus, located at 5111 Wilshire Avenue NE. The project includes a 6,000 square foot building with paving, landscaping, utility, grading, and drainage improvements to support the project. The purpose of this Plan is to support site development plan and building permit approval. The scope of this plan is to present grading and drainage criteria for the safe management of excess runoff impacting the site from upstream drainage basins, and controlling excess runoff from the project site in a well-managed, non-erosive manner.

#### **EXISTING CONDITIONS**

The property is located at 5111 Wilshire Avenue NE, between Jefferson Street and San Mateo Blvd NE. The site is presently undeveloped. Site topography slopes to the west. The site presently drains west onto Tract D-1A1 where excess runoff flows overland wihtin the paved parking lot to an existing private detention pond located at the northwest corner of Tract D-1A1. The pond was constructed with the development of Tract D-1A1 in accordance with the approved Grading and Drainage Plan for Tracts D-1A1 and D-1A2, prepared by Easterling & Associates, 1994. The pond drains at a controlled rate of 13.2 cfs to an existing public drainage system located in Jefferson Street NE. Per the approved plan, the project site was allowed to free discharge to the detention pond. Properties to the east drain either south to Wilshire Avenue, or north to the detention pond by an existing 10-inch private storm drain. No off site flows impact the site. As shown by the attached FIRM Panel the site does not lie within a mapped 100 year Flood Zone.

#### PROPOSED IMPROVEMENTS

As stated above, the project consists of the construction of a 6,000 square foot building with paving, landscaping, utility, grading, and drainage improvements. Although the approved Grading and Drainage Masterplan for the property allows free discharge across Tract D-1A1 to the existing detention pond, no drainage easements exist giving the site leagal permission to drain to the pond. The property owner has been unable to obtain a drainage easement, therefore, the developed site will retain the 100 year-10 day volume within a linear pond located along the west side of the site. The pond will evacuate by a sump pump designed to drain the pond within 24 hours. The pump discharge line will drain to Wilshire Avenue by a curb penetration.

First flush storage will be attained within the retention pond by elevating the pond outlet 1-foot above the pond bottom.

Construction will disturb an area of less than 1.0 acres; therefore a Storm Water Pollution Prevention Plan will not be required.

#### CALCULATIONS

The calculations shown hereon define the 100-year/6 hour design storm falling within the project area under existing and proposed conditions. The hydrology is per "Section 22.2, Part A, Development Process Manual, Vol 2", dated June 1997.

ZONE:	2	PROJECT HYDROLOGY							
P <sub>6HOUR</sub>	2.35	SILVER STAR AUTO HAUS							
P <sub>10 DAY</sub>	3.95	АНҮМО							
EXISTING CONDITIONS									
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	Е	Q (cfs)	VOL (ac ft)	10 Day VOL (ac ft)
SITE	0.98	0.00	0.00	0.97	0.01	1.14	3.09	0.093	0.094
PROPOSED CONDITIONS									
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)	10 Day VOL (ac ft)
SITE	0.98	0.00	0.15	0.15	0.68	1.76	4.01	0.144	0.235

#### FIRST FILISH CRITERIA

By ordinance the site is required to retain the 90<sup>th</sup> percentile rainfall depth. In order to comply with this criterion, where practical, all surface areas will be routed through landscaped areas before release to downstream public drainage facilities. The proposed plan will rout runoff through a permanent retention pond with flush storage. Storage in excess of the 90<sup>th</sup> percentile rainfall will be provided as illustrated below.

> 90<sup>th</sup> percentile depth Less initial abstraction Site Area Type D = 0.68 ac.

Storage requirement = Ad(0.34") = 0.68 ac(43,560 sf/ac)(0.34"/12"/ft) = 839 cf

First flush storage to be provided within the retention pond, below the inlet grate elevation of

Total first flush volume within pond = 0.032 ac(43,560sf/ac)(1.0')=1,394 cf

## ○ KEYED NOTES

- EXISTING CONCRETE CURB.
- 2. EXISTING CONCRETE SIDEWALK. 3. EXISTING HANDICAP RAMP.
- 4. EXISTING CONCRETE VALLE GUTTER.
- 5. EXISTING ASPHALT PAVEMENT. 6. EXISTING BLOCK WALL.
- 7. EXISTING 6' CHAIN LINK FENCE
- 8. REMOVE AND SALVAGE EXISTING 6' CHAIN LINK FENCE. 9. EXISTING WIRE FENCE IN DISREPAIR. COORDINATE REPAIR WITH
- ADJACENT PROPERTY OWNER. 10. EXISTING PRIVATE 10" STORM DRAIN.
- 11. EXISTING WATER METER.

23. EDGE OF PAVEMENT. NO CURBING.

- 12. REM & DISPOSE EXISTING CONCRETE CURB ACROSS NEW ENTRY. 13. CONSTRUCT 6" CONCRETE CURB. SEE SHEET C-3.0.
- 14. CONSTRUCT TURNDOWN SIDEWALK. SEE SHEET C-3. 15. CONSTRUCT HANDICAP RAMP. SEE SHEET C-3.
- 16. CONSTRUCT 8' WIDE CONCRETE SIDEWALK AT 1:12. 17. CONSTRUCT ASPHALT PAVEMENT. SEE SHEET C-3.
- 18. CONSTRUCT GRAVEL SURFACING. SEE SHEET C-3.
- 19. CONSTRUCT REFUSE ENCLOSURE. SEE SITE PLAN. 20. INSTALL BICYCLE RACK. SEE SITE PLAN.
- 21. INSTALL HANDICAPPED PARKING STRIPING AND SIGNAGE. SEE SITE
- 22. INSTALL CONCRETE TIRE STOPS AT ALL PARKING SPACES.
- 24. CONSTRUCT RETAINING WALL ALONG EAST PROPERTY LINE. SEE
- 25. CONSTRUCT RETAINING WALL ALONG WEST PROPERTY LINE. SEE
- SHEET C-3.
- 26. CONSTRUCT POND OVERFLOW SPILLWAY. SEE SHEET C-3. 27. INSTALL STORM INLET WITH SUMP PUMP AND ELECTRIC SUPPLY. SEE
- SHOP DRAWINGS.
- 28. POND PUMP DISCHAGE LINE.
- 29. CONSTRUCT 3" CURB PENETRATION. SEE COA STD DWG 2235. 30. PROVIDE 12" CURB BLOCKOUT FOR DRAINAGE.
- 31. DIRECTION OF ROOF DRAINAGE.
- 32. NEW LANDSCAPING. SEE LANDSCAPE PLAN.
- 33. EXISTING LANDSCAPING TO REMAIN. SEE LANDSCAPE PLAN.

IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE DRAINAGE ORDINANCE, EFFECTIVE MAY 12, 2014, ALL NEW DEVELOPMENT PROJECT S ARE REQUIRED TO MANAGE THE RUNOFF WHICH OCCURS DURING THE 90TH PERCENTILE STORM EVENT. IN ORDER TO COMPLY WITH THIS CRITERIA, WHERE PRACTICAL, ALL SURFACE DRAINAGE SHALL BE ROUTED THROUGH LANDSCAPED AREAS BEFORE RELEASE INTO DOWNSTREAM DRAINAGE FACITLITIES. THIS PLAN RECOMMENDS ALL LANDSCAPED AREAS BE DEPRESSED A MINIMUM OF 3-INCHES BELOW

THE ADJACENT PAVED SURFACE TO RETAIN THE

## PROJECT DATA

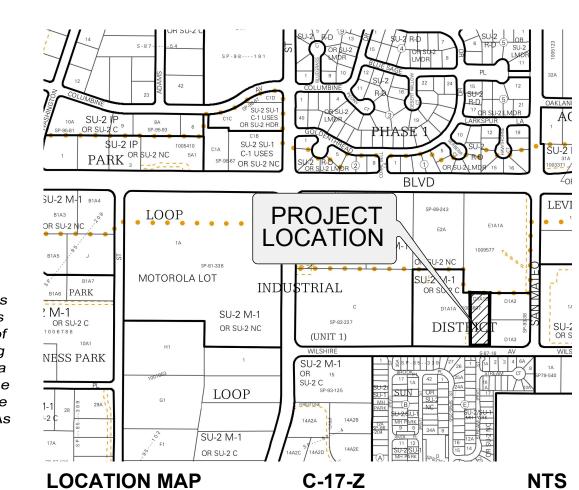
PROPERTY ADDRESS:	

*5111 WILSHIRE AVE NE* ALBUQUERQUE, NEW MEXICO LEGAL DESCRIPTION:

TRACT D-1A1-B LOOP INDUSTRIAL DISTRICT SUBDIVISION ALBUQUERQUE, NEW MEXICO

FIRST FLUSH RUNOFF.

ALL PROJECT SURVEYING BY THE SURVEY OFFICE, LLC. FEBRUARY 2018





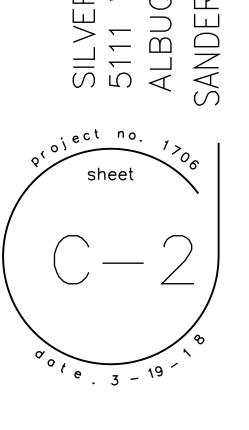
FIRM PANEL 35001C0137H

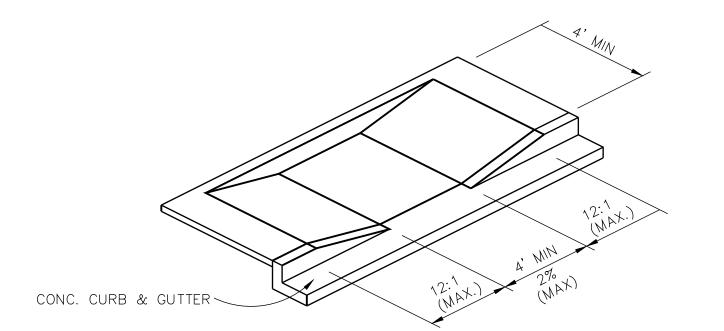
L	.EGEND	
ITEM	EXISTING	PROPOSED
PROPERTY LINE SPOT ELEVATION	× 75.5	01.5 �
CONTOUR W/ ELEVATION	5800	— 5800 —
DIRECTION OF FLOW		<b>←</b>
RIDGE LINE		
SLOPE GRADING		3:1
TOP CURB/FLOWLINE	EX TC 75.75 EX FL 75.25	TC 75.75 FL 75.25
TOP WALL/FINSIH GRADE	EX TW 75.75 EX FG 75.25	TW 75.75 FG 75.25
CONCRETE CURB		
BLOCK WALL		
RETAINING WALL		
STORM DRAIN	84" SD	24" SD
UTILITY POLE	PPO	
WATER METER	<b>₩</b> M	
SEWER MANHOLE	S	
IRRIGATION BOX		

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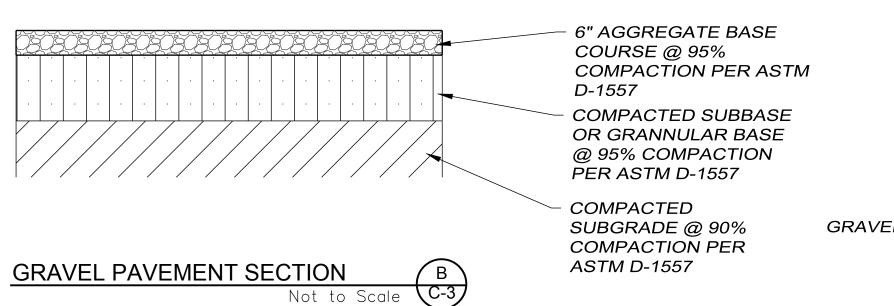
NOT FOR CONSTRUCTION

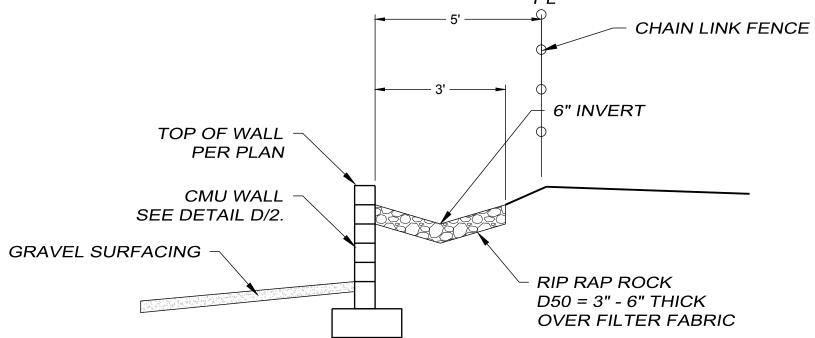
DRAINAGE RIDGE LINE



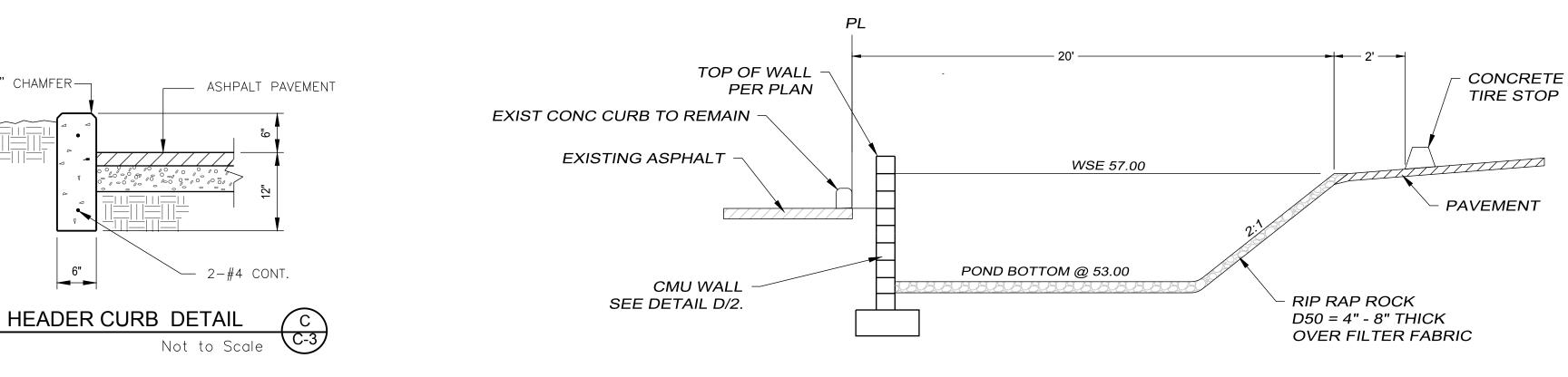


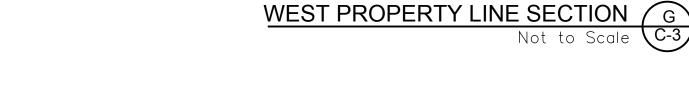


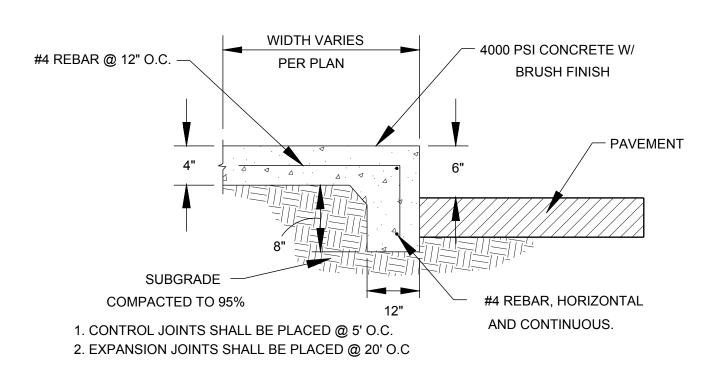




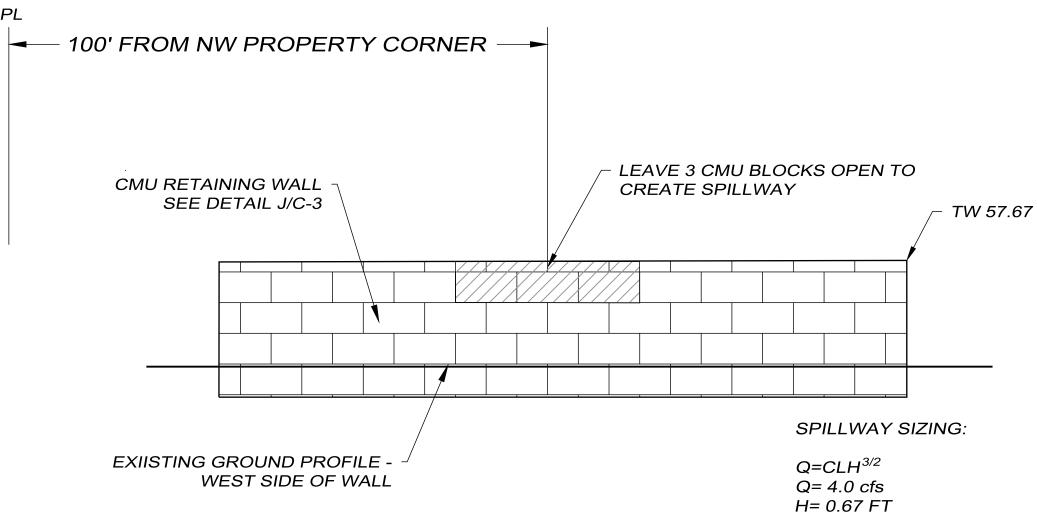
# EAST PROPERTY LINE SECTION (F







3/4" CHAMFER—



TURNDOWN SIDEWALK DETAIL

OVERFLOW SPILLWAY ELEVAION (H

C = 2.40L= 3' = 3 CMU BLOCKS (48")

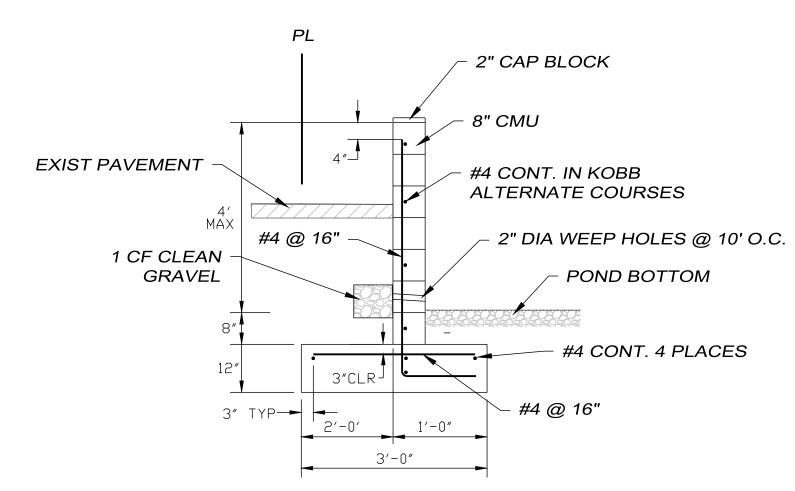
## Private Drainage Facilities within City Right-of-Way

**Notice to Contractor** (Special Order 19 ("SO-19")

- 1. An excavation permit will be required before beginning any work within City Right-Of-
- 2. All work on this project shall be performed in accordance with applicable federal, state
- and local laws, rules and regulations concerning construction safety and health. 3. Two working days prior to any excavation, the contractor must contact **New Mexico**
- One Call, dial "811" [or (505) 260-1990] for the location of existing utilities.
- 4. Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
- 5. Backfill compaction shall be according to traffic/street use.
- 6. Maintenance of the facility shall be the responsibility of the owner of the property being
- 7. Work on arterial streets shall be performed on a 24-hour basis.
- 8. Contractor must contact Jason Rodriguez at 235-8016 and Construction Coordination at 924-3416 to schedule an inspection.

STREET MAINTENANCE INSPECTOR

**APPROVAL** 





### RETAINING WALL NOTES:

- ALL CELLS SHALL BE COMPLETELY FILLED WITH CONCRETE.

  ALL WALL SECTIONS ARE DESIGNED BASED ON SPECIAL INSPECTION PER UBC.

  CONTRACTOR SHALL SUBMIT TO OWNER RESULTS OF MASONRY TEST PRISMS BUILT
- AND TESTED PER UBC STD 24-26, UBC SEC 2405. 4. FOOTING SUBGRADE AND BASE SHALL BE COMPACTED TO 95% MODIFIED PROCTOR
- PER ASTM D-1557. 5. 1/2" FELT EXPANSION JOINTS SHALL BE INSTALLED AT 30 FEET ON CENTER AND AT SECTION CHANGES.
- 6. ALL MASONRY SHALL BE LAID IN RUNNING BOND ONLY.
  7. THIS RETAINING WALL IS DESIGNED EXCLUSIVELY FOR USE ON VILLAS TUSCANO
- AND IS NOT APPLICABLE TO ANY OTHER SITE. 8. ALL MASONRY SURFACES TO BE BACKFILL SHALL BE COATED WITH EMULSIFIED
- ASPHALT, OR OTHER MOISTURE BARRIER AS APPROVED BY THE ENGINEER.
- BEFORE CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ANY UTILITIES WHICH MAY BE WITHIN THE WORK AREA.
- 10. WALLS ARE DESIGNED ASSUMING THE FOLLOWING:

passive pressure = 400 psf / ft

fc = 4000 psi: maximum aggregate size = 3/4" fy = 60,000 psi ( ASTM A-615 GR 60 ) fm = 1500 psiunit weight of backfill = 115 pcf concrete / soil coeff of friction = 0.40 allowable soil bearing pressure = 1500 psf active pressure = 34 psf / ft slope active pressure = 34 psf / ft

NOT FOR CONSTRUCTION





SILVER S 5111 WIL ALBUQUE

