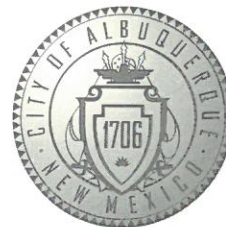


CITY OF ALBUQUERQUE

Hydrology Section Planning Department
David S. Campbell, Director



Timothy M. Keller, Mayor

April 16, 2018

Dennis Lorenz
Lorenz Design & Consulting LLC
2501 Rio Grande NW Suite A
Albuquerque, NM 87104

RE: **Silver Star Auto Haus**
5111 Wilshire Ave. NE
Engineer's Stamp Date: 3/19/2018
Hydrology File: C17D014A1

Dear Mr. Lorenz:

Based on the information provided in the submittal received on 3/20/2018 the above-referenced Grading and Drainage Plan is approved for Site Plan for Building Permit. The following comments must be addressed prior to approval for building permit and SO-19 permit.

1. A Drainage Covenant is required to insure maintenance of the pond, pump and force main. The original signed and notarized document must be submitted to Madeline Carruthers along with a \$25 check payable to Bernalillo County for the recording fees for each document to be recorded. The blank form of the Drainage Covenant can be downloaded from the Hydrology section web page.
2. Add the words "see Notice to Contractor on sheet C-3" to keynote 28 on sheet C-2, and check the "SO-19 Approval" line on the DTIS.
3. Please consider moving the retaining walls away from the property lines to keep the footer out of the soil friction plain. Add a note on the plan view stating that "no encroachment is allowed into the neighbor's property without written permission and any damages to the neighbor's property must be repaired". Consider adding a requirement for piling and/or shoring of the taller cuts.
4. Pump specifications and performance curve are required. They should be added to the G&D Plan and the information should be included in the Drainage Covenant.

If you have any questions, please contact me at 924-3986 or jhughes@cabq.gov.

Sincerely,

James D. Hughes
Principal Engineer, Planning Dept.
Development Review Services



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: _____ **Building Permit #:** _____ **City Drainage #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Engineering Firm: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Architect: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ OTHER (SPECIFY) _____

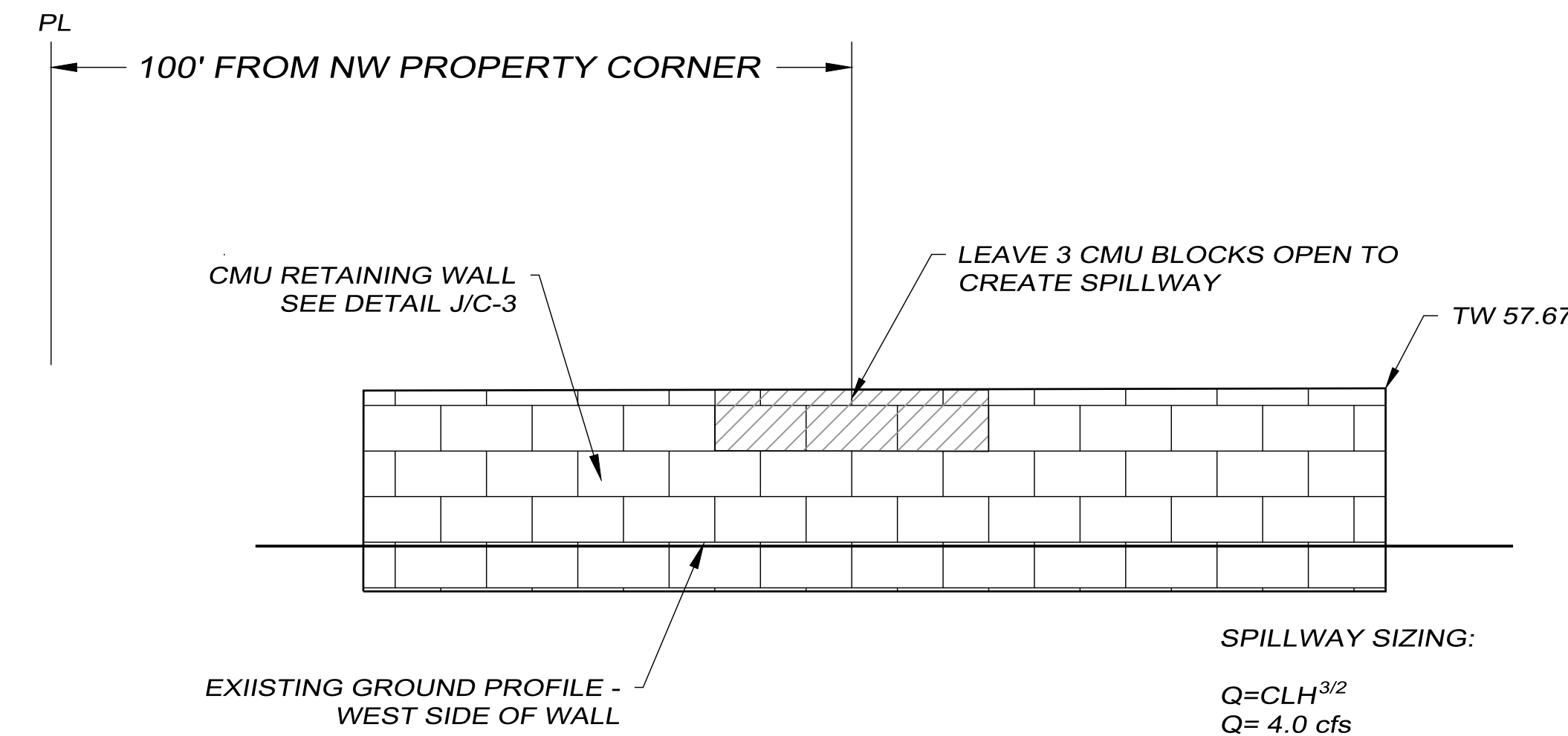
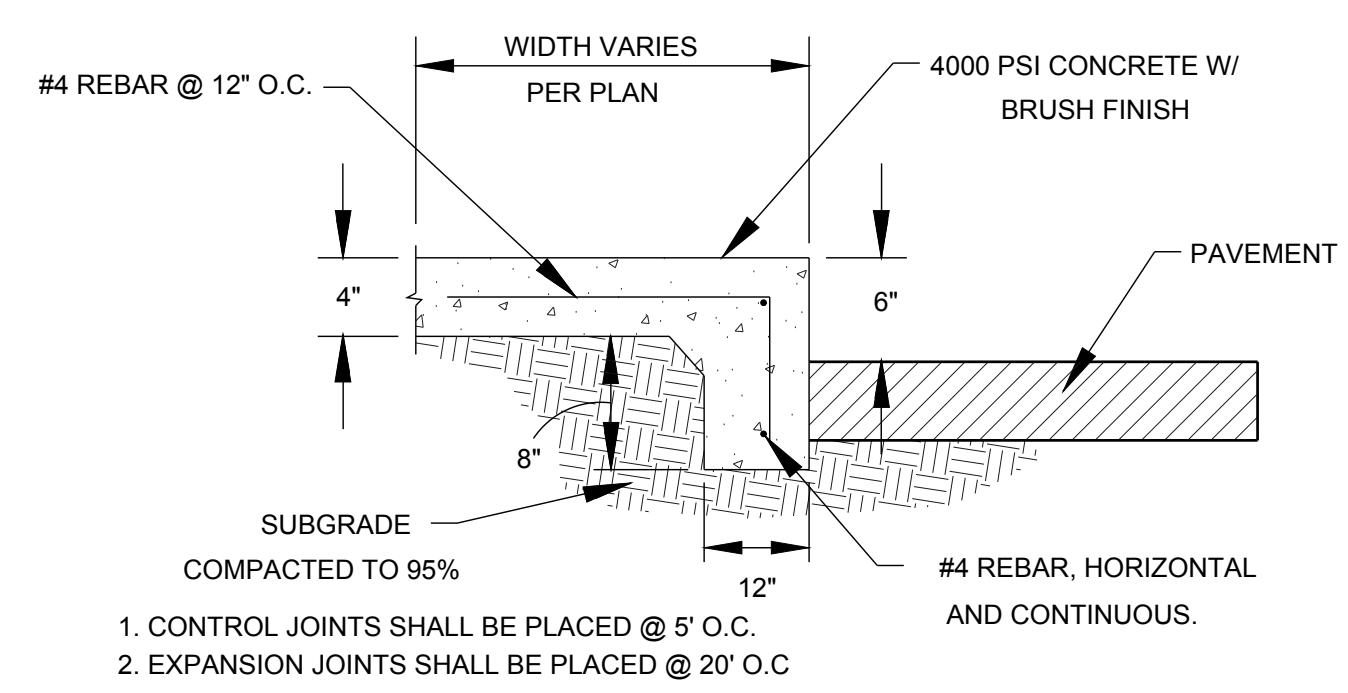
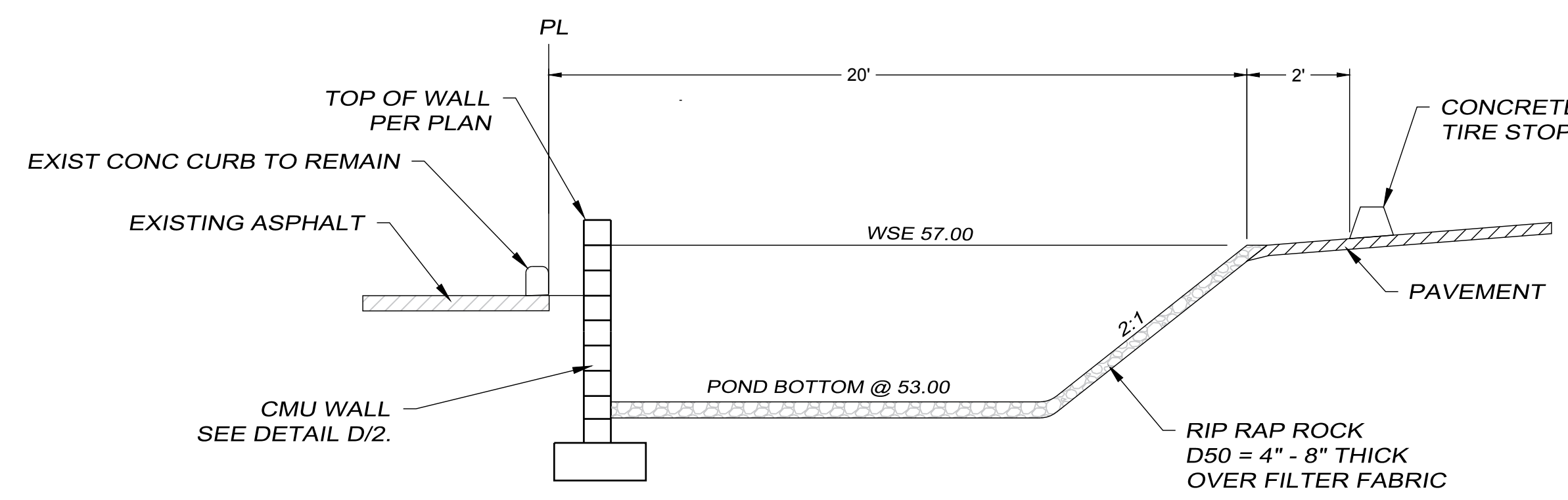
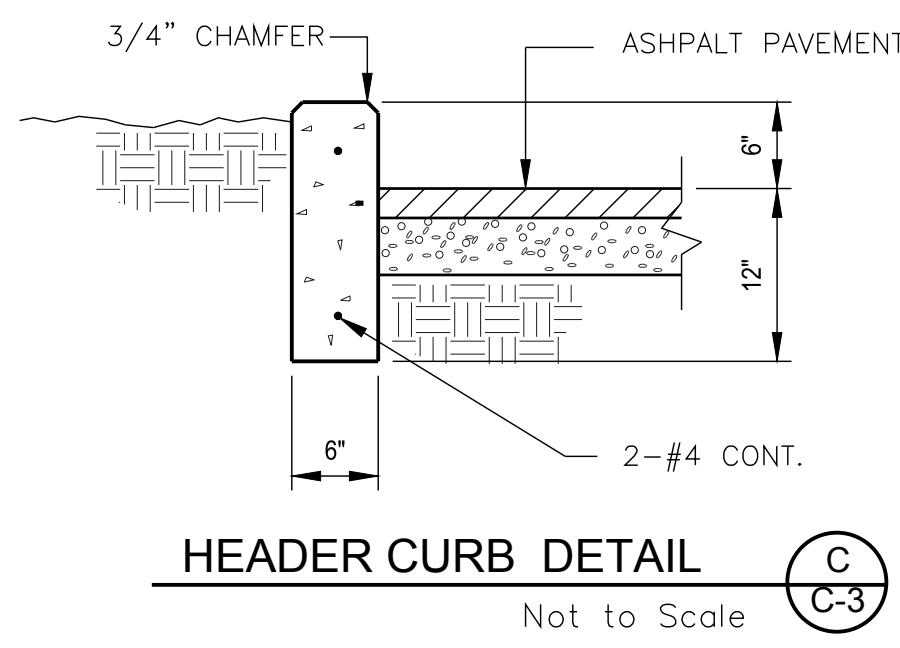
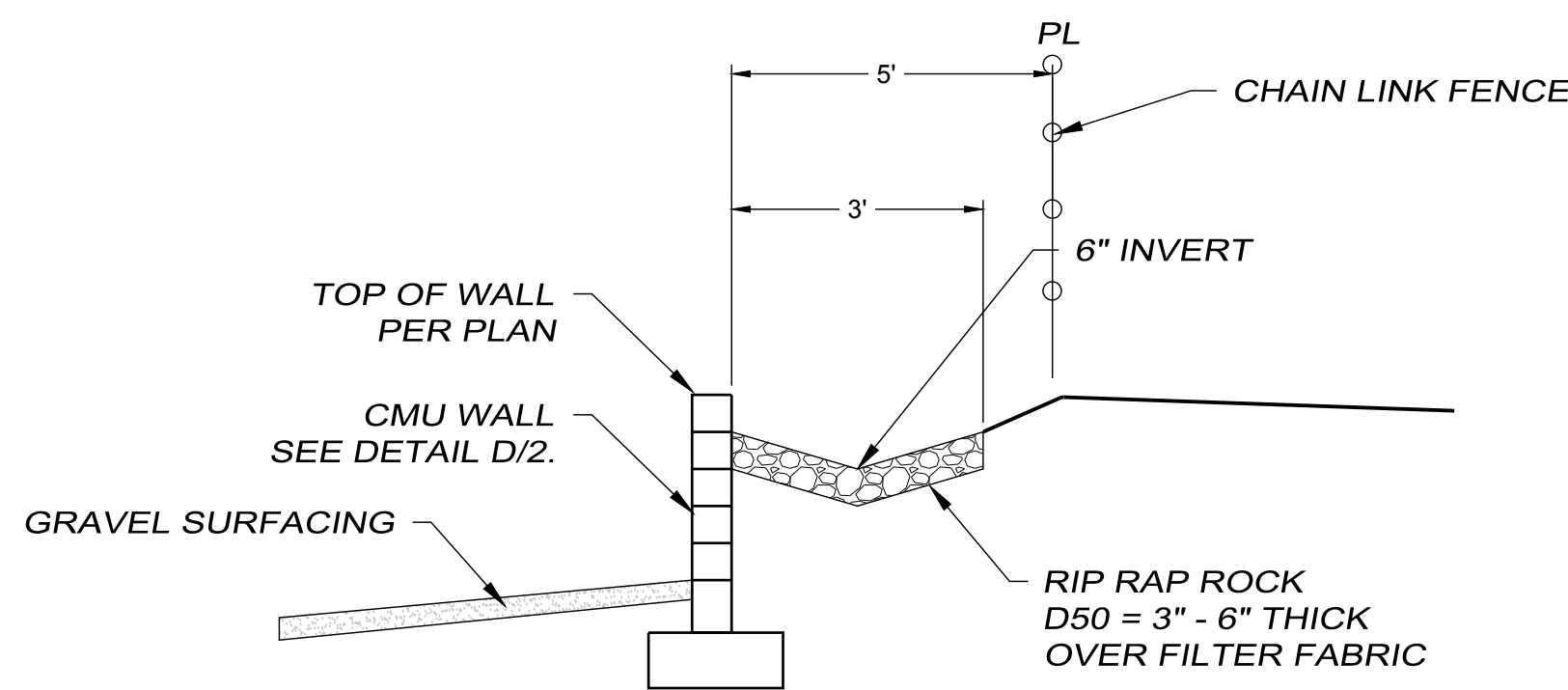
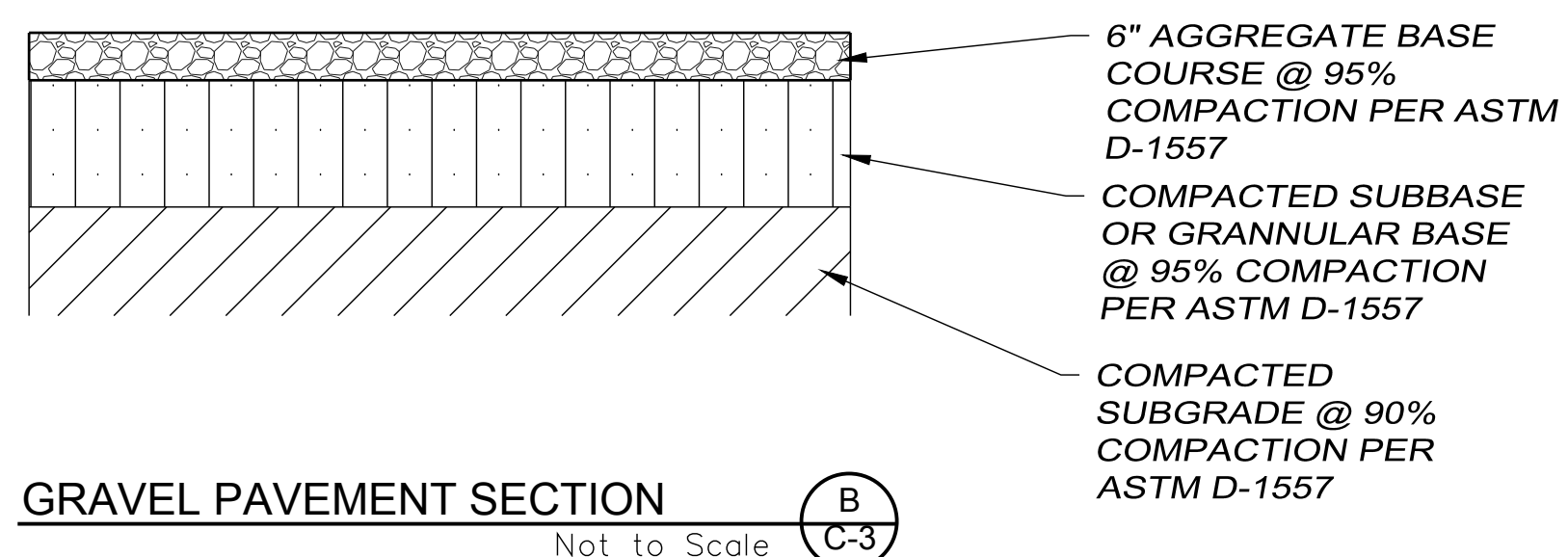
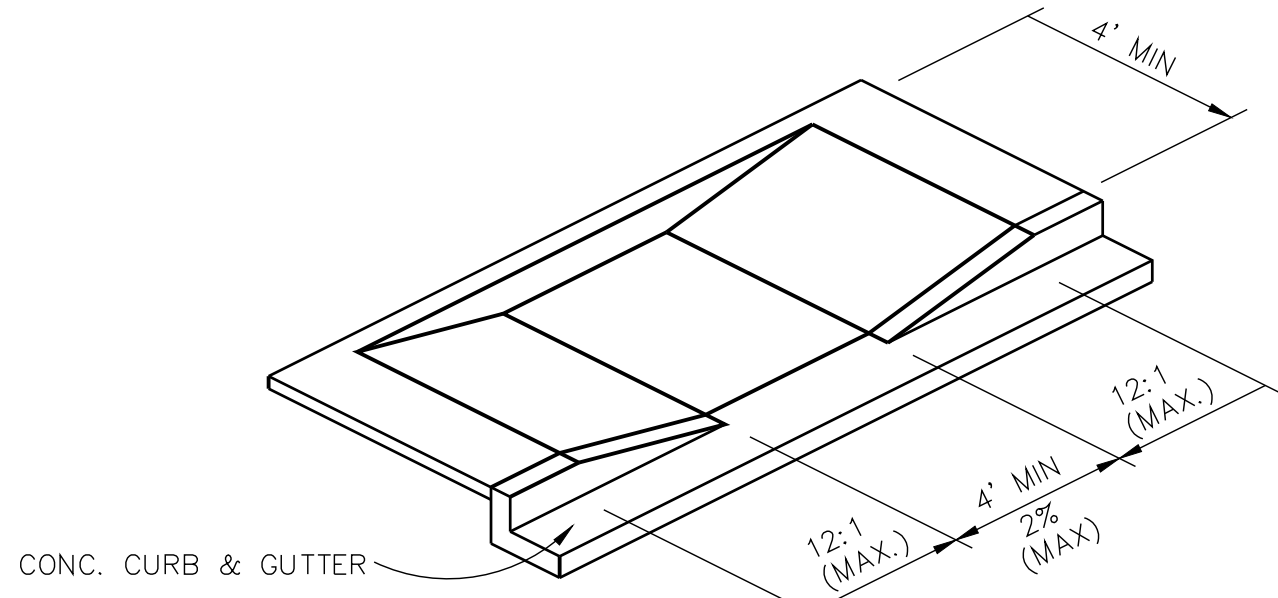
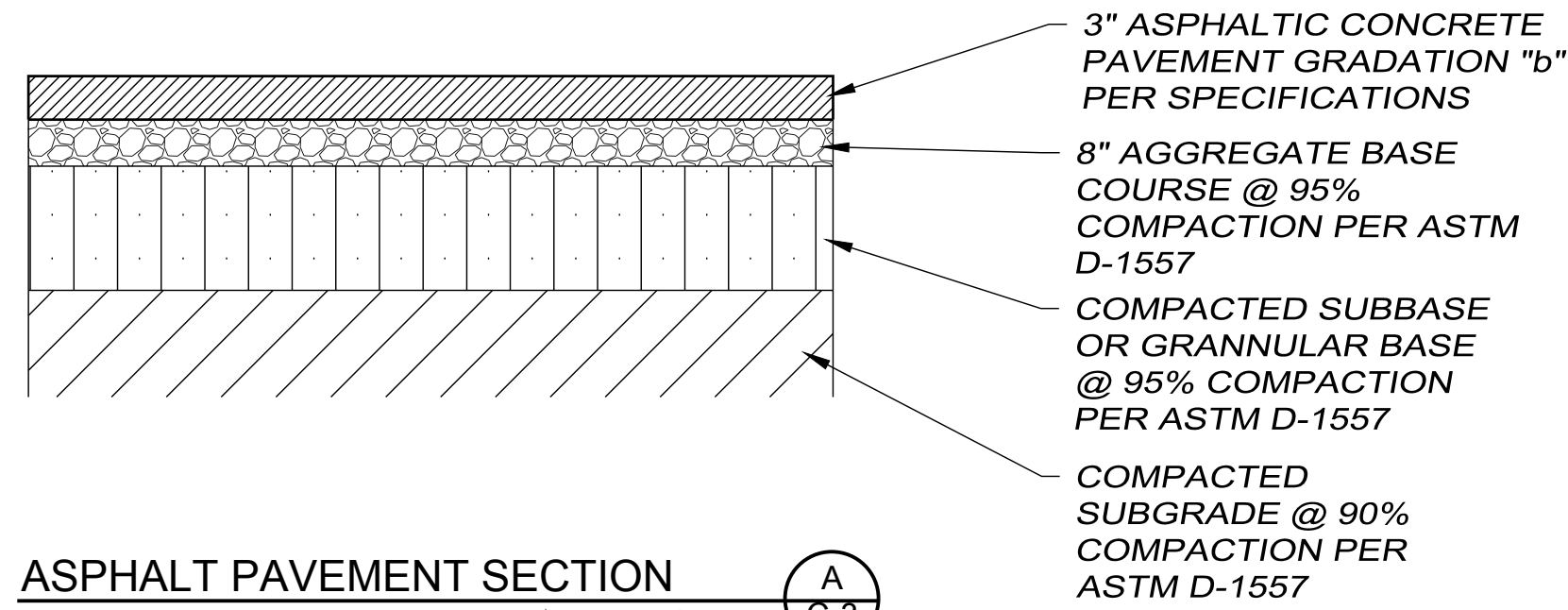
CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
- ☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

DATE SUBMITTED: _____ **By:** _____

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

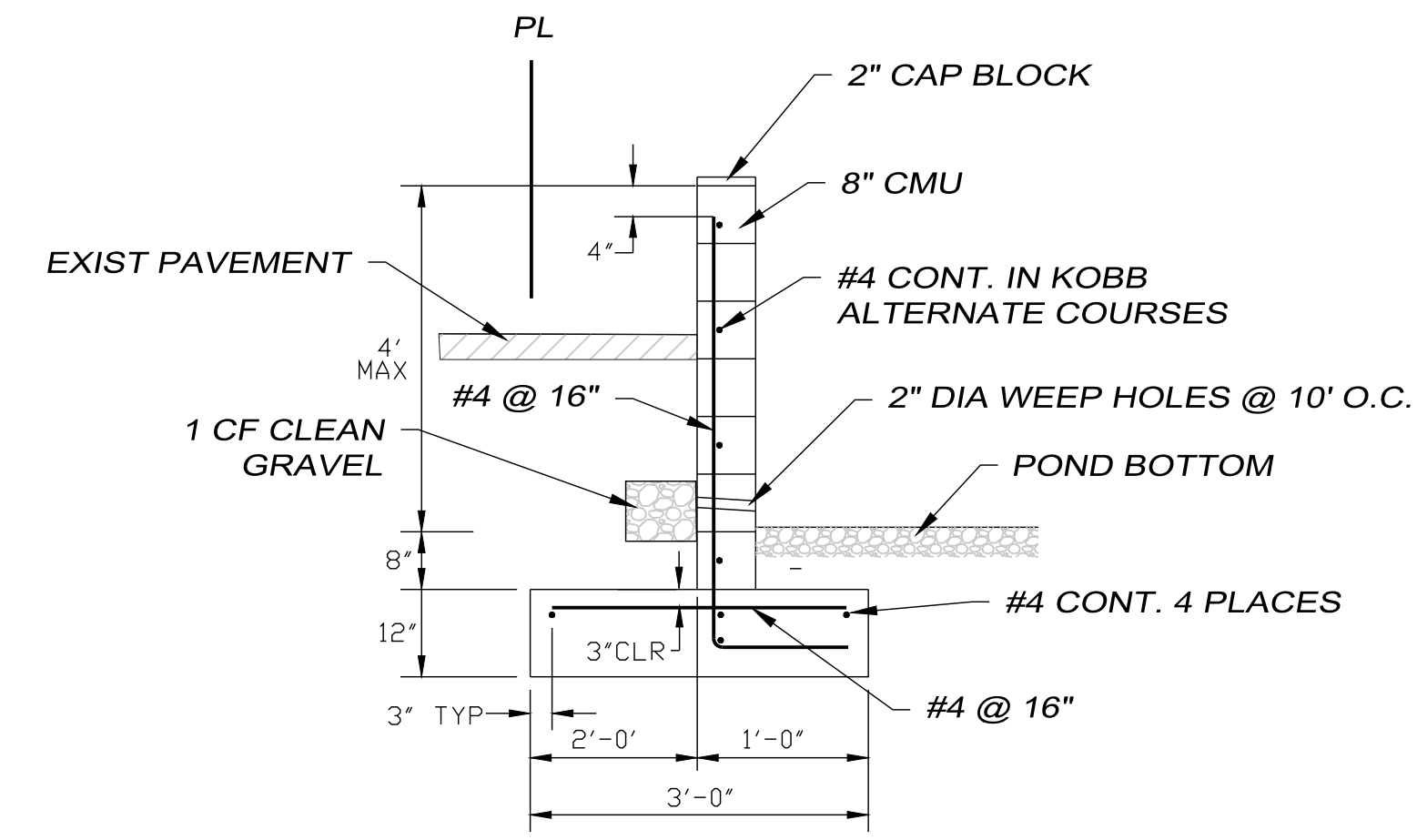


Private Drainage Facilities within City Right-of-Way
Notice to Contractor
(Special Order 19 ("SO-19"))

1. An excavation permit will be required before beginning any work within City Right-Of-Way.
2. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
3. Two working days prior to any excavation, the contractor must contact **New Mexico One Call**, dial **"811"** [or (505) 260-1990] for the location of existing utilities.
4. Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
5. Backfill compaction shall be according to traffic/street use.
6. Maintenance of the facility shall be the responsibility of the owner of the property being served.
7. Work on arterial streets shall be performed on a 24-hour basis.
8. Contractor must contact Jason Rodriguez at 235-8016 and Construction Coordination at 924-3416 to schedule an inspection.

STREET MAINTENANCE INSPECTOR

APPROVAL _____

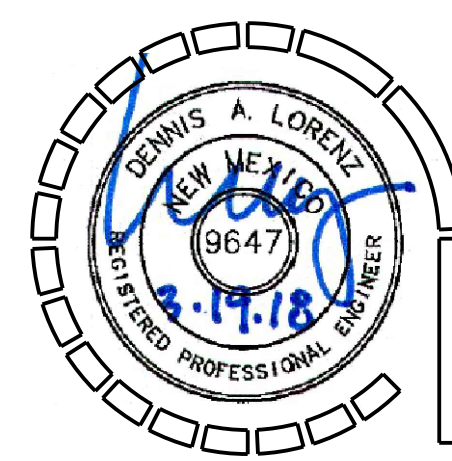


RETAINING WALL NOTES:

1. ALL CELLS SHALL BE COMPLETELY FILLED WITH CONCRETE.
2. ALL WALL SECTIONS ARE DESIGNED BASED ON SPECIAL INSPECTION PER UBC.
3. CONTRACTOR SHALL SUBMIT TO OWNER RESULTS OF MASONRY TEST PRISMS BUILT AND TESTED PER UBC STD 24-26, UBC SEC 2405.
4. FOOTING SUBGRADE AND BASE SHALL BE COMPACTED TO 95% MODIFIED PROCTOR PER ASTM D-1557.
5. 1/2" FELT EXPANSION JOINTS SHALL BE INSTALLED AT 30 FEET ON CENTER AND AT SECTION CHANGES.
6. ALL MASONRY SHALL BE LAID IN RUNNING BOND ONLY.
7. THIS RETAINING WALL IS DESIGNED EXCLUSIVELY FOR USE ON VILLAS TUSCAND AND IS NOT APPLICABLE TO ANY OTHER SITE.
8. ALL MASONRY SURFACES TO BE BACKFILL SHALL BE COATED WITH EMULSIFIED ASPHALT, OR OTHER MOISTURE BARRIER AS APPROVED BY THE ENGINEER.
9. BEFORE CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ANY UTILITIES WHICH MAY BE WITHIN THE WORK AREA.
10. WALLS ARE DESIGNED ASSUMING THE FOLLOWING:

$f_c = 4000$ psi; maximum aggregate size = 3/4"
 $f_y = 60,000$ psi (ASTM A-615 GR 60)
 $f_m = 1500$ psi
unit weight of backfill = 115 pcf
concrete / soil coeff of friction = 0.40
allowable soil bearing pressure = 1500 psf
active pressure = 34 psf / ft
slope active pressure = 34 psf / ft
passive pressure = 400 psf / ft

**NOT FOR
CONSTRUCTION**



LORENZ
DESIGN & CONSULTING, LLC
Civil Engineering | Construction Management

2501 Rio Grande Blvd NW, Suite A
Albuquerque, New Mexico 87104
Ph: 505-866-0865 Fax: 505-242-0865

SITE DETAILS

SILVER STAR AUTO HAUS
5111 WILSHIRE AVE. N.E.
ALBUQUERQUE, NEW MEXICO
SANDERS & ASSOCIATES ARCHITECTS, P.C. 6000 ROGERS AVE. N.E. ALBUQUERQUE N.M. 87110 (505) 255-5040 FAX (505) 255-5040

