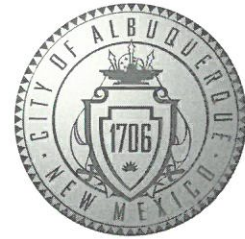


# CITY OF ALBUQUERQUE

Hydrology Section Planning Department  
David S. Campbell, Director



Timothy M. Keller, Mayor

May 2, 2018

Dennis Lorenz  
Lorenz Design & Consulting LLC  
2501 Rio Grande NW Suite A  
Albuquerque, NM 87104

RE: **Silver Star Auto Haus**  
**5111 Wilshire Ave. NE**  
**Engineer's Stamp Date: 5/1/2018**  
**Hydrology File: C17D014A1**

Dear Mr. Lorenz:

Based on the information provided in the submittal received on 5/1/2018 the above-referenced Revised Conceptual Grading and Drainage Plan is approved for Site Plan for Building Permit. The following comments must be addressed prior to approval for building permit and SO-19 permit.

- PO Box 1293  
Albuquerque  
NM 87103  
www.cabq.gov
1. A Drainage Covenant is required to insure maintenance of the pond, pump and force main. The original signed and notarized document must be submitted to Madeline Carruthers along with a \$25 check payable to Bernalillo County for the recording fees for each document to be recorded. The blank form of the Drainage Covenant can be downloaded from the Hydrology section web page.
  2. Add the words "see Notice to Contractor on sheet C-3" to keynote 28 on sheet C-2, and check the "SO-19 Approval" line on the DTIS.
  3. Please consider moving more of the retaining walls away from the property lines to keep the footer out of the soil friction plain, especially in front of the building where the parking spaces can easily be slid west a little. Add a note on the plan view stating that "no encroachment is allowed into the neighbor's property without written permission and any damages to the neighbor's property must be repaired". Alternatively consider adding a requirement for piling and/or shoring of the taller cuts.
  4. Pump specifications and performance curve are required. They should be added to the G&D Plan and the information should be included in the Drainage Covenant.

If you have any questions, please contact me at 924-3986 or [jhughes@cabq.gov](mailto:jhughes@cabq.gov).

Sincerely,

James D. Hughes  
Principal Engineer, Planning Dept.  
Development Review Services



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

**Project Title:** \_\_\_\_\_ **Building Permit #:** \_\_\_\_\_ **City Drainage #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** \_\_\_\_\_

**City Address:** \_\_\_\_\_

**Engineering Firm:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Owner:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Architect:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Other Contact:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

Check all that Apply:

**DEPARTMENT:**

- ☐ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

**TYPE OF SUBMITTAL:**

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ OTHER (SPECIFY) \_\_\_\_\_

**CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

- ☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR
- ☐ PRE-DESIGN MEETING  
☐ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

**DATE SUBMITTED:** \_\_\_\_\_ **By:** \_\_\_\_\_

COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_



## PURPOSE AND SCOPE

## EXISTING CONDITIONS

## PROPOSED IMPROVEMENTS

*First flush storage will be attained within the retention pond by elevating the pond outlet 1-foot above the pond bottom.*

Construction will disturb an area of less than 1.0 acres; therefore a Storm Water Pollution Prevention Plan will not be required.

## CALCULATIONS

The calculations shown hereon define the 100-year/6 hour design storm falling within the project area under existing and proposed conditions. The hydrology is per "Section 22.2, Part A, Development Process Manual, Vol 2", dated June 1997.

ZONE:		2		PROJECT HYDROLOGY					
P <sub>6</sub> HOUR		2.35		SILVER STAR AUTO HAUS					
P <sub>10</sub> DAY		3.95		AHYMO					
EXISTING CONDITIONS									
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)	10 Day VOL (ac ft)
SITE	0.98	0.00	0.00	0.97	0.01	1.14	3.09	0.093	0.094
PROPOSED CONDITIONS									
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)	10 Day VOL (ac ft)
SITE	0.98	0.00	0.15	0.15	0.68	1.76	4.01	0.144	0.235

### FIRST FLUSH CRITERIA

By ordinance the site is required to retain the 90<sup>th</sup> percentile rainfall depth. In order to comply with this criterion, where practical, all surface areas will be routed through landscaped areas before release to downstream public drainage facilities. The proposed plan will route runoff through a permanent retention pond with flush storage. Storage in excess of the 90<sup>th</sup> percentile rainfall will be provided as illustrated below.

90 <sup>th</sup> percentile depth	0.44"
Less initial abstraction	0.10"
-----	
Total retained depth	0.34"

Storage requirement =  $Ad(0.34'') = 0.68 \text{ ac}(43,560 \text{ sf/ac})(0.34''/12''/\text{ft}) = 839 \text{ cf}$

First flush storage to be provided within the retention pond, below the inlet grade

Total first flush volume within pond =  $0.032 \text{ ac}(43,560 \text{ sf/ac})(1.0')=1,394 \text{ c}$

IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE DRAINAGE ORDINANCE, EFFECTIVE MAY 12, 2014, ALL NEW DEVELOPMENT PROJECTS ARE REQUIRED TO MANAGE THE RUNOFF WHICH OCCURS DURING THE 90TH PERCENTILE STORM EVENT. IN ORDER TO COMPLY WITH THIS CRITERIA, WHERE PRACTICAL, ALL SURFACE DRAINAGE SHALL BE RETAINED THROUGH LANDSCAPED AREAS BEFORE DISCHARGE INTO DOWNSTREAM DRAINAGE FACILITIES. THIS PLAN RECOMMENDS ALL LANDSCAPED AREAS BE DEPRESSED A MINIMUM OF 3-INCHES BELOW THE ADJACENT PAVED SURFACE TO RETAIN THE FIRST FLUSH RUNOFF.

## PROJECT DATA

PROPERTY ADDRESS:

5111 WILSHIRE AVE NE  
ALBUQUERQUE, NEW MEXICO

LEGAL DESCRIPTION:

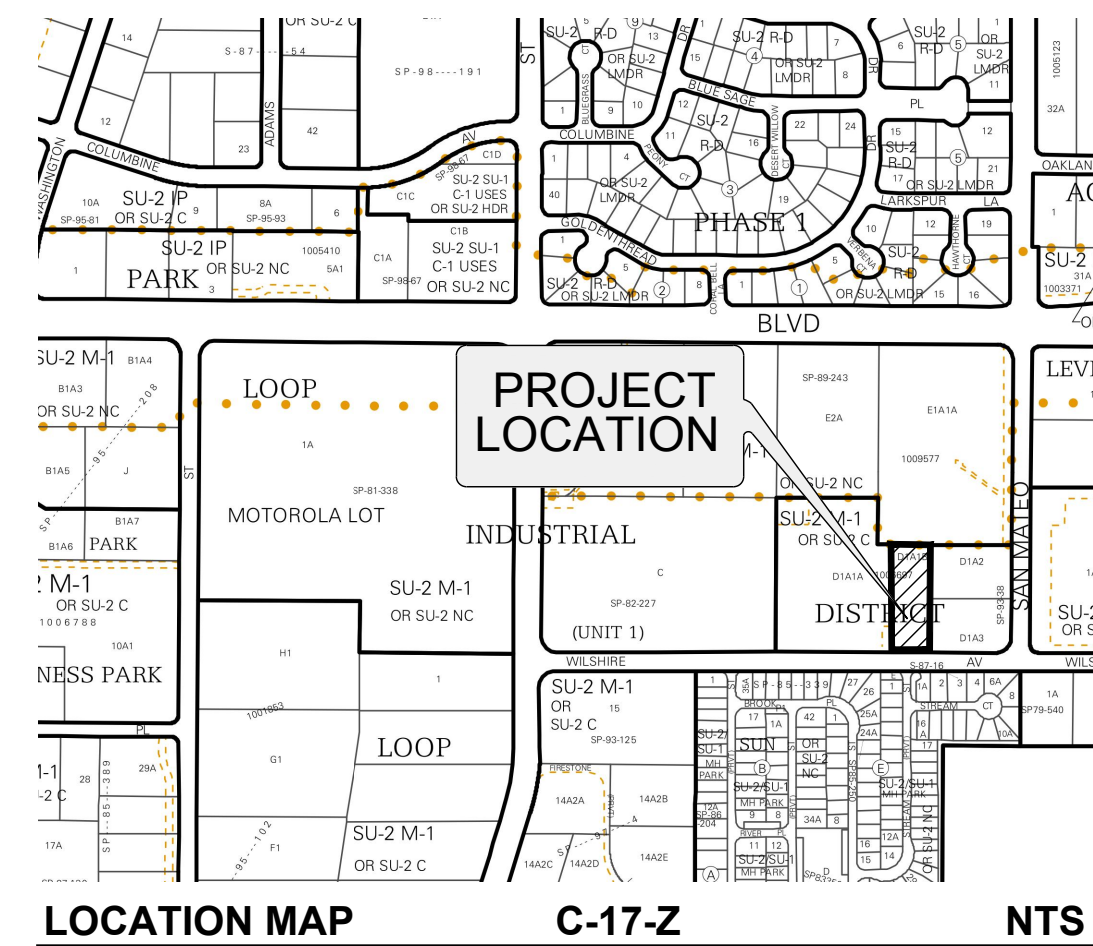
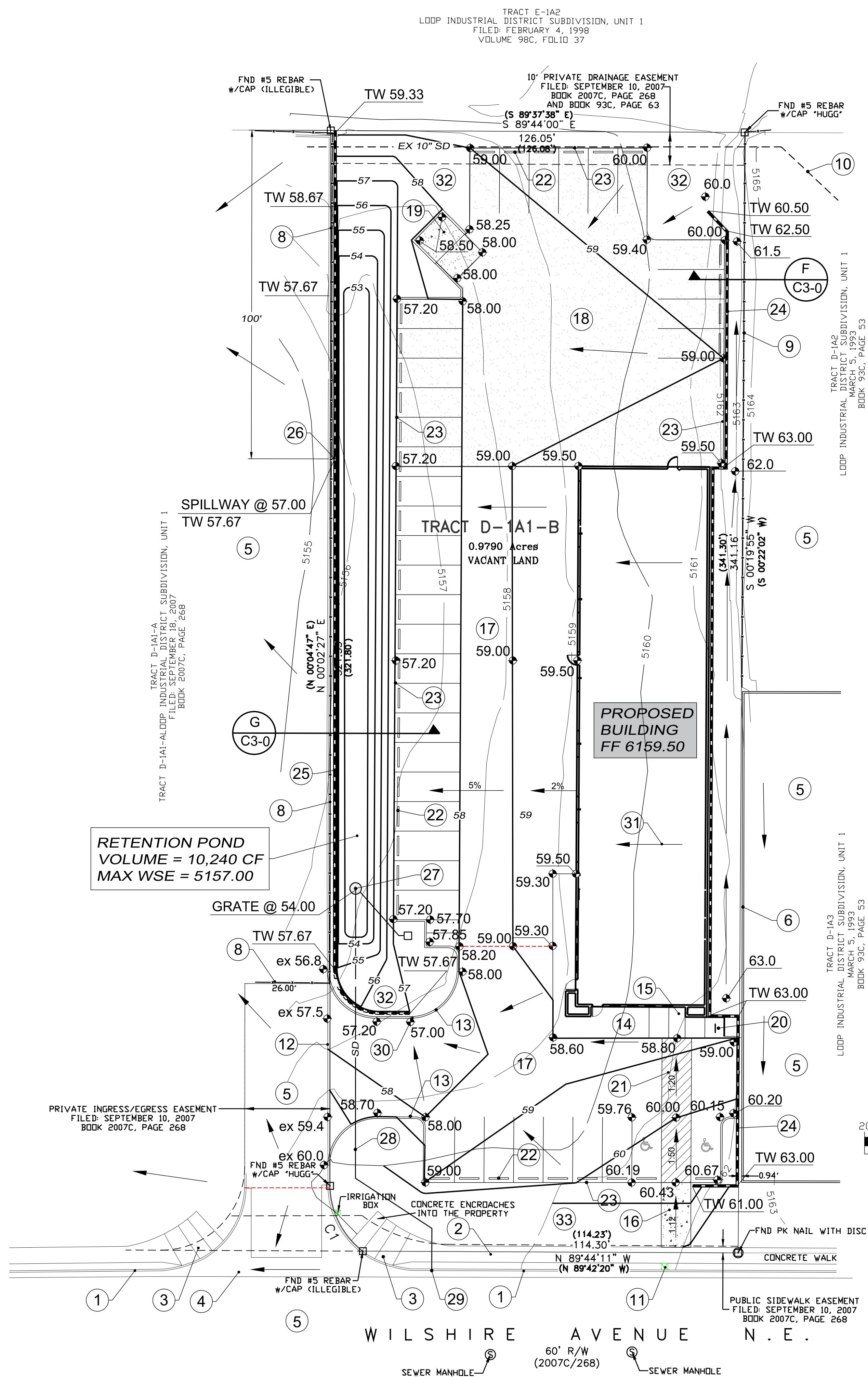
TRACT D-1A1-B  
LOOP INDUSTRIAL DISTRICT  
SUBDIVISION  
ALBUQUERQUE, NEW MEXICO

**SURVEY:**

ALL PROJECT SURVEYING BY  
THE SURVEY OFFICE, LLC.  
FEBRUARY 2018

○ KEYED NOTES

1. EXISTING CONCRETE CURB.
2. EXISTING CONCRETE SIDEWALK.
3. EXISTING HANDICAP RAMP.
4. EXISTING CONCRETE VALLE GUTTER.
5. EXISTING ASPHALT PAVEMENT.
6. EXISTING BLOCK WALL.
7. EXISTING 6" CHAIN LINK FENCE.
8. REMOVE AND SALVAGE EXISTING 6" CHAIN LINK FENCE.
9. EXISTING WIRE FENCE IN DISREPAIR. COORDINATE REPAIR WITH ADJACENT PROPERTY OWNER.
10. EXISTING PRIVATE 10" STORM DRAIN.
11. EXISTING WATER METER.
12. REM & DISPOSE EXISTING CONCRETE CURB ACROSS NEW ENTRY.
13. CONSTRUCT 6" CONCRETE CURB. SEE SHEET C-3.0.
14. CONSTRUCT TURNDOWN SIDEWALK. SEE SHEET C-3.
15. CONSTRUCT HANDICAP RAMP. SEE SHEET C-3.
16. CONSTRUCT 8" WIDE CONCRETE SIDEWALK AT 1:12.
17. CONSTRUCT ASPHALT PAVEMENT. SEE SHEET C-3.
18. CONSTRUCT GRAVEL SURFACING. SEE SHEET C-3.
19. CONSTRUCT REFUSE ENCLOSURE. SEE SITE PLAN.
20. INSTALL BICYCLE RACK. SEE SITE PLAN.
21. INSTALL HANDICAPPED PARKING STRIPING AND SIGNAGE. SEE SITE PLAN.
22. INSTALL CONCRETE TIRE STOPS AT ALL PARKING SPACES.
23. EDGE OF PAVEMENT. NO CURBING.
24. CONSTRUCT RETAINING WALL ALONG EAST PROPERTY LINE. SEE SHEET C-3.
25. CONSTRUCT RETAINING WALL ALONG WEST PROPERTY LINE. SEE SHEET C-3.
26. CONSTRUCT POND OVERFLOW SPILLWAY. SEE SHEET C-3.
27. INSTALL STORM INLET WITH SUMP PUMP AND ELECTRIC SUPPLY. SEE SHOP DRAWINGS.
28. POND PUMP DISCHARGE LINE.
29. CONSTRUCT 3" CURB PENETRATION. SEE COA STD DWG 2235.
30. PROVIDE 12" CURB BLOCKOUT FOR DRAINAGE.
31. DIRECTION OF ROOF DRAINAGE.
32. NEW LANDSCAPING. SEE LANDSCAPE PLAN.
33. EXISTING LANDSCAPING TO REMAIN. SEE LANDSCAPE PLAN.



## LEGEND

ITEM	EXISTING	PROPOSED
PROPERTY LINE		
SPOT ELEVATION	75.5	01.5
CONTOUR W/ ELEVATION	5800	5800
DIRECTION OF FLOW		
RIDGE LINE		
SLOPE GRADING		3 : 1
TOP CURB/FLOWLINE	EX TC 75.75 EX FL 75.25	TC 75.75 FL 75.25
TOP WALL/FINISH GRADE	EX TW 75.75 EX FG 75.25	TW 75.75 FG 75.25
CONCRETE CURB		
BLOCK WALL		
RETAINING WALL		
STORM DRAIN	84" SD	24" SD
UTILITY POLE		
WATER METER		
SEWER MANHOLE		
IRRIGATION BOX		
DRAINAGE RIDGE LINE		

**NOT FOR  
CONSTRUCTION**




**LORENZ**  
DESIGN & CONSULTING, LLC  
Civil Engineering | Construction Management

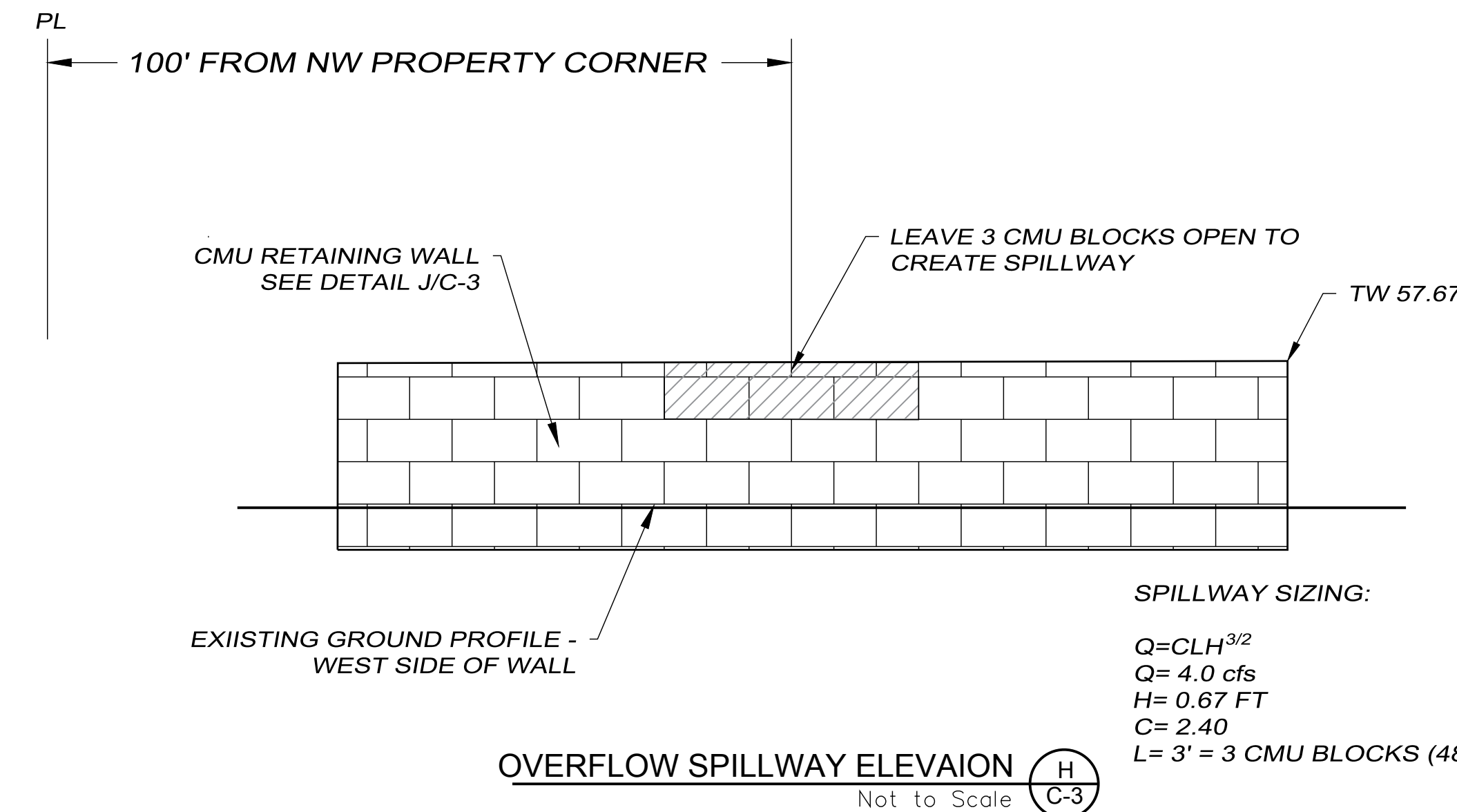
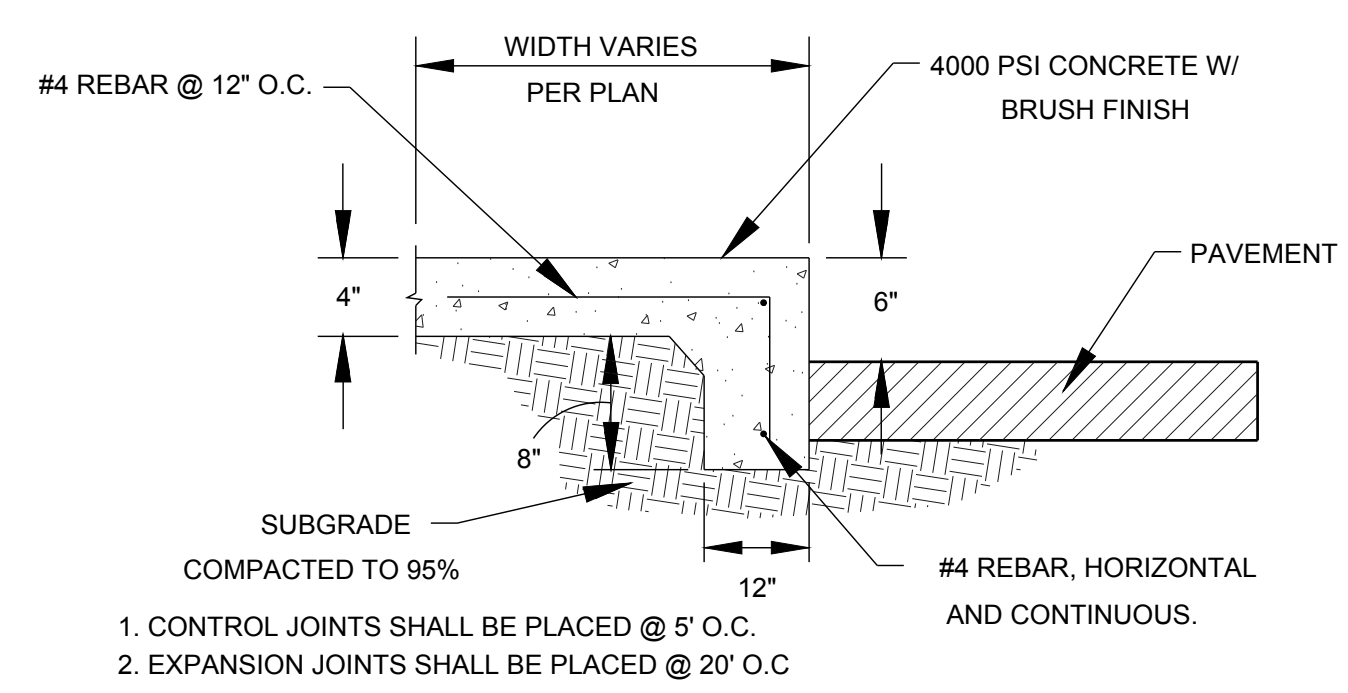
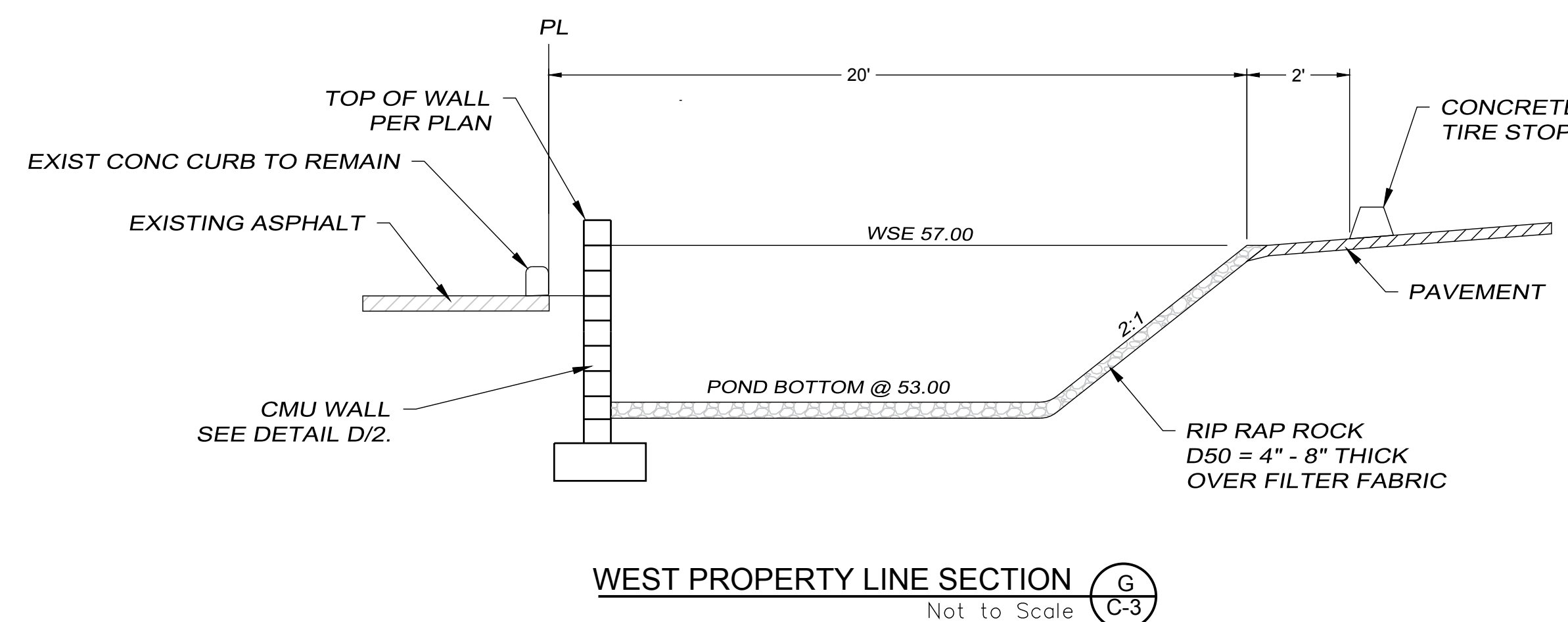
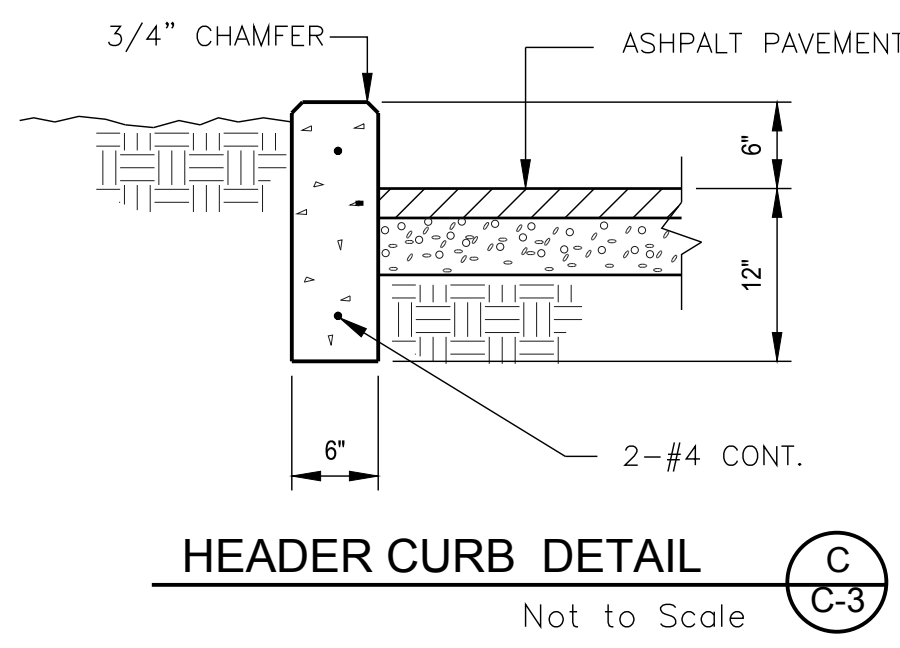
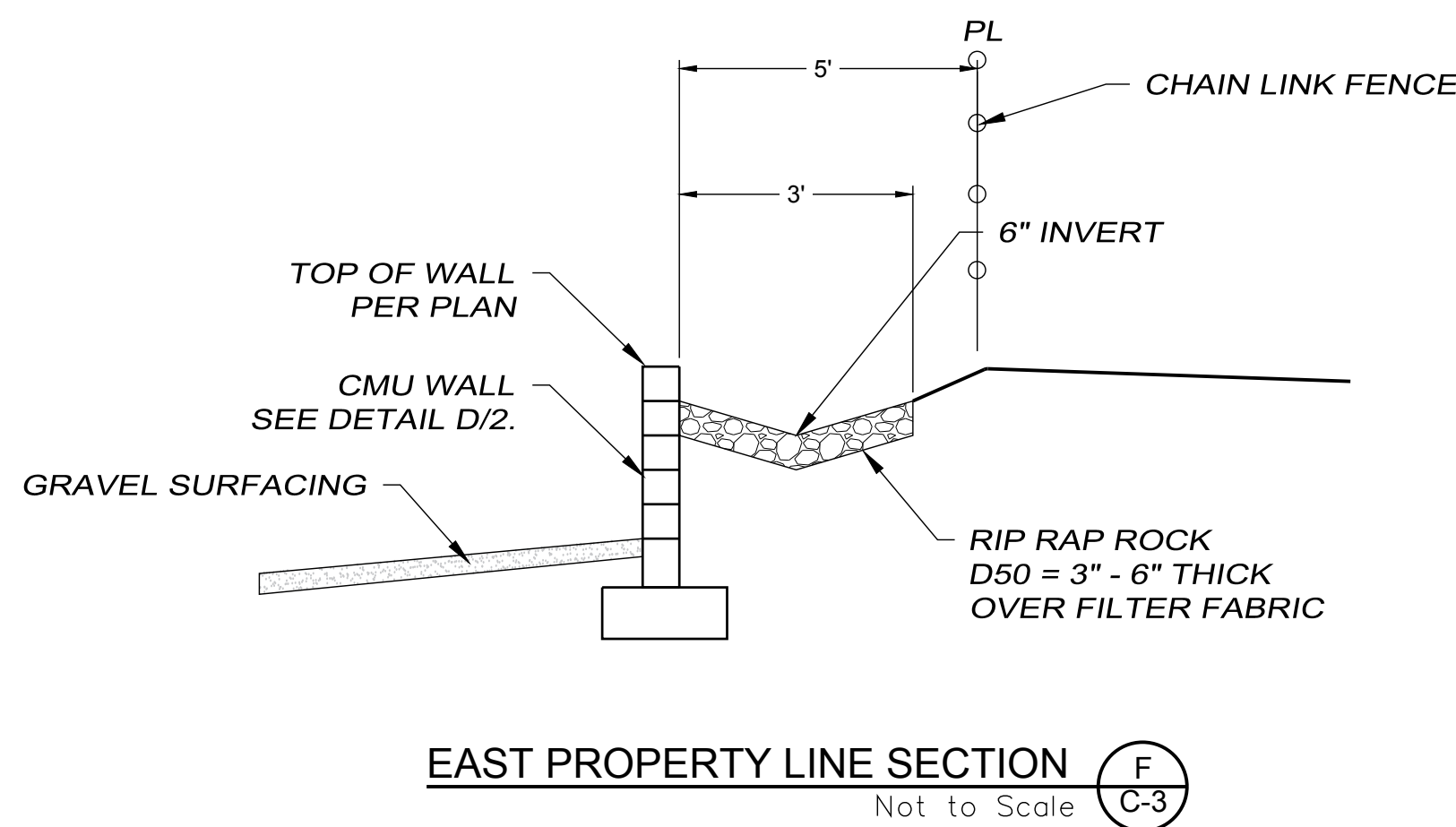
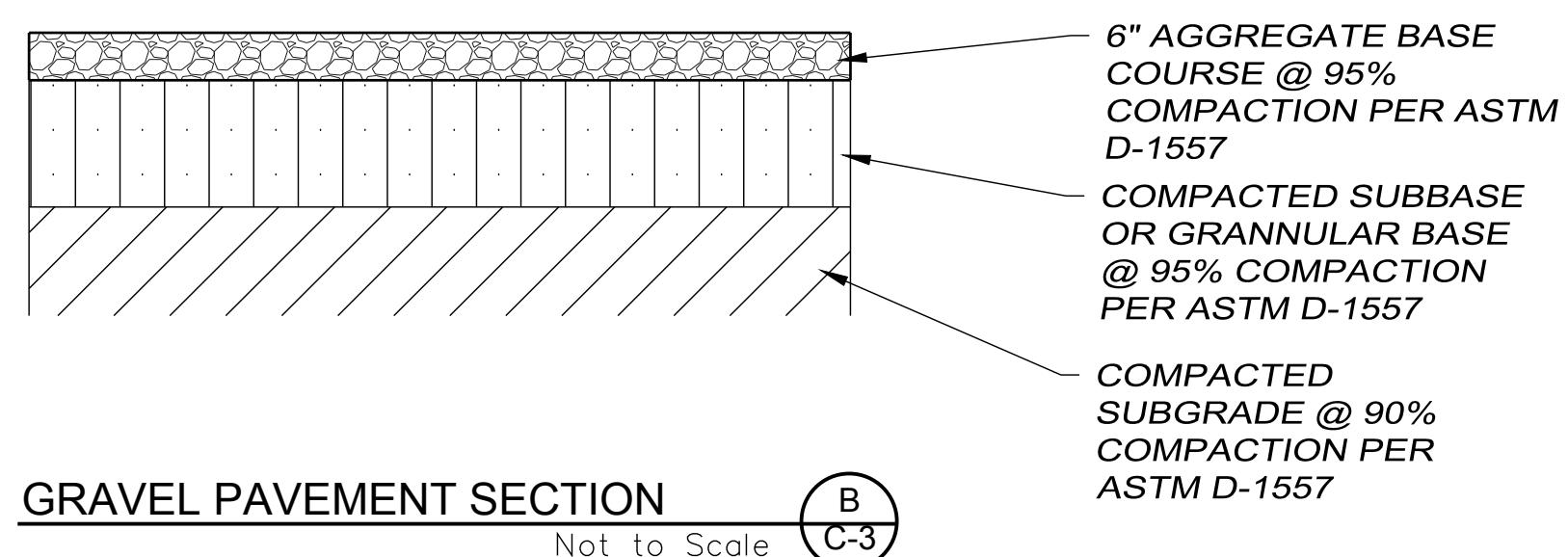
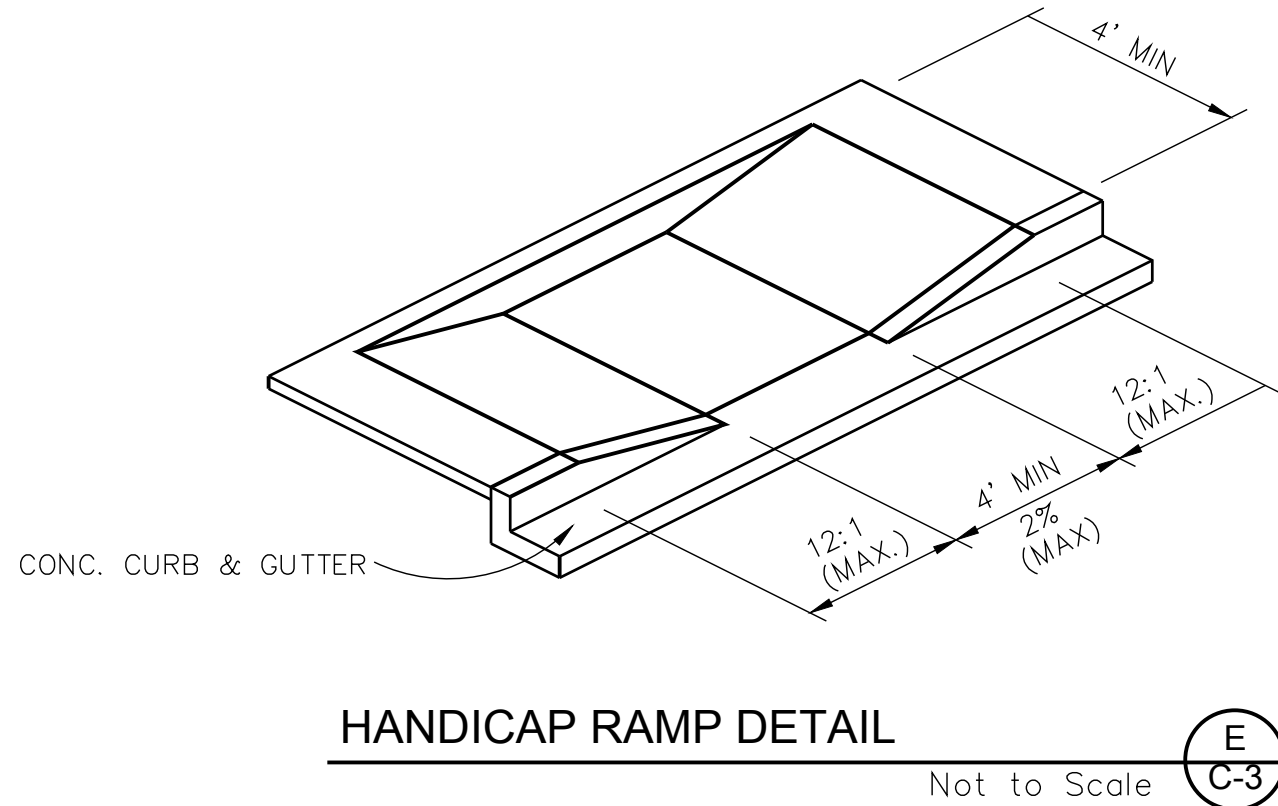
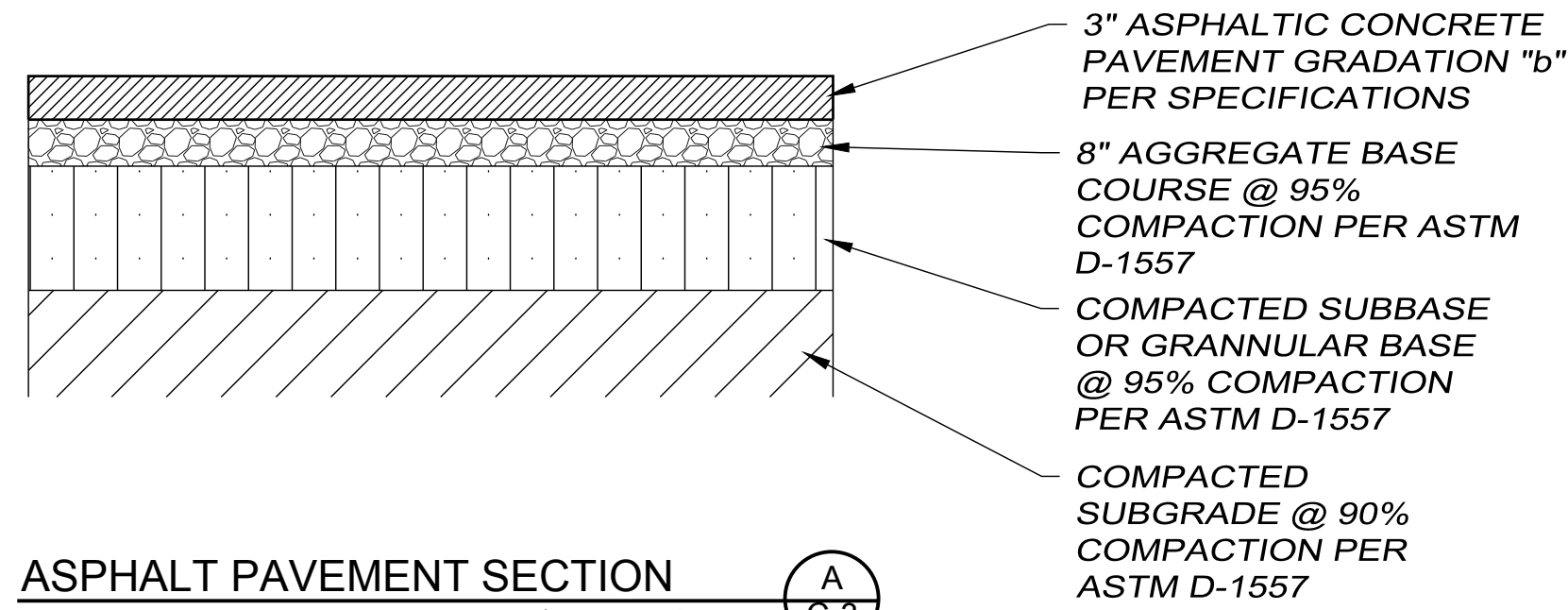
Albuquerque, New Mexico 87104  
Ph: 505-888-6088 Fax: 505-242-6655  
040 FAX (505) 255-5040

# CONCEPTUAL GRADING & DRAINAGE PLAN

SILVER STAR AUTO HAUS  
5111 WILSHIRE AVE. N.E.  
ALBUQUERQUE, NEW MEXICO  
SANDERS & ASSOCIATES ARCHITECTS





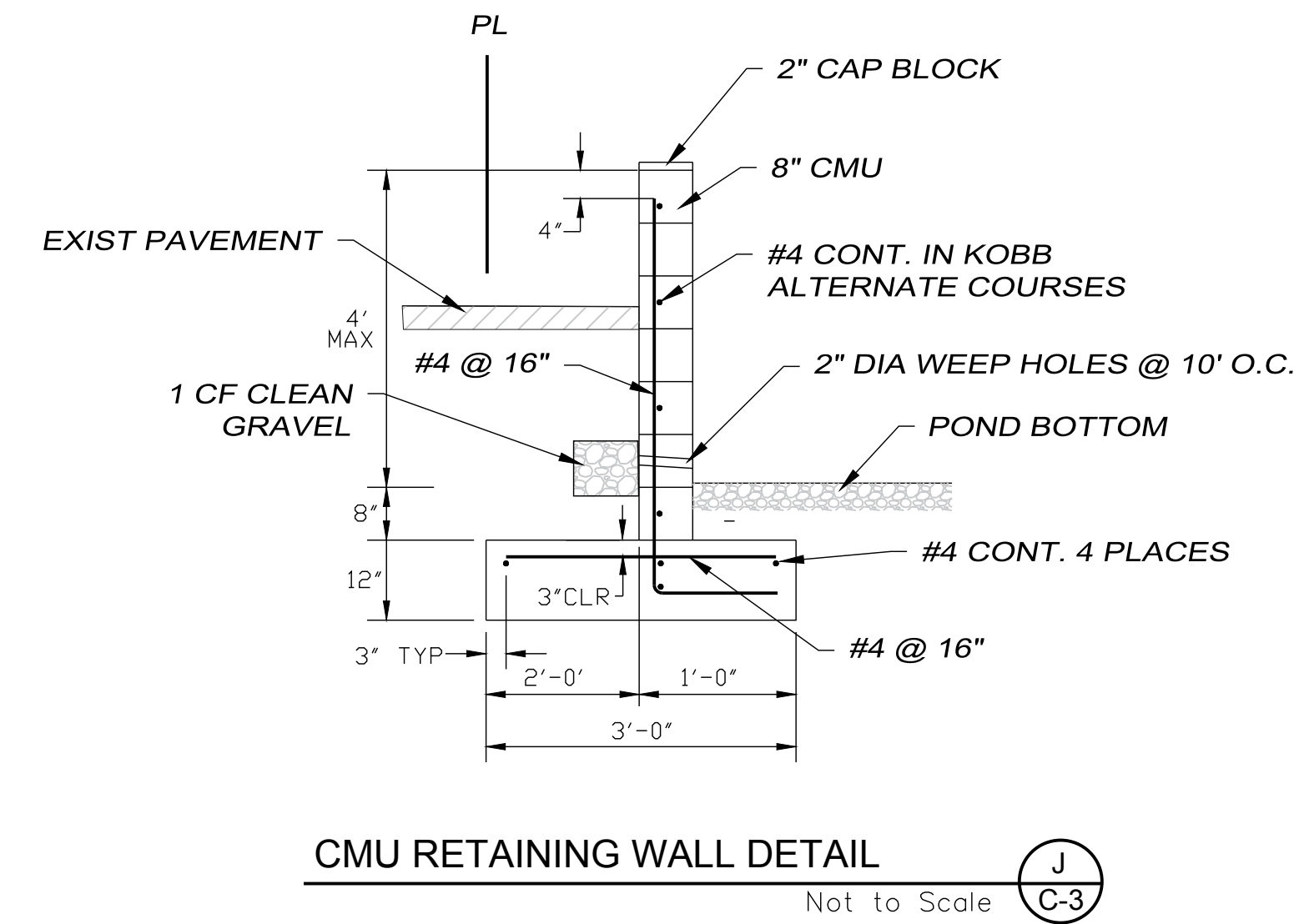


**Private Drainage Facilities within City Right-of-Way**  
**Notice to Contractor**  
(Special Order 19 ("SO-19"))

1. An excavation permit will be required before beginning any work within City Right-Of-Way.
2. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
3. Two working days prior to any excavation, the contractor must contact **New Mexico One Call**, dial **"811"** [or (505) 260-1990] for the location of existing utilities.
4. Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
5. Backfill compaction shall be according to traffic/street use.
6. Maintenance of the facility shall be the responsibility of the owner of the property being served.
7. Work on arterial streets shall be performed on a 24-hour basis.
8. Contractor must contact Jason Rodriguez at 235-8016 and Construction Coordination at 924-3416 to schedule an inspection.

STREET MAINTENANCE INSPECTOR

APPROVAL \_\_\_\_\_

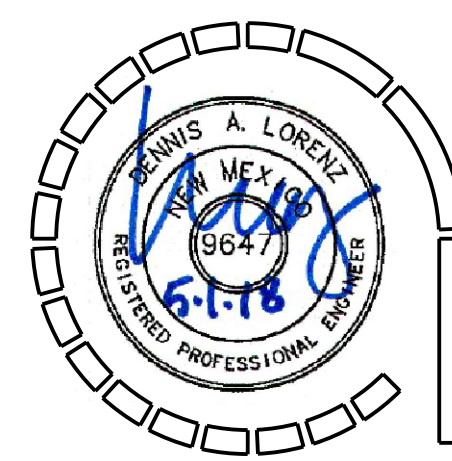


**RETAINING WALL NOTES:**

1. ALL CELLS SHALL BE COMPLETELY FILLED WITH CONCRETE.
2. ALL WALL SECTIONS ARE DESIGNED BASED ON SPECIAL INSPECTION PER UBC.
3. CONTRACTOR SHALL SUBMIT TO OWNER RESULTS OF MASONRY TEST PRISMS BUILT AND TESTED PER UBC STD 24-26, UBC SEC 2405.
4. FOOTING, SUBGRADE AND BASE SHALL BE COMPACTED TO 95% MODIFIED PROCTOR PER ASTM D-1557.
5. 1/2" FELT EXPANSION JOINTS SHALL BE INSTALLED AT 30 FEET ON CENTER AND AT SECTION CHANGES.
6. ALL MASONRY SHALL BE LAID IN RUNNING BOND ONLY.
7. THIS RETAINING WALL IS DESIGNED EXCLUSIVELY FOR USE ON VILLAS TUSCAND AND IS NOT APPLICABLE TO ANY OTHER SITE.
8. ALL MASONRY SURFACES TO BE BACKFILL SHALL BE COATED WITH EMULSIFIED ASPHALT, OR OTHER MOISTURE BARRIER AS APPROVED BY THE ENGINEER.
9. BEFORE CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ANY UTILITIES WHICH MAY BE WITHIN THE WORK AREA.
10. WALLS ARE DESIGNED ASSUMING THE FOLLOWING:

$f_c = 4000$  psi; maximum aggregate size = 3/4"  
 $f_y = 60,000$  psi ( ASTM A-615 GR 60 )  
 $f_m = 1500$  psi  
unit weight of backfill = 115 pcf  
concrete / soil coeff of friction = 0.40  
allowable soil bearing pressure = 1500 psf  
active pressure = 34 psf / ft  
slope active pressure = 34 psf / ft  
passive pressure = 400 psf / ft

**NOT FOR  
CONSTRUCTION**



**LORENZ**  
DESIGN & CONSULTING, LLC  
Civil Engineering | Construction Management

2501 Rio Grande Blvd NW, Suite A  
Albuquerque, New Mexico 87104  
Ph: 505-866-0865 Fax: 505-242-0865

**SITE DETAILS**

SILVER STAR AUTO HAUS  
5111 WILSHIRE AVE. N.E.  
ALBUQUERQUE, NEW MEXICO  
SANDERS & ASSOCIATES ARCHITECTS, P.C. 6000 ROGERS AVE. N.E. ALBUQUERQUE N.M. 87110 (505) 255-5040 FAX (505) 255-5040

