

LEGAL DESCRIPTION:
TRACT E-14-14 LOOP INDUSTRIAL DISTRICT SUBDIVISION, UNIT 1
ADDRESS: 5701 SAN MATEO NE, ALBUQUERQUE, NM
BENCH MARK:
ELEVATION DATUM IS BASED ON NAVD 1988 FROM AGRS MONUMENT "9, C18" PUBLISHED ELEVATION (FEET) = 5232.470 (DATE OF RETRIEVAL: JULY 2007 FOR NON AGRS MONUMENTS)
FLOOD HAZARD:
AS SHOWN ON PANEL 137 OF 825 OF THE FEMA FLOOD INSURANCE RATE MAPS, THIS SITE IS NOT WITHIN A DESIGNATED FLOOD HAZARD AREA.

CONSTRUCTION NOTES:
A. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CALL FOR LOCATION OF EXISTING UTILITIES.
B. ALL WORK WITHIN THE CITY RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.
C. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS, LAWS, AND RULES CONCERNING SAFETY AND HEALTH.
D. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL VERIFY THE EXISTING SITE CONDITIONS AND INFORM ON THE PLANS AND THOSE OF THE EXISTING SITE.
E. THE CONTRACTOR SHALL PROVIDE THE ARCHITECT / ENGINEER WITH AN AS BUILT SURVEY FOR ENGINEER'S CERTIFICATION AT PROJECT COMPLETION.
F. THE CONTRACTOR SHALL MAINTAIN A RECORD DRAWING SET OF PLANS AND PROMPTLY LOCATE EXISTING AND NEW ELEVATIONS (FINISH FLOORS, TOPS OF CURBS AND ASPHALT FLOW LINE, PIPE INVERTS, ETC.) ON THE RECORD SET. THE RECORD SET SHALL BE MAINTAINED ON THE PROJECT SITE AND SHALL BE AVAILABLE TO THE OWNER THROUGHOUT THE PROJECT. THE RECORD SET SHALL BE TURNED OVER TO THE OWNER PRIOR TO BEGINNING OF CONSTRUCTION.
G. THE OWNER / CONTRACTOR SHALL SUBMIT A NOTICE OF INTENT (NOI) TO THE EPA PRIOR TO BEGINNING OF CONSTRUCTION.
H. CONTRACTOR SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SPECIFIC TO THIS PROJECT.
I. FACILITY ACCESSIBILITY
ALL SURFACES ALONG THE ACCESSIBLE ROUTE SHALL COMPLY WITH ANSI A117.1:1998. WALKING SURFACES SHALL BE STABLE, FIRM, AND SLIP RESISTANT. THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:20 WITH A CROSS SLOPE NOT STEEPER THAN 1:48.

CURB RAMP AND RAMP RUNS SHALL HAVE A RUNNING SLOPE NOT STEEPER THAN 1:12 WITH A CROSS SLOPE NOT STEEPER THAN 1:48. COUNTER SLOPE OF RAMP DRIVING ACCESSIBLE ROUTE SHALL NOT BE STEEPER THAN 1:20. TRANSITIONS FROM RAMP TO WALKS, GUTTERS OR STREETS SHALL BE AT THE SAME LEVEL. WHERE PEDESTRIANS MUST WALK ACROSS A CURB RAMP, THE RAMP SHALL HAVE FLARED SIDES WITH SLOPES NOT STEEPER THAN 1:10. WHERE THE TOP OF THE RAMP PARALLEL TO THE RUN OF THE RAMP BE LESS THAN 48 INCHES WIDE, THE FLARED SIDES SHALL HAVE A SLOPE NOT STEEPER THAN 1:12.
HANDICAP PARKING SPACES AND ACCESS AISLES SHALL HAVE SURFACE SLOPES NOT STEEPER THAN 1:48. ACCESS AISLES SHALL BE AT THE SAME LEVEL AS THE PARKING SPACES THEY SERVE.

TRAFFIC CONTROL:
THE CONTRACTOR SHALL PROVIDE ALL REQUIRED TRAFFIC CONTROL PLANS AND DEVICES. ALL SIGNS, BARRIERS, CHANNELIZATION DEVICES, SIGN FRAMES AND ERECTION OF SUCH DEVICES SHALL CONFORM TO THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS. TRAFFIC CONTROL PLAN SHALL BE SUBMITTED AND APPROVED BY THE GOVERNING AGENCY.

NOTICE TO CONTRACTOR:
1. AN EXCAVATION / CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY. ANY APPROVED APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL "811" OR 505-260-1990, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTION. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC / STREET USE.
6. MAINTENANCE OF THOSE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

KEYNOTES

- EXISTING CONCRETE PAVING TO REMAIN
- EXISTING CONCRETE CURB TO REMAIN
- EXISTING ASPHALT TO REMAIN
- EXISTING CURB TO REMAIN
- EXISTING DRIVE ENTRANCE TO REMAIN
- EXISTING DRIVE ENTRANCE TO REMAIN
- EXISTING DROP INLET TO REMAIN
- CONSTRUCT CONCRETE PAVING 6" THICK 3800 PSI WITH #4 AT 18" O.C BOTH DIRECTIONS OVER 8" BASE COURSE. PER GEOTECHNICAL REPORT.
- CONSTRUCT 3" ASPHALT PAVING OVER 8" BASE COURSE. PER GEOTECHNICAL REPORT.
- CONSTRUCT 3000 PSI CONCRETE CURB AND GUTTER. SEE 84C-2.
- CONSTRUCT 100' WIDE SIDE WALK CULVERT. SEE 84C-2.
- CONSTRUCT 3000 PSI CONCRETE VERTICAL CURB. SEE 85C-2.
- CONSTRUCT 3000 PSI CONCRETE CATCH BASIN. SEE 84C-2.
- CONSTRUCT CONCRETE CHANNEL. SEE 84C-2.
- CONSTRUCT CONCRETE RETAINING WALL. SEE 84C-2.
- CONSTRUCT 12" DIA. PVC STORM DRAIN PIPE.
- SAVY OUT AND REMOVE EXISTING CONCRETE PAVING AS REQUIRED FOR D-1567 PATCH CONCRETE PAVING TO MATCH EXISTING.
- 3-4" WIDE COBBLE SWALE
- CONSTRUCT 8" DIA. PVC DISCHARGE PIPE TO EXISTING DROP INLET PER COA DRAWING 42237.
- CONSTRUCT CONCRETE CATCH BASIN. SEE 83C-2.
- REMOVE EXISTING 24" SIDE WALK CULVERT. INSTALL NEW 48" WIDE SIDE WALK CULVERT PER STD COA DWG 42236. TACK WELD THE BOLTS TO STEEL PLATE AND EXTEND THE PLATE 2 FEET BACK FROM THE BACK OF SIDEWALK.

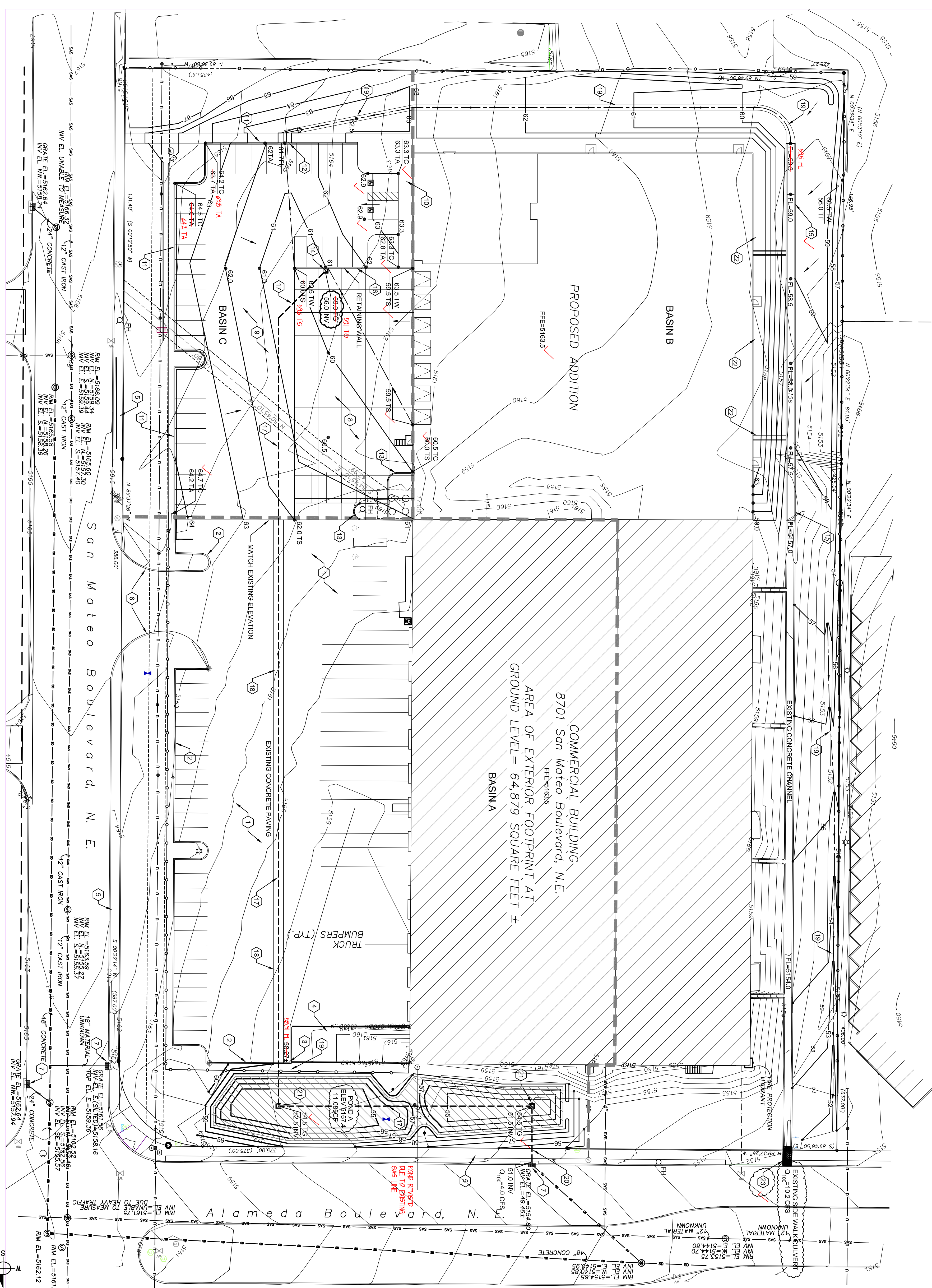
LEGEND:

93.1	EXISTING SPOT ELEVATION	FL	FLOW LINE
51.00	NEW SPOT ELEVATION	GRND	GROUND
51	EXISTING CONTOUR	INVERT	INVERT
51	NEW CONTOUR	TA	TOP OF ASPHALT
51	SWALE	TC	TOP OF CURB
51	VERIFIED ELEVATION	TG	TOP OF GRADE
51	AS BUILT ELEVATION	TW	TOP OF CONCRETE SLAB
---	PROPERTY LINE	TM	TEMPORARY BENCH MARK
---	BASEIN BOUNDARY	ASPHLT	ASPHALT PAVING
---	CONCRETE	CONCR	CONCRETE
---	POND WATER SURFACE	WATER	POND WATER SURFACE

I, JOHN ARTHUR BLESSEN, NMP# 13481, OF THE FIRM J ARTHUR BLESSEN ENGINEERING, HEREBY CERTIFY THIS PROJECT HAS BEEN GRADED AND WILL BE IN SUBSTANTIAL COMPLIANCE WITH ALL CITY AND STATE REQUIREMENTS. THE RECORD INFORMATION AND PLAN DATED 05/22/24, THE RECORD INFORMATION ENDED ON THE ORIGINAL DESIGN DOCUMENTS HAS BEEN OBTAINED BY ME OR UNDER MY DESIGN SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY.
THE RECORD INFORMATION REPRESENTED HEREON IS NOT THE RECORD INFORMATION AND IS NOT TO BE USED FOR ANY ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

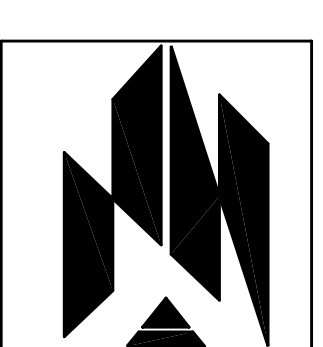
J Arthur Blessen, PE
NMP #13481
date 12/01/23

JOHN ARTHUR BLESSEN
NMP #13481
REGISTERED PROFESSIONAL ENGINEER

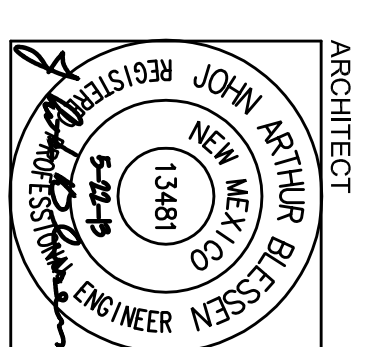


A1 SITE GRADING PLAN
1"=50'-0"

APPROVAL	NAME	DATE
A.C.E. / DESIGN		
INSPECTOR		
A.C.E. FIELD		



NICHOLS • NAYLOR
ARCHITECTS
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SALT LAKE CITY, UTAH 84106 (801) 487-3330



ARCHITECT
AMERICAN TIRE WAREHOUSE ADDITION
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ALBUQUERQUE, NEW MEXICO 87113
PRICE REALTY
PROJECT OWNER