

BUILDING CRITERIA

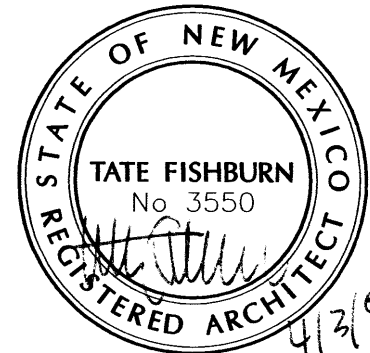
PROJECT: NEW CORPORATE OFFICE
3711 PASEO DEL NORTE, N.E.
ALBUQUERQUE, NEW MEXICO
TENANT: OGB ARCHITECTURAL MILLWORK
ARCHITECT: TATE FISHBURN ARCHITECT
LEGAL DESCRIPTION: LOT F-1-A
LANDS OF SPRINGER
ZONING CLASSIFICATION: SU-2 M-1
BUILDING TYPE: OFFICE
CONSTRUCTION TYPE: V-B
OCCUPANT LOAD OFFICE: 38
OCCUPANCY GROUP: B

PARKING ANALYSIS:

WAREHOUSE AREA = 27,360
OFFICE AREA = 3,415
REQUIRED WAREHOUSE = 27,360/2000 = 14
REQUIRED OFFICE = 3,415/200 = 17
TOTAL REQUIRED PARKING SPACES = 31 SPACES
SPACES PROVIDED = 33 SPACES
INCLUDING 2 HANDICAP
INCLUDING 2 MOTORCYCLE
BICYCLE SPACES PROVIDED = 2 SPACES

TATE FISHBURN
ARCHITECT

ARCHITECT SEAL



ENGINEER SEAL

PROJECT

TRAFFIC CIRCULATION LAYOUT
FOR OGB ARCHITECTURAL MILLWORK
3711 PASEO DEL NORTE, NE
ALBUQUERQUE, NEW MEXICO

REVISIONS

DATE MARCH 16, 2007

NORTH SCALE

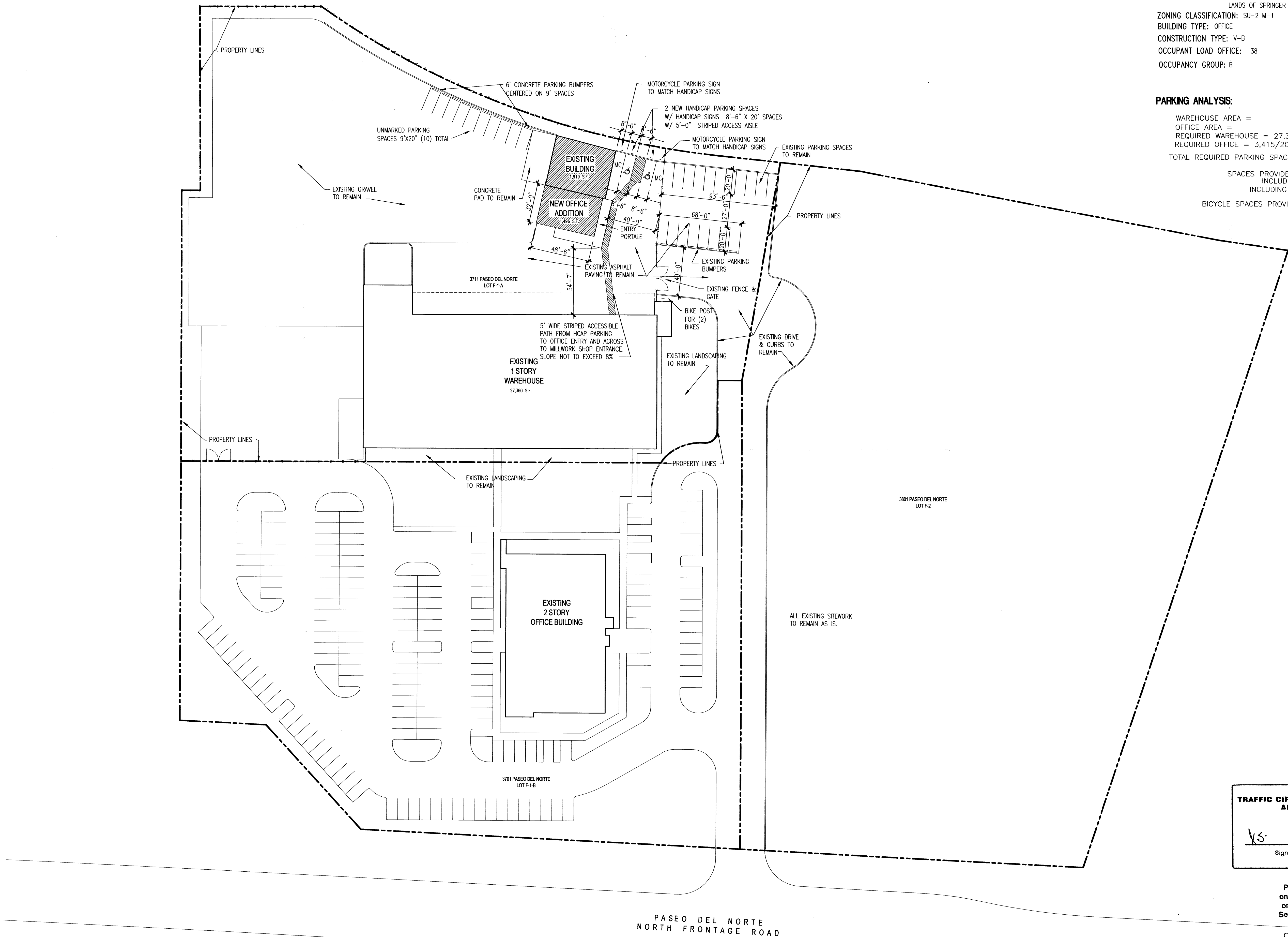


DRAWING NAME

SITE PLAN

SHEET NUMBER

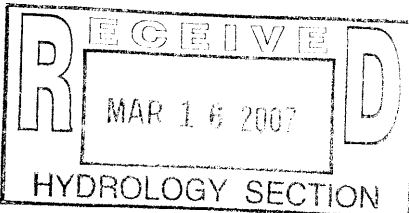
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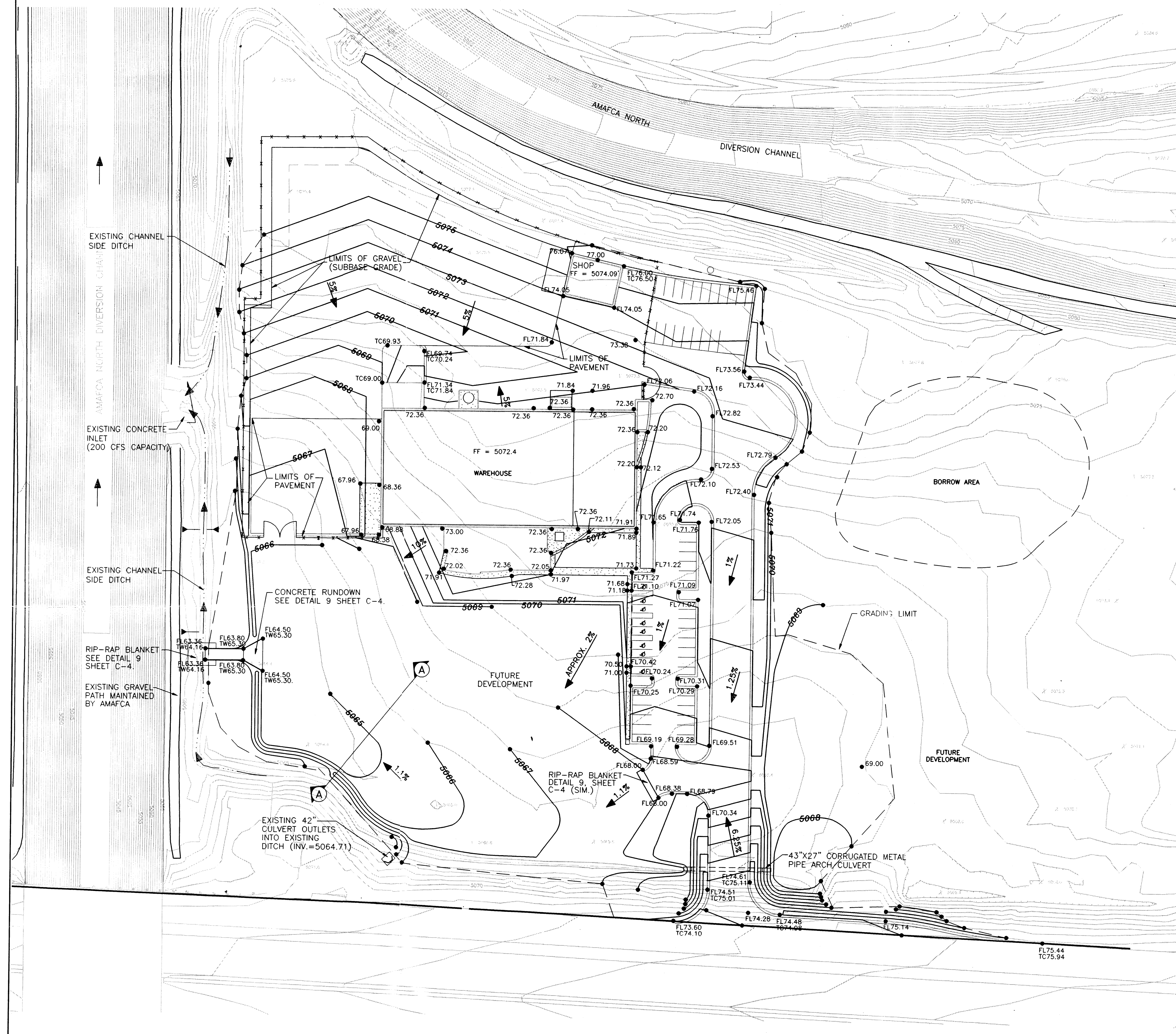


TRAFFIC CIRCULATION LAYOUT
APPROVED

VS Signed 4/3/07 Date

Public Infrastructure shown
on these plans for information
only and not part of approval.
Separate DRC/Permit approval
and Work Order required.





- LEGEND**
- PROPOSED 6" CURB & GUTTER
 - PROPERTY LINE
 - EXISTING CONTOUR
 - EXISTING SWALE
 - EXISTING SPOT ELEVATION
 - EXISTING EASEMENT
 - PROPOSED SPOT ELEVATION
 - DIRECTION OF FLOW
 - TC TOP OF CURB
 - FL FLOW LINE
 - TW TOP OF WALL
 - BW BOTTOM OF WALL
 - PROPOSED FENCE
 - SIDEWALK, SEE SHEET C-3 FOR DIMENSIONS

- GENERAL NOTES**
- ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT REQUIREMENTS AND THE PROJECT GEOTECHNICAL REPORT.
 - THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 - TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE (765-1264) FOR LOCATION OF EXISTING UTILITIES.
 - ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
 - THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
 - CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
 - OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
 - THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, ETC.).
 - ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
 - ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
 - THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
 - A BERM SHALL BE MAINTAINED AROUND THE PROJECT AREA UNTIL COMPLETION OF THE PROPOSED BUILDINGS AND LANDSCAPING WITHIN THE PROJECT. SEE DETAIL THIS SHEET.

- GRADING NOTES**
- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
 - CONTRACTOR SHALL OBTAIN AND ABIDE BY A TOPSOIL DISTURBANCE PERMIT FROM THE CITY OF ALBUQUERQUE. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
 - ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT REQUIREMENTS AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARDS FOR PUBLIC WORKS (SECOND PRIORITY).
 - PRIOR TO GRADING, ALL VEGETATION, DEBRIS, AND NEAR SURFACE ORGANICALLY CONTAMINATED SOIL SHALL BE STRIPPED FROM ALL AREAS TO BE GRADED. VEGETATION AND DEBRIS SHALL BE DISPOSED OF OFF-SITE. TOPSOIL STRIPPINGS SHALL BE DISPOSED OF OFF-SITE OR STOCKPILED FOR USE IN PLANTERS AND NON-STRUCTURAL FILLS.
 - EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
 - IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY EXCEPT AS REQUIRED BY THIS PLAN.
 - CONTRACTOR SHALL RESEED ALL DISTURBED AREAS PER COA STANDARD SPECIFICATIONS 1012.
 - A DISPOSAL SITE FOR ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE WORK OUTSIDE OF THE PROPERTY BOUNDARIES ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND HAUL THERE TO SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
 - PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
 - ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND ARE ADJUSTED FOR CURBS, MEDIANS AND ISLANDS.
 - SEE SHEET C-3 FOR COORDINATES.
 - 6" STANDARD MEDIAN CURB & GUTTER PER COA. STANDARD DETAIL 2415.

DRAINAGE CERTIFICATION

AS-BUILT ELEVATIONS ARE SHOWN ON THE PLAN IN LOCATIONS WHERE THE ORIGINAL DESIGN ELEVATION HAS BEEN CROSSED OUT AND THE NEW ELEVATION IS LISTED. ELEVATIONS WERE PROVIDED BY _____ PROFESSIONAL LAND SURVEYOR.

NOTES:

I, JAMES R. TOPMILLER, OF BOHANNAN HUSTON INC., A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE DRAINAGE IMPROVEMENTS HAVE BEEN CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED DRAINAGE PLAN, TO THE BEST OF MY KNOWLEDGE AND BELIEF.

JAMES R. TOPMILLER, P.E.
N.M.P.E. NO. 9354

DATE: _____

APPROVED FOR ROUGH GRADING (± 1')

AMAFCA _____ DATE _____

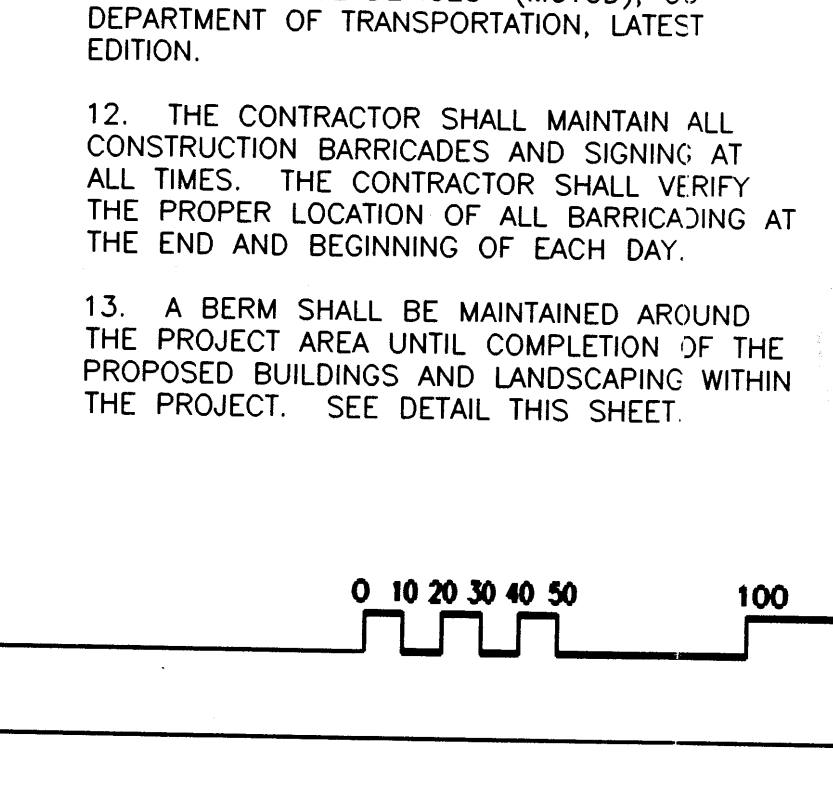
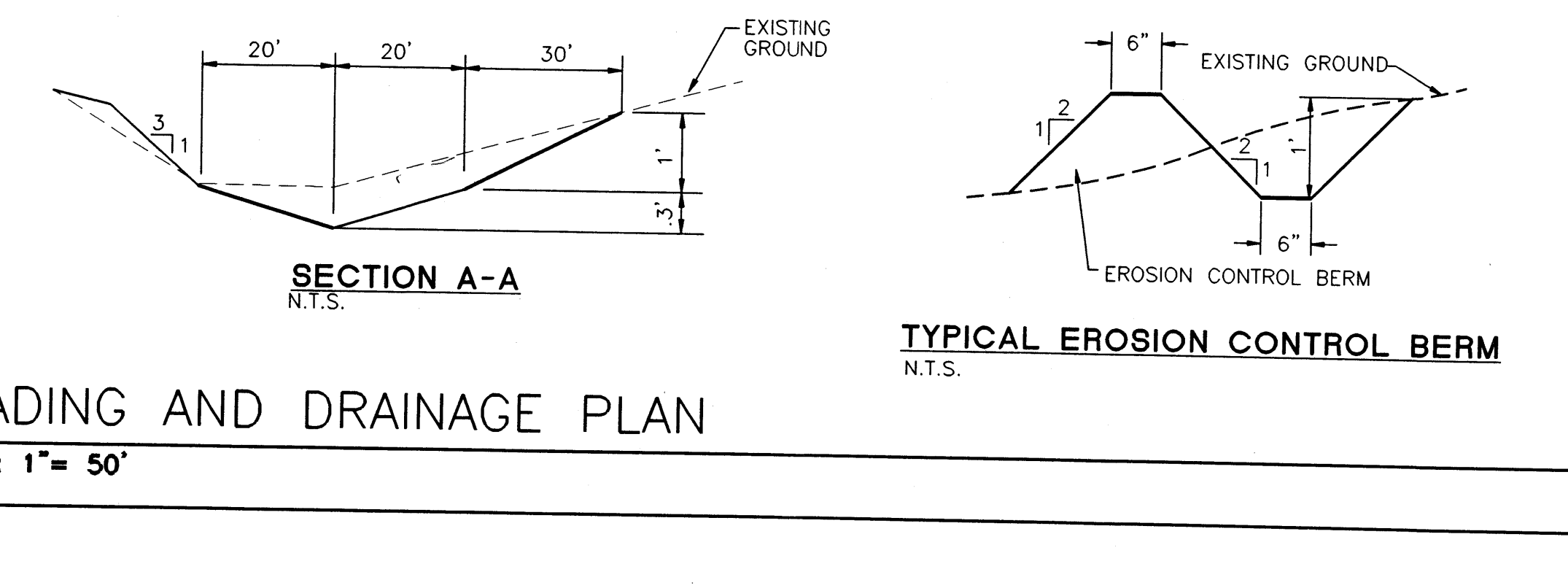
Bohannon • Huston

Courtyard One
7500 JEFFERSON NE
ALBUQUERQUE
NEW MEXICO 87109

DATE: 10-22-97

2661 8 & 130

- EROSION CONTROL NOTES**
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY WETTING THE SOIL TO PROTECT IT FROM WIND EROSION, AND INSTALLING BERMS PER DETAIL THIS SHEET.
 - DURING THE MONTHS OF JULY, AUGUST OR SEPTEMBER, ANY GRADING WITHIN OR ADJACENT TO A WATERCOURSE DEFINED AS A MAJOR FACILITY SHALL PROVIDE FOR EROSION CONTROL AND SAFE PASSAGE OF THE 10-YEAR DESIGN STORM RUNOFF DURING THE CONSTRUCTION PHASE.
 - CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL REQUIREMENTS AND IS RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
 - ALL GRADED AREAS WHICH DO NOT RECEIVE A FINAL SURFACE TREATMENT WILL BE REVEGETATED IN ACCORDANCE WITH THE LANDSCAPE SPECIFICATIONS AND WITH THE RECLAMATION SEEDING SPECIFICATIONS.



OFFICE / WAREHOUSE for BRADBURY STAMM

PASEO del NORTE

ALBUQUERQUE, NEW MEXICO

SANDERS ROGERS ARCHITECTS, P.C. 301 GOLD AVENUE S.W. SUITE 202 ALBUQUERQUE N.M. 87102 (505) 247-1168 FAX (505) 247-0262

Project no. 9627

sheet

C-1

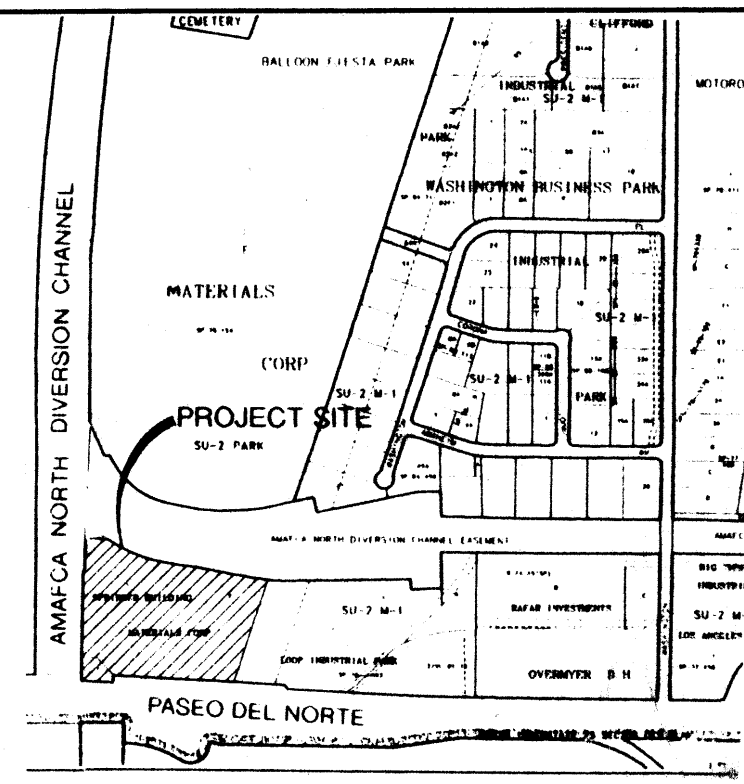
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10-16-97

DRAINAGE PLAN AND BASIN MAP
SCALE: 1" = 50'

LEGEND

- PROPERTY LINE
- - - EXISTING CONTOUR
- - - SWALE/SIDE DITCH
- 5112.9 EXISTING SPOT ELEVATION
- - - EXISTING EASEMENT
- - - DRAINAGE BASIN BOUNDARY
- ← DIRECTION OF FLOW
- Q₁₀₀ EXPECTED FLOWS GENERATED BY THE 100-YEAR DESIGN STORM
- Q_{allowed} FLOW CAPACITY



ZONE ATLAS
MAP NO. C-16-Z, C-17-Z
LEGAL DESCRIPTION: TRACT F, LANDS OF
SPRINGER BUILDING MATERIALS CORPORATION

GENERAL NOTE

SECTIONS A-G ARE SHOWN
ON THE CALCULATION SHEETS.

HYDROLOGY OVERVIEW

INTRODUCTION:

THIS PLAN PRESENTS A DRAINAGE MANAGEMENT SCHEME FOR THE PROPOSED DEVELOPMENT OF THE OFFICE/WAREHOUSE BUILDING AND ASSOCIATED IMPROVEMENTS ON TRACT F, LANDS OF SPRINGER BUILDING MATERIALS CORP., PROPERTY LOCATED NORTH OF THE PASEO DEL NORTE FRONTAGE ROAD AND EAST OF THE NORTH DIVERSION CHANNEL. IT IS NOT LOCATED WITHIN A FLOODPLAIN. THIS PLAN IS SUBMITTED FOR HYDROLOGY DIVISION REVIEW, FOR THE PURPOSE OF OBTAINING A BUILDING PERMIT.

EXISTING CONDITIONS:

THE UNDERLYING CONTOURS SHOWN ON THIS SHEET DEPICT THE EXISTING TOPOGRAPHIC CONDITIONS OF THE SITE. THE SITE GENERALLY SLOPES FROM THE NORTHEAST TO THE SOUTHWEST. THE TERRAIN IS RELATIVELY STEEP AT THE NORTHEAST AND NORTHWEST CORNERS, WITH SLOPES OF UP TO 8%. MOST OF THE SITE HAS RELATIVELY GENTLE SLOPES OF 5% TO 3%. ONSITE DRAINAGE CURRENTLY SHEET FLOWS ACROSS THE SITE TO THE WEST SIDE WHERE THEY ARE COLLECTED BY A CHANNEL SIDE DITCH. OFFSITE FLOW FROM BASIN B-1 ALSO FLOWS ACROSS THE SITE AND INTO THE SIDE DITCH. THE DITCH DIVERTS THIS COLLECTED FLOW INTO THE NORTH DIVERSION CHANNEL VIA A CONCRETE INLET (APPROXIMATELY 200 CFS CAPACITY).

PROPOSED CONDITIONS:

THE PROPOSED DEVELOPMENT INDICATED ON THIS SHEET (PHASE I) CONSISTS OF ONE STORY OFFICE/WAREHOUSE BUILDING AND ASSOCIATED PAVED PARKING, ACCESS STREETS, AND LANDSCAPING. ANTICIPATED FUTURE DEVELOPMENT NOT SHOWN ON THIS SHEET INCLUDES A 30,000 SQ. FT. OFFICE BUILDING SOUTH OF THE PROPOSED OFFICE/WAREHOUSE BUILDING (PHASE II) AND AS MANY AS THREE SMALLER OFFICE/WAREHOUSE BUILDINGS ON THE EAST SIDE OF THE SITE (PHASE III).

GENERATED SURFACE FLOWS WILL BE COLLECTED AT THE LOW POINT OF THE SITE (THE SOUTHWEST CORNER) AND DIVERTED TO THE CHANNEL SIDE DITCH VIA A SINGLE CONCRETE RUNDOWN. GENERATED FLOW FROM BASIN B-3 WILL BE COLLECTED AND TRANSPORTED VIA THE PAVED STREET AND PARKING AREA TO A TEMPORARY EARTH SWALE IN BASIN B-5. UNDEVELOPED OFFSITE AND ONSITE FLOWS GENERATED FROM BASINS B-1 AND B-2 WILL SHEET FLOW TO A COLLECTION POINT EAST OF THE CUL-DE-SAC STREET, WHERE IT IS DIVERTED TO THE TEMPORARY SWALE VIA A 43"x27" CORRUGATED METAL PIPE ARCH CULVERT. GENERATED FLOW FROM BASIN B-5 ALSO SHEET FLOWS INTO THE TEMPORARY SWALE. BASIN B-4 SHEET FLOWS TO THE LOW POINT IN BASIN B-5.

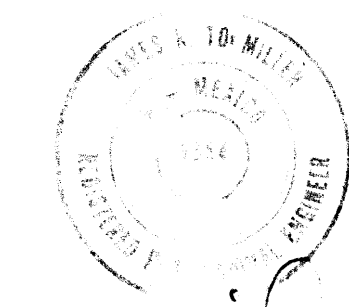
THE TEMPORARY SWALE TRANSPORTS THE GENERATED ONSITE AND OFFSITE FLOW TO A CONCRETE RUNDOWN, WHERE IT IS DIVERTED INTO THE EXISTING CHANNEL SIDE DITCH. THE TEMPORARY SWALE IS SIZED FOR THE 100-YEAR DESIGN STORM GENERATED FLOW FOR PHASE I ONLY (40.83 CFS ON THE SOUTH SECTION); PHASE II WILL INCLUDE THE CONSTRUCTION OF AN ACCESS STREET ALONG THE SWALE PATH THAT WILL CARRY GENERATED FLOWS.

THE CONCRETE RUNDOWN AND THE CUL-DE-SAC STREET, HOWEVER, ARE PERMANENT. THE STREET, RUNDOWN, AND DETENTION AREA ARE SIZED FOR THE 100-YEAR DESIGN STORM GENERATED FLOW FOR THE FULLY DEVELOPED SITE, OR PHASES I THROUGH III. THE CONCRETE RUNDOWN CAPACITY IS 64.40 CFS.

NOTE THAT ONLY UNDEVELOPED FLOWS WERE CONSIDERED FOR THE OFFSITE BASIN. IT IS ANTICIPATED THAT GENERATED FLOWS FROM FUTURE DEVELOPMENT OF PARCELS IN BASIN B-1 WILL BE DIVERTED TO THE EXISTING CULVERT ON THE NORTH SIDE OF THE PASEO DEL NORTE FRONTAGE ROAD OR TO THE CHANNEL ON THE NORTH SIDE OF THE PROPERTY.

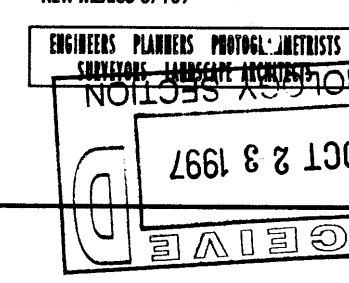
CONCLUSION:

CALCULATIONS TO SUPPORT THIS DRAINAGE PLAN ARE ENCLOSED WITH THIS SUBMITTAL. WE ARE REQUESTING APPROVAL OF THIS DRAINAGE PLAN FOR THE PURPOSE OF BUILDING PERMIT APPROVAL. WE BELIEVE THE INFORMATION PRESENTED HEREIN AND IN THE SUPPORTING DOCUMENT CALCULATIONS IS ACCURATE AND PROVIDES FOR SAFE PASSAGE OF THE 100 YEAR STORM EVENT.



Bohannon & Huston
10/22/97

Courtyard One
7500 JEFFERSON NE
ALBUQUERQUE
NEW MEXICO 87109



OFFICE / WAREHOUSE for BRADBURY STAMM
PASEO del NORTE
ALBUQUERQUE, NEW MEXICO

SANDERS ROGERS ARCHITECTS, P.C. 301 GOLD AVENUE S.W. SUITE 202 ALBUQUERQUE N.M. 87102 (505) 247-1168 FAX (505) 247-0262

Project no. 9627
sheet

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10-16-97

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FACILITY ACCESSIBILITY
ALL SURFACES ALONG THE ACCESSIBLE ROUTE SHALL COMPLY WITH ANSI A117-1998.

WALKING SURFACES SHALL BE STABLE, FIRM, AND SLIP RESISTANT. THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:20 WITH A CROSS SLOPE NOT STEEPER THAN 1:48.

CURB RAMP AND RAMP RUNS SHALL HAVE A RUNNING SLOPE NOT STEEPER THAN 1:12 WITH A CROSS SLOPE NOT STEEPER THAN 1:48. COUNTER SLOPES OF ADJOINING GUTTERS AND ROAD SURFACES IMMEDIATELY ADJACENT TO THE CURB RAMP OR ACCESSIBLE ROUTE SHALL NOT BE STEEPER THAN 1:20. TRANSITIONS FROM RAMP TO WALKS, GUTTERS OR STREETS SHALL BE AT THE SAME LEVEL. WHERE PEDESTRIANS MUST WALK ACROSS A CURB RAMP, THE RAMP SHALL HAVE FLARED SIDES WITH SLOPES NOT STEEPER THAN 1:10. WHERE THE TOP OF THE RAMP PARALLEL TO THE RUN OF THE RAMP IS LESS THAN 48 INCHES WIDE, THE FLARED SIDES SHALL HAVE A SLOPE NOT STEEPER THAN 1:12.

HANDICAP PARKING SPACES AND ACCESS AISLES SHALL HAVE SURFACE SLOPES NOT STEEPER THAN 1:48. ACCESS AISLES SHALL BE AT THE SAME LEVEL AS THE PARKING SPACES THEY SERVE.

TRAFFIC CONTROL

THE CONTRACTOR SHALL PROVIDE ALL REQUIRED TRAFFIC CONTROL PLANS AND DEVICES. ALL SIGNS, BARRICADES, CHANNELIZATION DEVICES, SIGN FRAMES AND ERECTION OF SUCH DEVICES SHALL CONFORM THE REQUIREMENTS OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" LATEST EDITION. PRIOR TO CONSTRUCTION PRIOR TO CONSTRUCTION, THE TRAFFIC CONTROL PLAN SHALL BE SUBMITTED AND APPROVED BY THE GOVERNING AUTHORITY.

CONSTRUCTION NOTES

- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CALL FOR LOCATION OF EXISTING UTILITIES.
- ALL WORK WITHIN THE CITY RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS, LAWS, AND RULES CONCERNING SAFETY AND HEALTH.
- PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL VERIFY THE EXISTING SITE CONDITIONS AND INFORM THE ARCHITECT/ENGINEER OF ANY DISCREPANCY BETWEEN THE INFORMATION SHOWN ON THE PLANS AND THOSE OF THE EXISTING SITE.
- THE CONTRACTOR SHALL PROVIDE THE ARCHITECT / ENGINEER WITH AN AS BUILT SURVEY FOR ENGINEER'S CERTIFICATION.
- THE CONTRACTOR SHALL MAINTAIN A RECORD DRAWING SET OF PLANS AND PROMPTLY LOCATE EXISTING AND NEW ELEVATIONS (FINISH FLOORS, TOPS OF CURBS AND ASPHALT, FLOW LINE, PIPE INVERTS, ETC.), ON THE RECORD SET. THE RECORD SET SHALL BE MAINTAINED ON THE PROJECT SITE AND SHALL BE AVAILABLE TO THE OWNER AND ARCHITECT AT ANY TIME DURING CONSTRUCTION. UPON COMPLETION OF THE PROJECT, THE RECORD SET SHALL BE TURNED OVER TO THE OWNER.
- THE OWNER / CONTRACTOR SHALL SUBMIT A NOTICE OF INTENT (NOI) TO THE EPA PRIOR TO BEGINNING OF CONSTRUCTION.
- CONTRACTOR SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SPECIFIC TO THIS PROJECT.

DRAINAGE PLAN

THE PROPOSED IMPROVEMENTS AS SHOWN BY THE VICINITY MAP, ARE LOCATED ON THE NORTH SIDE OF PASEO DEL NORTE WEST OF JEFFERSON. THE SITE IS DEVELOPED AND SLOPES TO THE EAST TO THE EXISTING DRAINAGE INLET TO THE NORTH DIVERSION CHANNEL. ACCORDING TO FIRM PANEL 136F THE SITE DOES NOT LIE WITHIN A FLOOD HAZARD ZONE.

THE SITE IS PART OF THE BRADBURY STAM HEIGHTS MASTER DRAINAGE PLAN PREPARED BY BOHANNAN HOUSTON. THE PROPOSED ADDITION IS LOCATED WITHIN BASIN B4 OF THE MASTER PLAN, AND IS LOCATED OVER THE EXISTING PAVED AREA, THEREFORE NO SIGNIFICANT CHANGE IN RUNOFF ARE ANTICIPATED.

THE NORTH DIVERSION CHANNEL IS LOCATED ALONG THE NORTH AND WEST PROPERTY LINES, AND THE EXISTING CURB AND GUTTER ALONG PASEO DEL NORTE TO THE SOUTH BLOCK FLOWS FROM THOSE DIRECTIONS. THE SITE IS HIGHER THAN THE LAND TO THE EAST, THEREFORE OFFSITE FLOWS ARE CONSIDERED INSIGNIFICANT.

THE PROPOSED IMPROVEMENTS CONSIST OF A 1553 SF ADDITION TO THE EXISTING SHOP FACILITY LOCATED ALONG THE NORTH PROPERTY LINE. NO ADDITIONAL PARKING NOR LANDSCAPING ARE ANTICIPATED. AS SHOWN BY THE CALCULATION THE PROPOSED DEVELOPMENT WILL INCREASE THE RATE AND VOLUME OF RUNOFF. THE EXISTING RATE OF DISCHARGE IS 25.31 CFS (4.03 CFS/ACRE). NO PONDING IS ANTICIPATED FOR THE SITE.

THE CALCULATIONS ANALYZE THE EXISTING AND PROPOSED CONDITIONS FOR 6-HOUR, 100 YEAR RAINFALL EVENT. THE ANALYSIS IS IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL VOLUME II.

CALCULATIONS

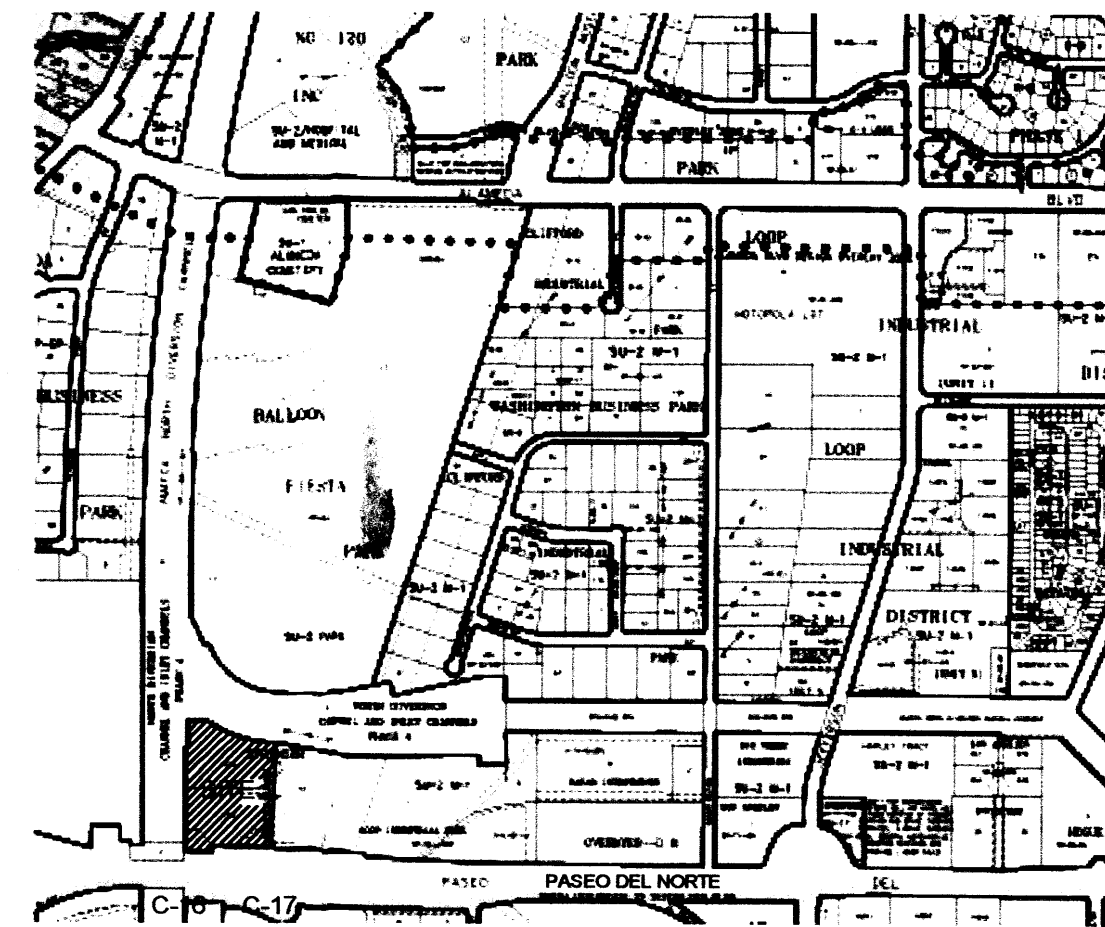
PRECIPITATION ZONE = 2
TOTAL SITE AREA = 6.279 ACRES

EXISTING CONDITIONS

LAND TREATMENT B=15% C=20% D=65%
 $E = 0.78(0.14) + 1.13(0.20) + 2.12(0.65) = 1.72$ INCHES
 $V = 1.72(6.279) / 12 = 0.902$ ACRE FEET

$Q = (2.28(0.14) + 3.14(0.20) + 4.70(0.65))(6.279) = 25.3$ CFS

INCREASE IN VOLUME OF RUNOFF = 0.0 ACRE FT
INCREASE IN RATE OF RUNOFF = 0.0 CFS



D1 VICINITY MAP
NOT TO SCALE

C16 & C17
FILE C17/D019

LEGAL DESCRIPTION:
TRACK F1A & F1B, LAND OF SPRINGER CORPORATION
ADDRESS:
3711 PASEO DEL NORTE, ALBUQUERQUE, NM

LEGEND:

93.1	EXISTING SPOT ELEVATION	FL	FLOW LINE
51.00	NEW SPOT ELEVATION	GND	GROUND
51	EXISTING CONTOUR	INV	INVERT
51	NEW CONTOUR	TA	TOP OF ASPHALT
SWALE		TC	TOP OF CURB
VERIFIED ELEVATION		TG	TOP OF GRATE
AS BUILT ELEVATION		TS	TOP OF CONCRETE SLAB
BASIN BOUNDARY		TW	TOP OF WALL
PROPERTY LINE		TBM	TEMPORARY BENCH MARK
			GRAVEL
			ASPHALT PAVING
			CONCRETE

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ARCHITECT SEAL

ENGINEER SEAL



PROJECT

REMODEL AND NEW ADDITION
OGB-ARCHITECTURAL MILLWORK
PASEO DEL NORTE, N.E.
ALBUQUERQUE, NEW MEXICO

REVISIONS

DATE JANUARY 23, 2007

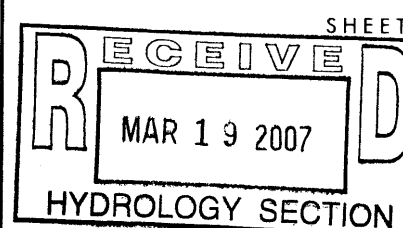
NORTH SCALE

DRAWING NAME

GRADING PLAN

SHEET NUMBER

C-101

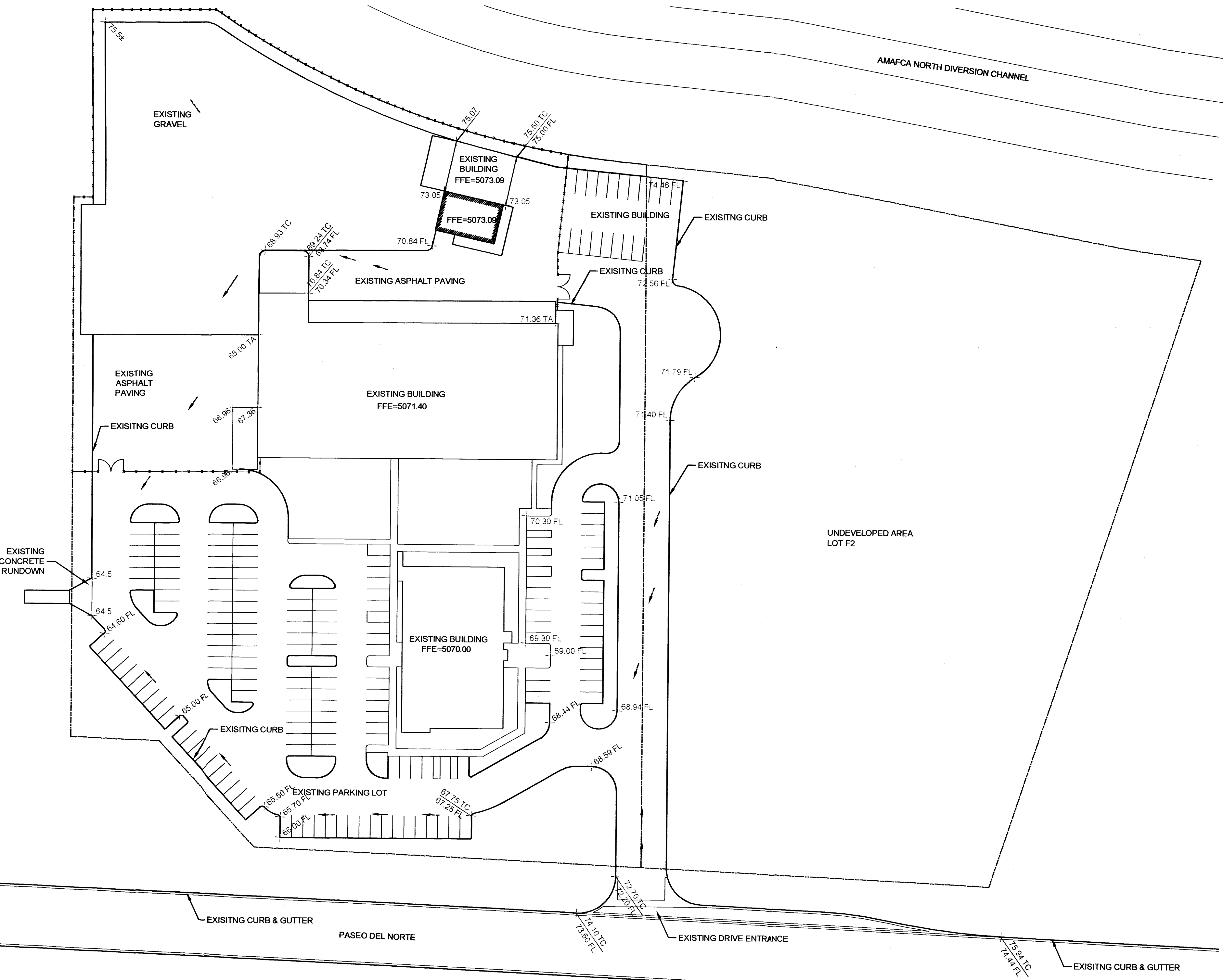


j arthur blessen engineering
architect engineer

11930 Menaul Suite 109
Albuquerque, NM 87112
(505) 293-1477



A1 SITE GRADING PLAN
1"=50'-0"



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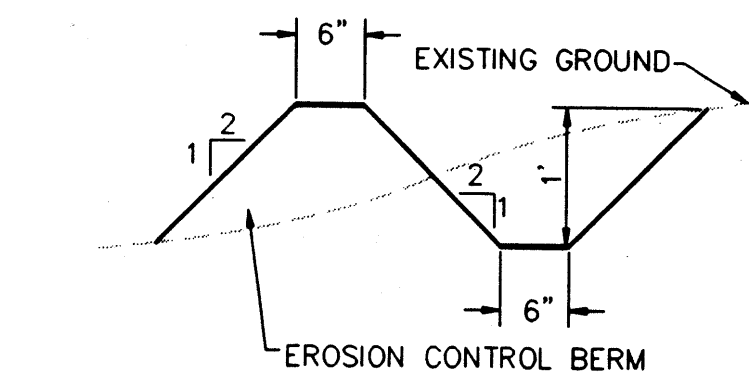
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SCALE: 1" = 50'
DRAWN BY: MZ
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BH PROJECT NUMBER: 98172a01
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XREFS: SURVEY, BASE2.dwg

EROSION CONTROL NOTES

1. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY WETTING THE SOIL TO PROTECT IT FROM WIND EROSION, AND INSTALLING BERMS PER DETAIL THIS SHEET.
2. DURING THE MONTHS OF JULY, AUGUST OR SEPTEMBER, ANY GRADING WITHIN OR ADJACENT TO A WATERCOURSE DEFINED AS A MAJOR FACILITY SHALL PROVIDE FOR EROSION CONTROL AND SAFE PASSAGE OF THE 10-YEAR DESIGN STORM RUNOFF DURING THE CONSTRUCTION PHASE.

3. CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL REQUIREMENTS AND IS RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
4. ALL GRADED AREAS WHICH DO NOT RECEIVE A FINAL SURFACE TREATMENT WILL BE REVEGETATED IN ACCORDANCE WITH THE LANDSCAPE SPECIFICATIONS AND WITH THE RECLAMATION SEEDING SPECIFICATIONS.



TYPICAL EROSION CONTROL BERM

LEGEND

- PROPOSED 6" CURB & GUTTER
- PROPERTY LINE
- EXISTING CONTOUR
- EXISTING SWALE
- EXISTING SPOT ELEVATION
- EXISTING EASEMENT
- PROPOSED SPOT ELEVATION
- DIRECTION OF FLOW
- TC TOP OF CURB
- FL FLOW LINE
- TW TOP OF WALL
- BW BOTTOM OF WALL
- PROPOSED FENCE
- SIDEWALK, SEE SHEET C-3 FOR DIMENSIONS
- REVISION: MOVE BUILDING 20' EAST

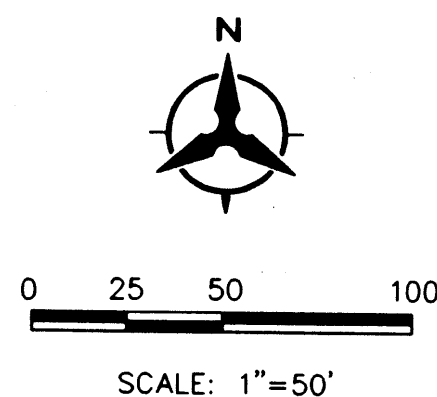
GENERAL NOTES

1. ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT REQUIREMENTS AND THE PROJECT GEOTECHNICAL REPORT.
2. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
4. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE (765-1264) FOR LOCATION OF EXISTING UTILITIES.
5. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
6. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
7. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
8. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
9. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, ETC.).
10. ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
11. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
12. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
13. A BERM SHALL BE CONSTRUCTED AND MAINTAINED SUCH THAT SOIL WILL NOT ERODE UNTIL PERMANENT IMPROVEMENTS CAN BE INSTALLED. SEE DETAIL THIS SHEET.

GRADING NOTES

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. CONTRACTOR SHALL OBTAIN AND ABIDE BY A TOPSOIL DISTURBANCE PERMIT FROM THE CITY OF ALBUQUERQUE. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT REQUIREMENTS AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARDS FOR PUBLIC WORKS (SECOND PRIORITY).
4. PRIOR TO GRADING, ALL VEGETATION, DEBRIS, AND NEAR SURFACE ORGANICALLY CONTAMINATED SOIL SHALL BE STRIPPED FROM ALL AREAS TO BE GRADED. VEGETATION AND DEBRIS SHALL BE DISPOSED OF OFF-SITE. TOPSOIL STRIPPINGS SHALL BE DISPOSED OF OFF-SITE OR STOCKPILED FOR USE IN PLANTERS AND NON-STRUCTURAL FILLS.
5. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
6. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY EXCEPT AS REQUIRED BY THIS PLAN.
7. CONTRACTOR SHALL RESEED ALL DISTURBED AREAS PER COA STANDARD SPECIFICATIONS 1012.
8. A DISPOSAL SITE FOR ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE WORK OUTSIDE OF THE PROPERTY BOUNDARIES ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND HAUL THERETO SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
9. PAVING AND ROADWAY GRADES SHALL BE $\pm 0.1'$ FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE $\pm 0.05'$ FROM BUILDING PLAN ELEVATION.
10. ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND ARE ADJUSTED FOR CURBS, MEDIANS AND ISLANDS.
11. SEE SHEET C-3 FOR COORDINATES.
12. 6" STANDARD MEDIAN CURB & GUTTER PER COA. STANDARD DETAIL 2415.

LEGAL DESCRIPTION
PORTION OF TRACT "F"
LANDS OF SPRINGER CORPORATION



WAREHOUSE MOVED 20' EAST, 8/12/98

C-1

Bohannon & Huston

Compiled On: 7/20/98 BY: MZ

ENGINEERS PLANNERS SURVEYORS

GRADING AND DRAINAGE PLAN