

City of Albuquerque

Planning Department

Development & Building Services Division

RAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

C17D021

Project Title: Vermeer Sales Southwest City Drainage #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: _____

City Address: 9005 Washington St NE

Engineering Firm: Tierra West, LLC Contact: Jonathan Niski

Address: 5571 Midway Park Place NE

Phone#: 505-858-3100 Fax#: 505-858-1118 E-mail: jniski@tierrawestllc.com

Owner: Vermeer Sales Southwest Contact: _____

Address: 9005 Washington St NE

Phone#: _____ Fax#: _____ E-mail: _____

Architect: Aria Architects, LLC Contact: Daniel Puzak

Address: 227 Jefferson Street NE Albuquerque, NM 87108

Phone#: 505-506-2314 Fax#: 505-573-5583 E-mail: daniel@ariaarchitecture.com

Surveyor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☒ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☒ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY)

RECEIVED
JUN 11 2013

WAS A PRE-DESIGN CONFERENCE ATTENDED: ☐ Yes ☐ No ☐ Copy Provided

DATE SUBMITTED: 06/11/13 By: Jonathan Niski

Requests for approvals of Site Development Plans and/or Subdivision Plans shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

Rael, Rudy E.

From: Cherne, Curtis
Sent: Thursday, February 09, 2012 3:58 PM
To: 'Jon Niski'
Subject: RE: Vermeer Sales Southwest

Jon,
 Finally got to clear some time.
 Seems there is a wall or fence along the western boundary that is not shown on the site plan. There is a large shadow on the aerial photograph.
 I already spoke to the architect on this one.
 You should submit a conceptual plan that addresses how the site will deal with the wash water and a brief narrative on site drainage (it is a drainage submittal). The City and AMAFCA don't want oil and sediment laden water entering the storm drain system. I mentioned to the architect about this and she mentioned an oil/water and a separate sediment separator that drains to the SAS.

Curtis

From: Jon Niski [mailto:JNiski@tierrawestllc.com]
Sent: Thursday, February 02, 2012 2:57 PM
To: Cherne, Curtis
Subject: Vermeer Sales Southwest

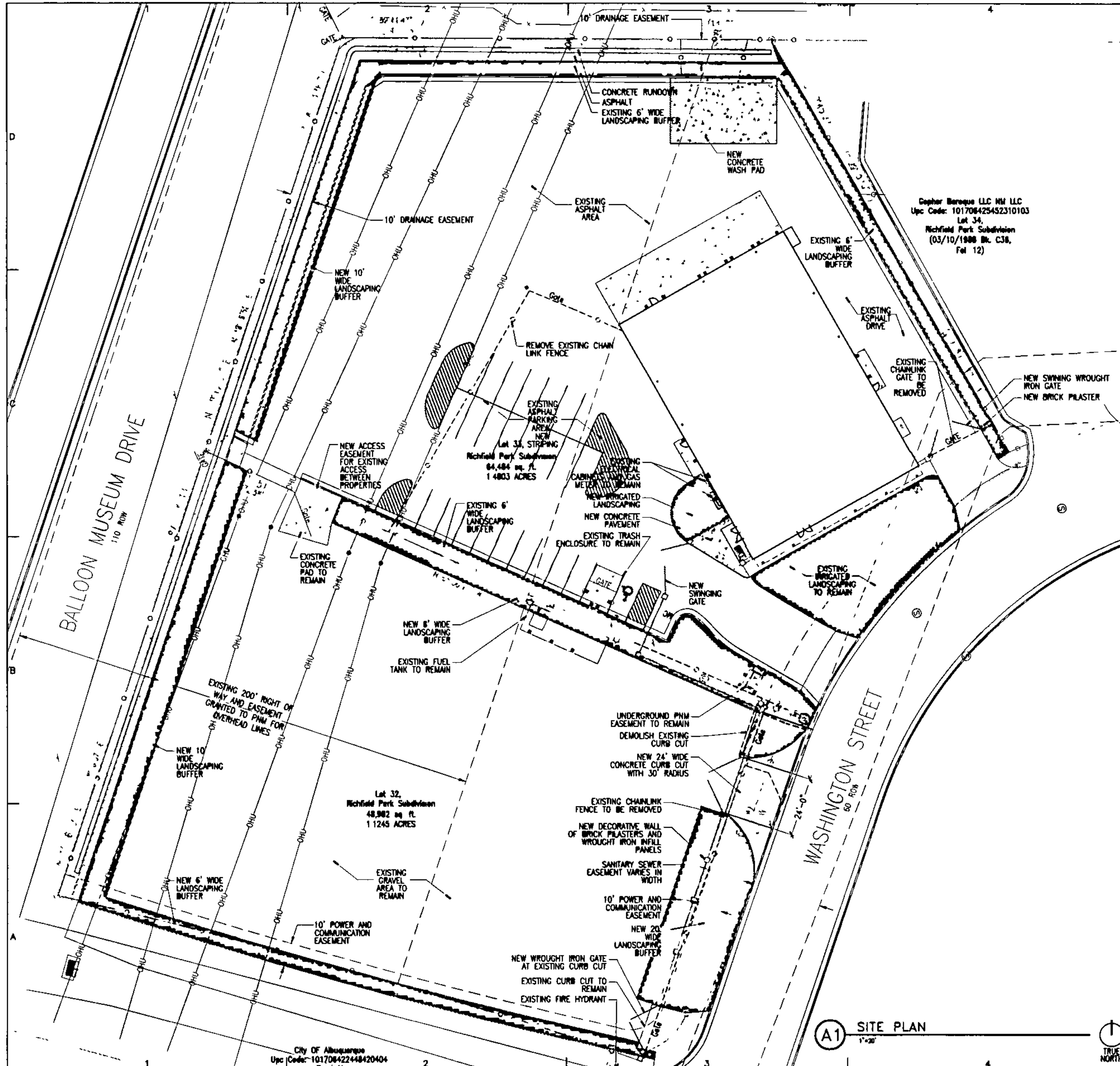
Curtis,

We are working with an architect that is doing tenant improvements for an existing building. The only site changes really are adding a driveway to a gravel parking lot and building a car wash area in an existing parking lot. I believe the Site Plan will have to go through DRB for Building Permit approval. They are not expanding the building. What would you need as far as a Grading Plan submittal if anything? I have attached the Site Plan showing the improvements.

Jonathan D. Niski, PE
 (New Mexico & Texas)

Tierra West, LLC
 5571 Midway Park Place NE
 Albuquerque, NM 87109
 (505) 858-3100
 1-800-245-3102
www.tierrawestllc.com

6/11/2013



SITE NOTES

VERMEER SALES SOUTHWEST
A NEW FACILITY FOR RENTAL, SALES, DISPLAY AND REPAIR OF OPERATIVE CONTRACTOR'S EQUIPMENT
ZONING: CP PER NORTH 125 SECTOR PLAN AND/OR SU-2 FOR IP
THIS PLAN IS BEING SUBMITTED UNDER CP PER NORTH 125 SECTOR PLAN

PERMISSIVE USES IN CP:
• PERMISSIVE AND CONDITIONAL IP USES
• PERMISSIVE AND CONDITIONAL M1 USES
CONDITIONAL M1 USES INCLUDE: RENTAL SALES DISPLAY AND REPAIR OF OPERATIVE CONTRACTOR'S AND HEAVY FARM EQUIPMENT IN AN AREA NOT COMPLETELY ENCLOSED BY A WALL OR FENCE

PARKING REQUIRED

SHOP AREAS	6214sf	1/2000	=	3.1
STORAGE AREAS	289sf	1/2000	=	0.15
FIRST FLOOR OFFICE AREAS	2656sf	1/200	=	1.33
MEZZANINE OFFICE AREAS	1018sf	1/300	=	0.34
SUBTOTAL				4.82 SPACES
TOTAL NUMBER THAT NEED TO BE ADA				1
TOTAL NUMBER OF MOTORCYCLE SPACES REQUIRED				1
TOTAL NUMBER OF BICYCLE SPACES REQUIRED				2

PARKING PROVIDED

PARKING SPACES	26
ADA SPACES	1
MOTORCYCLE SPACES	1
BICYCLE SPACES	4

SETBACK REQUIREMENTS PER NORTH 125 SECTOR PLAN


FRONT 0'
SIDE 10'
BACK 10'

LANDSCAPING REQUIREMENTS PER NORTH 125 SECTOR PLAN

- PER DPM WITH FOLLOWING EXCEPTIONS
- 15% OF NET LOT AREA MUST BE LANDSCAPED
- 10' BUFFER OR 4' WALL & 6' BUFFER AT FRONT
- 6' BUFFER AT SIDE AND REAR

LANDSCAPING REQUIREMENTS FOR PARKING LOTS

- 1 TREE PER 10 PARKING SPACES
- <100' FROM PARKING SPACE TO TREE TRUNK
- WATERHARVESTING IS REQUIRED PER NORTH 125 SECTOR PLAN



ARCHITECTURE

ARIA ARCHITECTURE LLC
227 JEFFERSON STREET NORTHEAST
ALBUQUERQUE, NM 87106
PHONE (505) 566-2314 / (505) 575-5583

VERMEER SALES SOUTHWEST SITE IMPROVEMENTS

9001 AND 9005 WASHINGTON STREET NE ALBUQUERQUE, NM

NOT FOR CONSTRUCTION

MARK	DATE	DESCRIPTION
REVISIONS		
ISSUE	PROGRESS PRINT	
PROJECT NO	1107.1	
CAD DWG FILE	1107.1-AS101.DWG	
DRAWN BY	KKL	
CHECKED BY	KKL	
DATE	1/19/2012	

SITE PLAN

AS101

City of Albuquerque
Upc Code: 101706422448420404

A1 SITE PLAN
1"=20'

TRUE NORTH



gwr

TIERRA WEST, LLC

June 10, 2013

Mr. Curtis Cherne, P.E.
Development and Building Services
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

**RE: GRADING AND DRAINAGE CERTIFICATION FOR
PERMANENT CERTIFICATE OF OCCUPANCY
VERMEER SALES, 9005 WASHINGTON ST. NE**

Dear Mr. Cherne:

I, Ronald R. Bohannon, NMPE # 7868, of the firm Tierra West LLC, hereby certify that this project is in substantial compliance as inspected on June 7, 2013 in accordance with the design intent of the Approved Grading and Drainage Plan dated February 24, 2012. It was determined by visual inspection that the data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Permanent Certificate of Occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the drainage aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Enclosed, please find the information sheet and the as-built approved Grading and Drainage Plan. We request approval of the as-built Grading and Drainage Plan for a Permanent Certificate of Occupancy

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,



Ronald R. Bohannon, P.E.

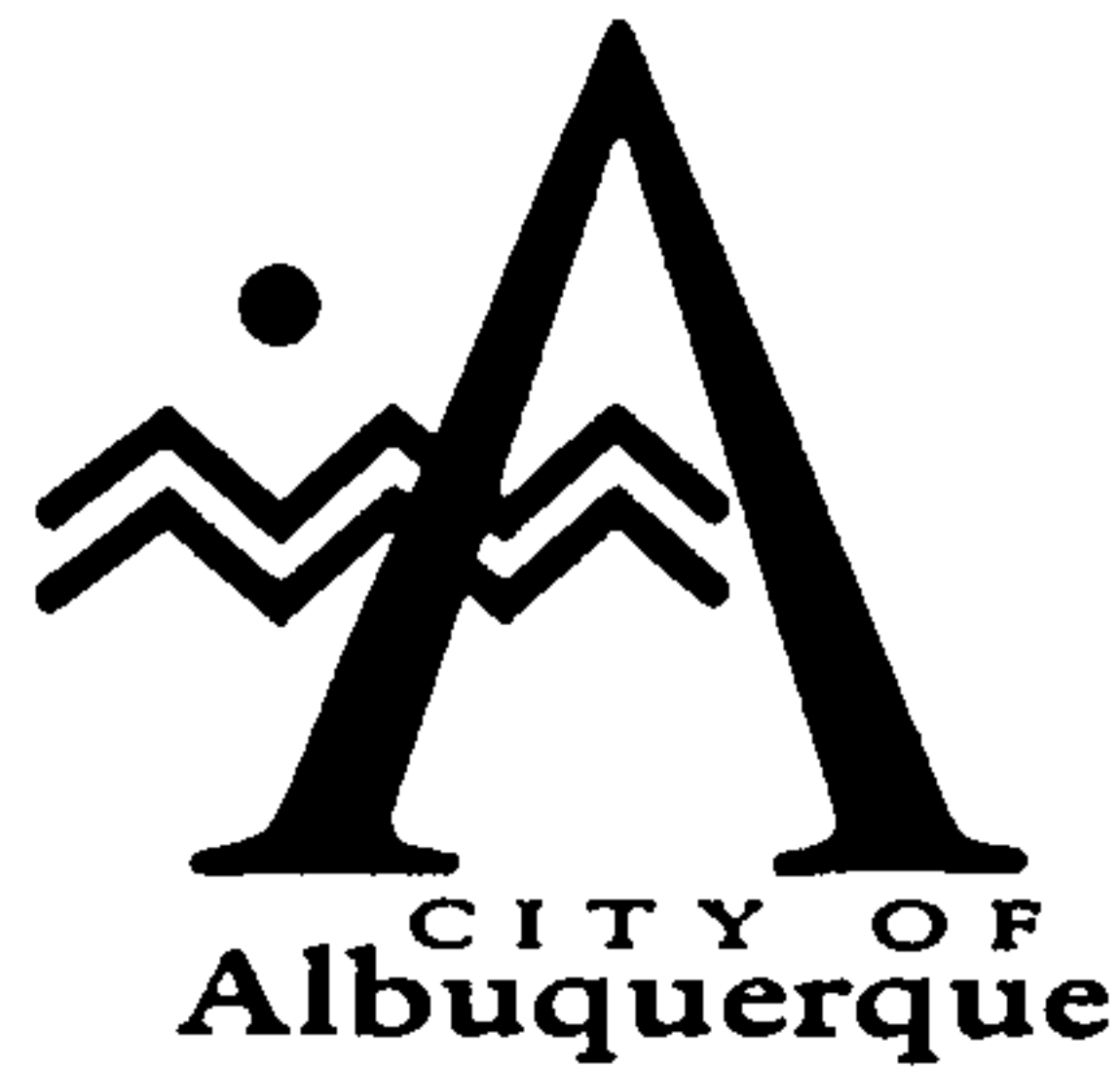
Enclosure/s

JN: 2012006
RRB/jdn

Z:\2012\2012006\Working Documents\2012006 Curtis Cherne Grading Cert and CO Ltr 061013.doc

RECEIVED
JUN 11 2013

5571 Midway Park Place NE
(505) 858-3100
Albuquerque, NM 87109
Fax (505) 858-1118
1-800-245-3102
tierrawestllc.com



October 30, 1998

Paul Brasher
Brasher & Lorenz Inc.
2201 San Pedro NE Bldg. 1 Suite 210
Albuquerque, New Mexico 87110

RE: REVISED DRAINAGE PLAN FOR PLUMB MECHANICAL (C17-D21) REVISION
DATED 10/19/98

Dear Mr. Brasher:

Based on the information provided on your October 19, 1998 resubmittal, the above referenced site is approved for Building Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Also, prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If I can be of further assistance, please feel free to contact me at 924-3986.

C: Andrew Garcia
File ✓

Sincerely

Bernie J. Montoya CE
Associate Engineer

Good for You, Albuquerque!



DRAINAGE INFORMATION SHEET

ask asked

PROJECT TITLE: Plumb Mechanical ZONE ATLAS/DRNG. FILE #: C17-D21
DRB #: _____ EPC #: _____ WORK ORDER #: _____
LEGAL DESCRIPTION: Lot 33, Richfield Park
CITY ADDRESS: Washington Street NE
ENGINEERING FIRM: Brasher & Lorenz, Inc CONTACT: Manh Tran
ADDRESS: 2201 San Pedro NE, Bldg 1 Ste 210 PHONE: 888-6088
OWNER: Rick Crawford CONTACT: Rick Crawford
ADDRESS: 4501 Hawkins NE PHONE: 344-5900
ARCHITECT: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

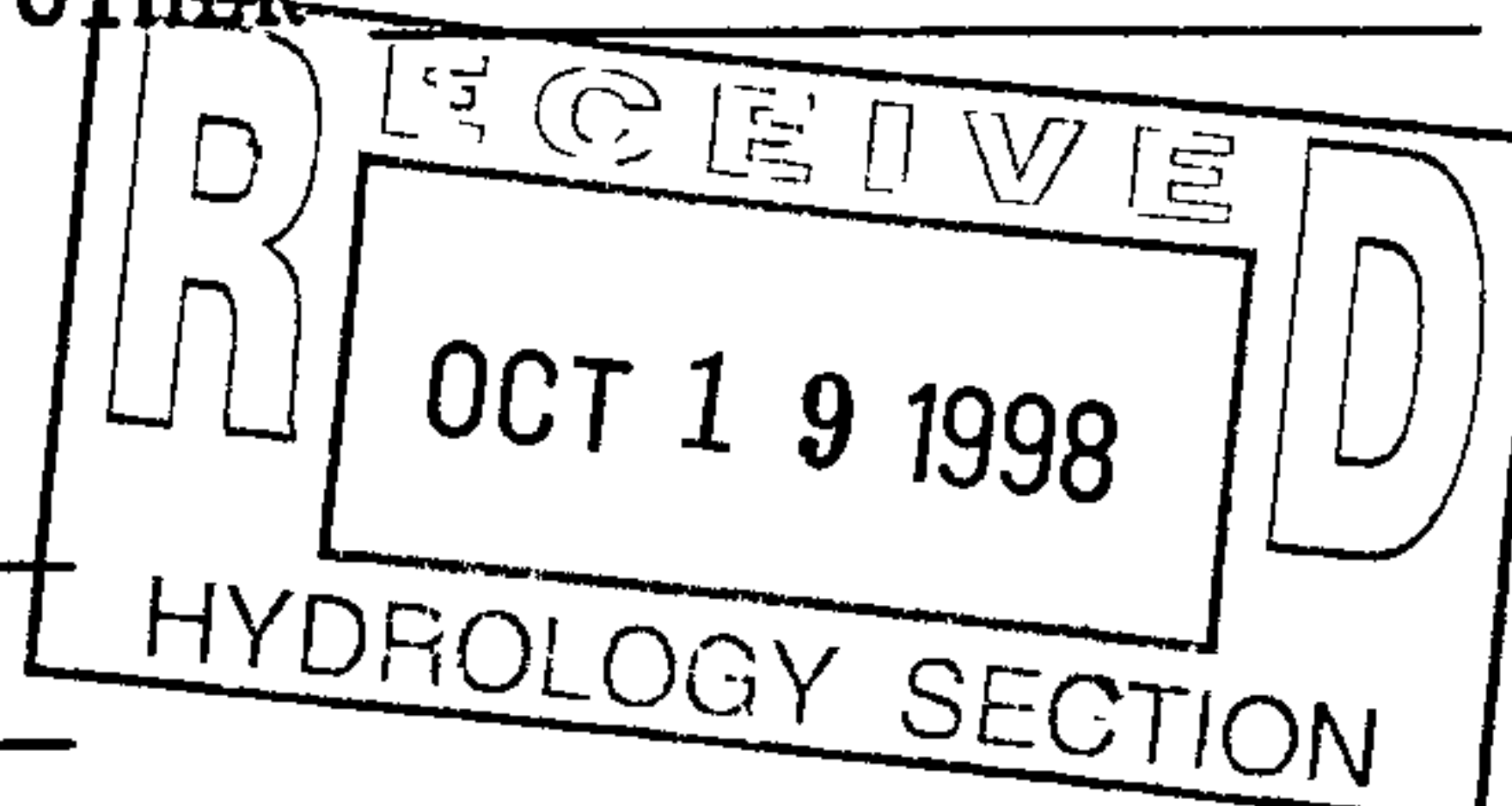
☐ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☐ OTHER _____

PRE-DESIGN MEETING:

☐ YES
☒ NO
☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: 10/19/98BY: Manh Tran

BRASHER & LORENZ, INC.
CONSULTING ENGINEERS

2201 SAN PEDRO NE BUILDING 1 SUITE 210 ALBUQUERQUE, NM 87110 PHONE (505) 888-6088 FAX (505) 888-6188

October 19, 1998

Bernie J. Montoya, CE
Associate Engineer
City of Albuquerque
P.O. Box 1293
Albuquerque, New Mexico

SUBJECT: PLUMB MECHANICAL (C17-D21) DRAINAGE PLAN

Dear Mr. Montoya:

Attached for review and approval are 2 copies of the revised Grading and Drainage Plan for the subject project. The Plan has been revised to reflect the new asphalt paving. The comment is addressed as follows:

1. The owner decided to change the vacant dirt lot into asphalt paving. The hydrology has been change to reflect the land treatment percentage.

If you have any questions regarding this submittal or, if I can be of any assistance, please call.

Sincerely,



Manh Tran

/mt
encl.

