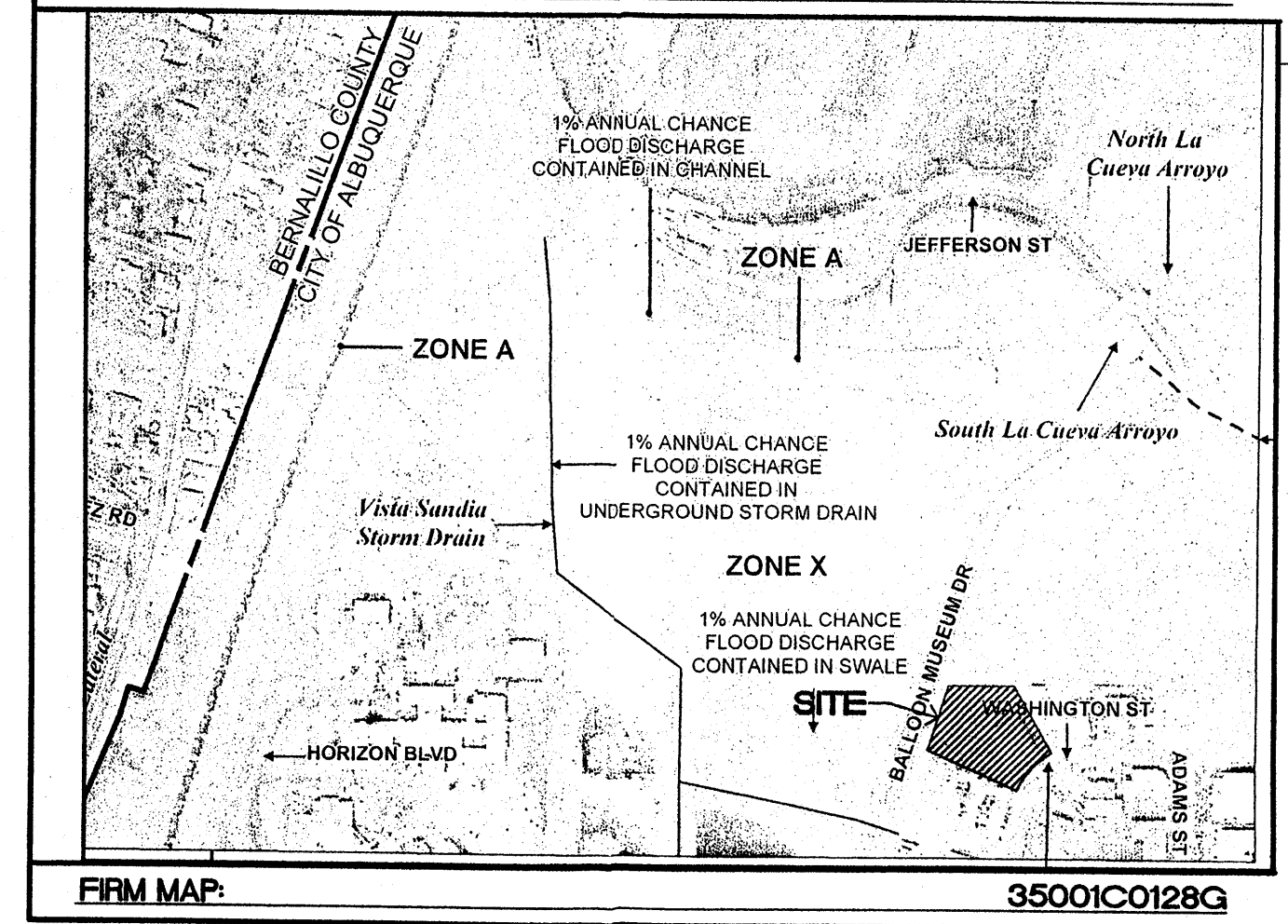
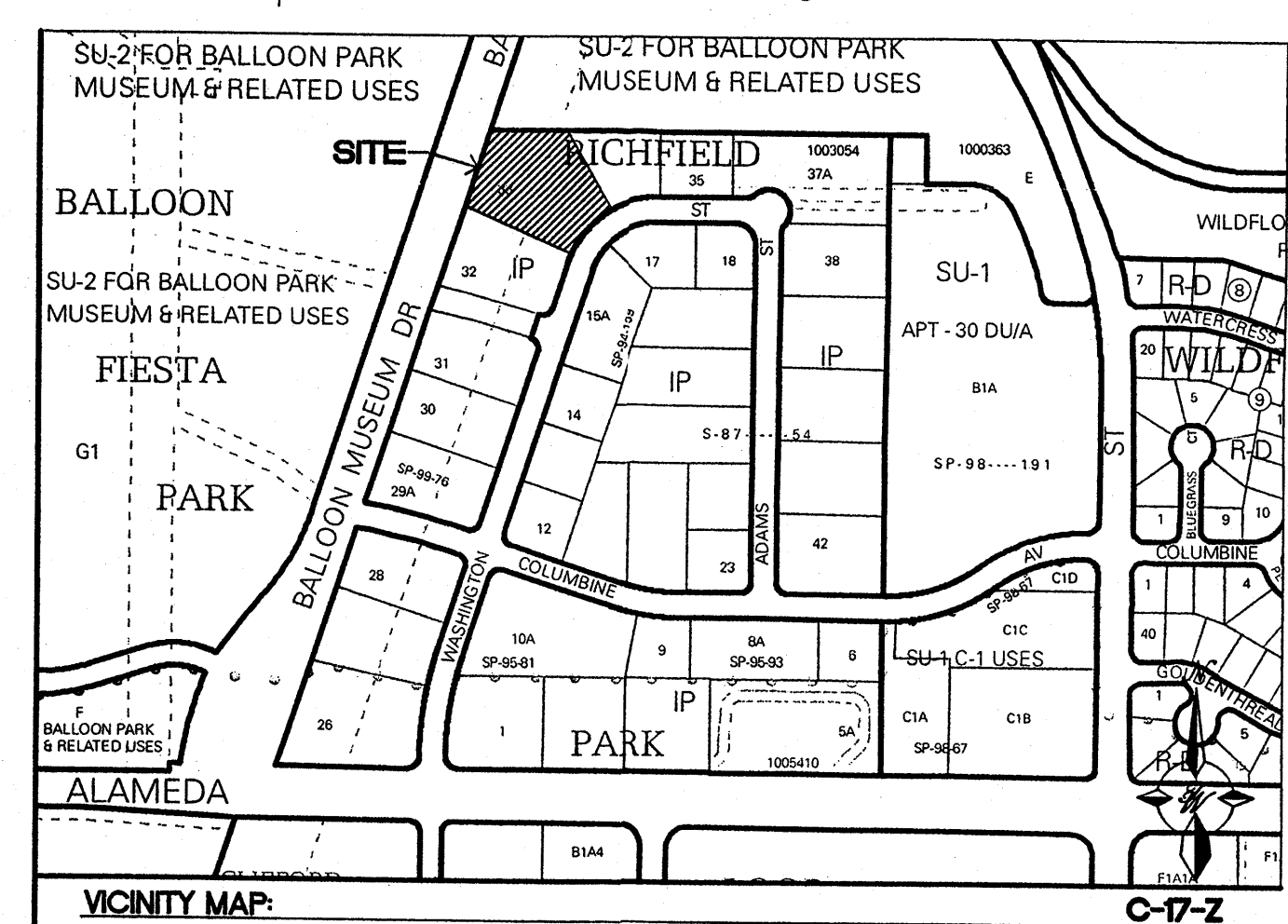


- LEGEND**
- CURB & GUTTER
  - BOUNDARY LINE
  - EASEMENT
  - CENTERLINE
  - RIGHT-OF-WAY
  - BUILDING
  - SIDEWALK
  - SCREEN WALL
  - RETAINING WALL
  - CONTOUR MAJOR
  - CONTOUR MINOR
  - SPOT ELEVATION
  - FLOW ARROW
  - EXISTING CURB & GUTTER
  - EXISTING BOUNDARY LINE
  - EXISTING CONTOUR MAJOR
  - EXISTING CONTOUR MINOR
  - EXISTING SPOT ELEVATION



**EASEMENTS**

- EXISTING 10 FOOT POWER AND COMMUNICATION EASEMENT (BK. C36, FOL. 12)
- EXISTING 10 FOOT PRIVATE DRAINAGE EASEMENT (BK. C36, FOL. 12)
- EXISTING 200 FOOT PUBLIC UTILITY EASEMENT (BK. C36, FOL. 12) AND (D390, PG. 99)
- RIGHT-OF-WAY EASEMENT (6/24/1957, BK. D390, PG. 99)
- PORTION OF SANITARY SEWER EASEMENT (3/10/1988 BK. C36, PG. 12)
- APPROXIMATE LOCATION OF EXISTING TRANSFORMER EASEMENT (12/16/1998, DOC. #1998162006)

**EXISTING SITE DRAINAGE**

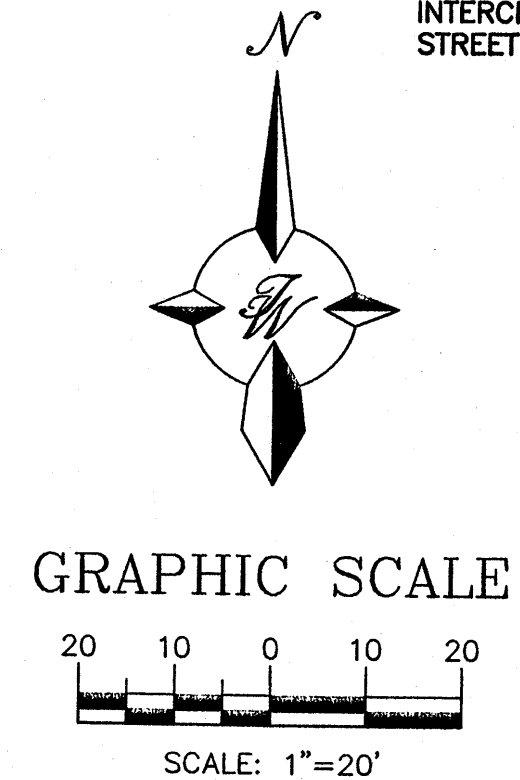
THIS 1.48 ACRE SITE IS LOCATED AT 9005 WASHINGTON STREET, JUST NORTH OF ALAMEDA BLVD. IT CONSISTS OF AN EXISTING WAREHOUSE AND ASPHALT PARKING LOT. THE SITE IS BOUNDED BY A VACANT LOT ON THE SOUTH, WASHINGTON ST. ON THE EAST, BALLOON MUSEUM DR. ON THE WEST AND AN EXISTING BUSINESS ON THE NORTH.

THE SITE CURRENTLY DRAINS FROM SOUTHEAST TO NORTHWEST AND DRAINS INTO AN EXISTING DRAINAGE CHANNEL ALONG THE NORTH AND WEST PROPERTY LINE THROUGH CURB OPENINGS. THE DRAINAGE CHANNEL DRAINS TO A CITY CHANNEL TO THE SOUTH AND THE STORM WATER IS CONVEYED TO AN EXISTING DROP INLET.

**PROPOSED SITE DRAINAGE**

THE SITE WILL CONTINUE TO FOLLOW THE HISTORICAL DRAINAGE PATTERN AS IT SITS TODAY. THE ONLY SITE IMPROVEMENT BEING PROPOSED IS TO CONSTRUCT A WASH PAD IN THE NORTHEAST CORNER OF THE SITE. THIS CONCRETE PAD WILL REPLACE EXISTING ASPHALT SO THERE WILL NOT BE AN INCREASE IN STORM WATER DISCHARGE FROM THE SITE.

THE CONCRETE WASH AREA WILL BE INVERTED AND DRAIN TO A 2'x2' INLET IN THE CENTER OF THE PAD, THUS SLIGHTLY DECREASING THE STORM WATER DISCHARGE FROM THE SITE. THE WATER IN THE WASH AREA WILL BE COLLECT IN THE INLET AND PASSED THROUGH A 500 GALLON OIL/SAND INTERCEPTOR PRIOR TO BEING DISCHARGED TO THE EXISTING SANITARY SEWER IN WASHINGTON STREET.



	<b>VERMEER SALES SW</b>	DRAWN BY DY
	<b>WASHINGTON ST NE</b>	DATE 2/23/12
	<b>GRADING AND DRAINAGE PLAN</b>	2012006-GRB
	<b>TIERRA WEST, LLC</b> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # <b>C1</b>
		JOB # 2012006

**ARIA**

ARCHITECTURE

ARIA ARCHITECTURE LLC  
227 JEFFERSON STREET NORTHEAST  
ALBUQUERQUE | NEW MEXICO | 87108  
PHONE | 505.506.2314 | 505.573.5583

**VERMEER SALES SOUTHWEST NEW WASH PAD**

9005 WASHINGTON ST NE  
ALBUQUERQUE, NM

MARK	DATE	DESCRIPTION
REVISIONS		
ISSUE	PERMIT	
PROJECT NO	1107.1	
CAD DWG FILE		
DRAWN BY		
CHECKED BY		
DATE	2/24/2012	



