

CITY OF ALBUQUERQUE



March 10, 2015

Tyler J. Ashton, P.E.
Wilson & Company
4900 Lang Ave NE
Albuquerque, New Mexico 87109

**RE: Parcel 1-3, 4511 Paseo Del Norte NE
Grading and Drainage Plan
Engineers Stamp Date 2/20/15 (C17D022)**

Dear Mr. Ashton,

Based upon the information provided in your submittal received 2/2/15, this plan is approved for Grading Permit and Paving Permit.

Please attach a copy of this approved plan to the construction sets in the permitting process prior to sign-off by Hydrology.

First Flush requirements are being met with the small ponding area provided. In the future however, address the first flush requirements on the plan itself, as narrative or build note.

PO Box 1293

Albuquerque

If you have any questions, please contact me at 924-3695 or Rudy Rael at 924-3977.

New Mexico 87103

Sincerely,

Curtis Cherne, P.E.
Principal Engineer, Hydrology
Planning Department

www.cabq.gov

RR/CC
C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003)

PROJECT TITLE: Parcel 1-3 ZONE MAP/DRG. FILE#: C-17 C17D022

DRB#: _____ EPC#: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: PORT OF LAND IN T11N R3E SEC 14 OF SE1/4 SW1/4

CITY ADDRESS: 4511 PASEO DEL NORTE NE, ALBUQUERQUE, NM 87109

ENGINEERING FIRM: WILSON & COMPANY CONTACT: TYLER J ASHTON

ADDRESS: 4900 LANG AVENUE, NE PHONE: (505) 348-4121

CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87109

OWNER: SPECTRUM PASEO LLC CONTACT: _____

ADDRESS: 1104 West Bay PHONE: _____

CITY, STATE: NEWPORT BEACH, CA ZIP CODE: 92661

ARCHITECT: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

CITY, STATE: _____ ZIP CODE: _____

SURVEYOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

CITY, STATE: _____ ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

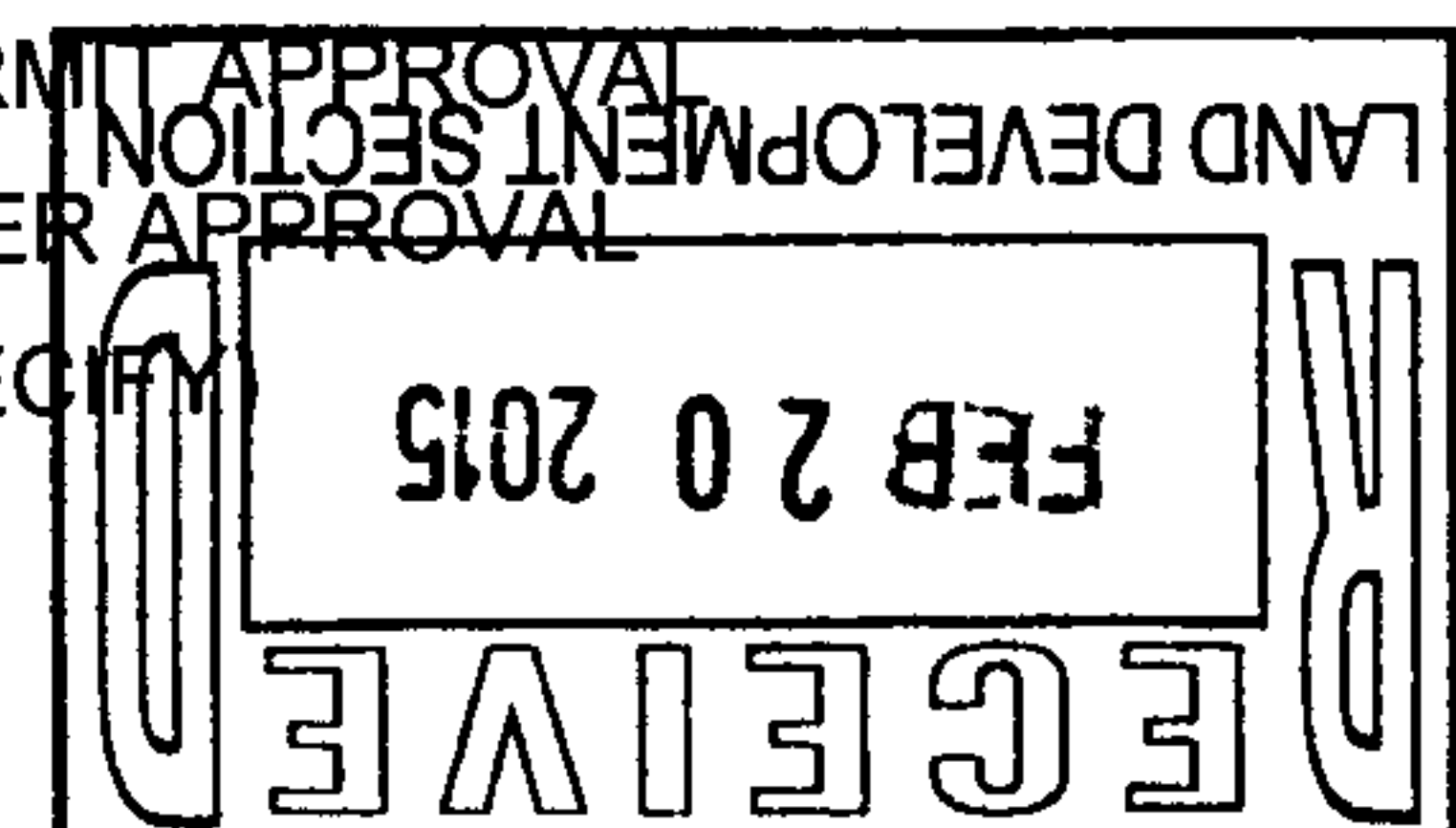
- ☒ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, REQUIRES TCL OR EQUAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEERS CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB, APPR. SITE PLAN)
- ☐ OTHER: _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATION OF OCCUPANCY (PERM.)
- ☐ CERTIFICATION OF OCCUPANCY (TEMP.)
- ☒ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED



Date Submitted: February 20, 2015 By: Tyler J Ashton

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003)

PROJECT TITLE: Parcel 1-3 ZONE MAP/DRG. FILE#: C-17

DRB#: _____ EPC#: _____ WORK ORDER #: _____

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ARCHITECT: _____ CONTACT: _____

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CITY, STATE: _____ ZIP CODE: _____

SURVEYOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

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- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

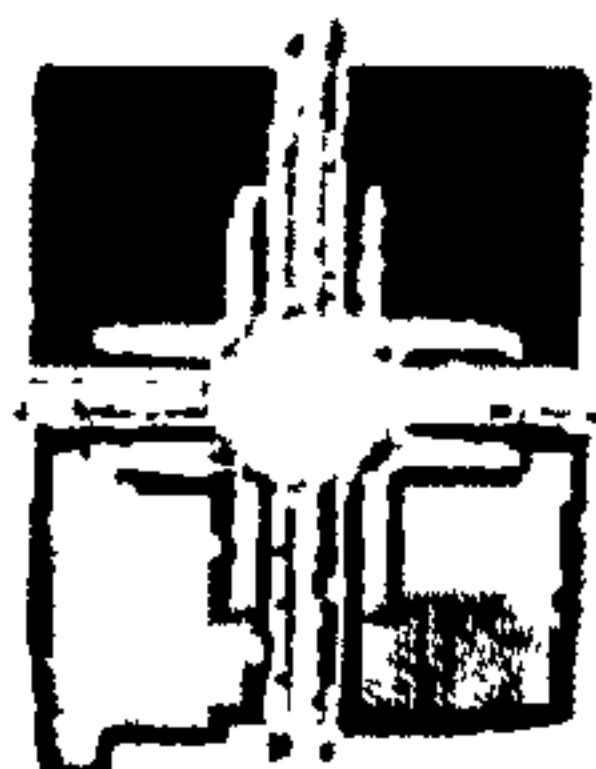
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

Date Submitted: February 20, 2015 By: Tyler J Ashton

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NEW MEXICO DEPARTMENT OF
TRANSPORTATION

Spectrum Commercial INC
Mr. Jan-Erik Palm
27111 Aliso Creek Rd Suite 196
Aliso Viejo, CA 92656

January 16, 2015

Reference: Driveway Permit No. 3-4042
Location: PDN Frontage Mile Marker 4.52

Mr. Palm

The New Mexico Department of Transportation District Three Traffic Section has reviewed the documentation that was submitted by Spectrum Commercial Inc for access to the State Highway System. The land use identified for this access is: **Commercial.**

This Authority to Proceed is issued under the following conditions:

- **Should the land use change or ownership of the property change the access permit is no longer valid.**
- **All improvements within the right-of-way will adhere to the NMDOT Standards and Specifications for Highway and Bridge Construction most recent addition.**
- **All improvements within the right-of-way associated with ADA will follow PROWAG specifications**
- **A final walkthrough will be performed by NMDOT to determine compliance and conformance of the driveway before the permit is issued.**

By granting a driveway permit, the NMDOT does not relieve the property owner from the responsibility to ensure that historical drainage flows along the roadway are maintained. Should the driveway impact historical flows along the roadway, it is the responsibility of the property owner to take corrective action to resolve any drainage issues that result.

If you have any questions please call me at (505)798-6608 or you can reach me by email: peter.kubiak@state.nm.us.

Sincerely,

Peter Kubiak
District Three Permit Agent
xc: Nancy Perea, P.E. District Three Traffic Engineer NMDOT

Susana Martinez
Governor

Tom Church
Cabinet Secretary

Commissioners

Pete K. Rahn
Chairman
District 3

Ronald Schmeits
Vice Chairman
District 4

Dr. Kenneth White
Secretary
District 1

Butch Mathews
Commissioner
District 5

Jackson Gibson
Commissioner
District 6

WARRANTY DEED

3-4042

LOS ANGELES AVENUE ASSOCIATES, a California limited partnership ("Grantor"), for consideration paid grants to SPECTRUM PASEO, LLC, a New Mexico limited liability company ("Grantee"), whose address is 27111 Aliso Creek Road, Suite 196, Aliso Viejo, CA 92656, the real estate located in Bernalillo County, New Mexico described on the attached Exhibit A (the "Property"), subject to the items listed on the attached Exhibit A.

WITH WARRANTY COVENANTS.

DATED: July 15, 2005.

GRANTOR:

LOS ANGELES AVENUE ASSOCIATES, a
California limited partnership

By: Ben Farber
Name: BEN FARBER
Title: GENERAL PARTNER

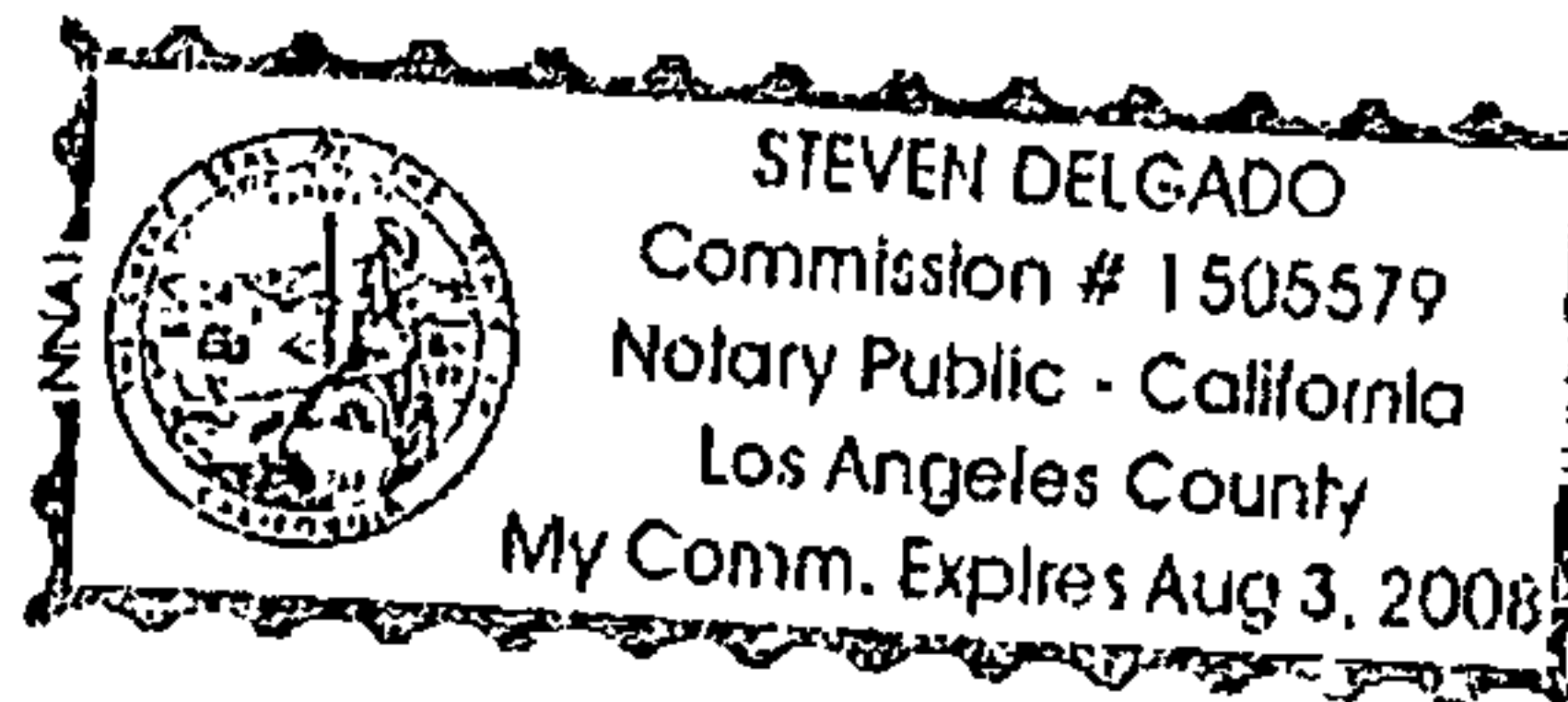
STATE OF California)
COUNTY OF Los Angeles) ss.

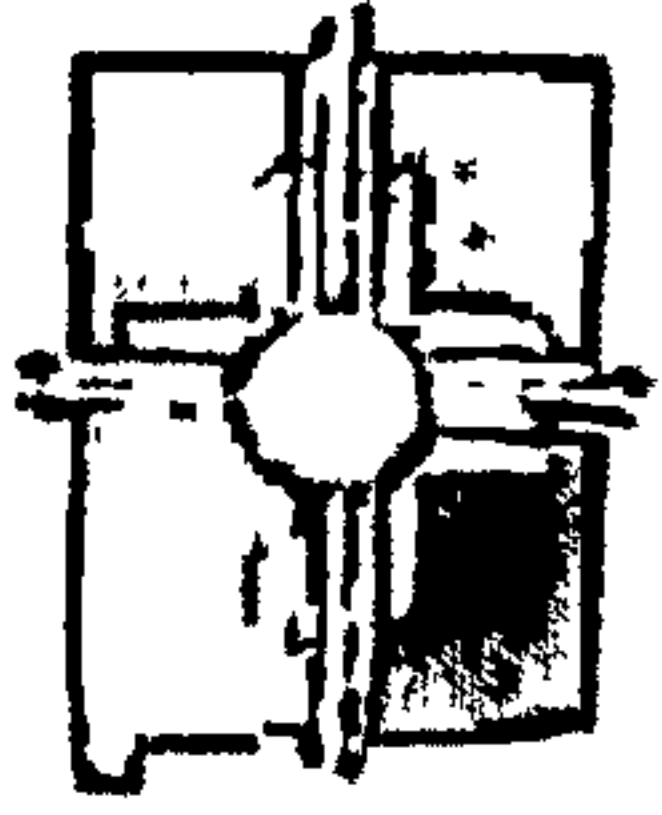
This instrument was acknowledged before me on July 13, 2005, by Ben Farber General Partner of Los Angeles Avenue Associates, a California limited partnership.

Steven Delgado
Notary Public

My commission expires:

Aug. 3, 2008





NEW MEXICO DEPARTMENT OF
TRANSPORTATION
MOBILITY FOR EVERYONE

REVIEWED
By Gary Funkhouser at 2:19 pm, Oct 16, 2014

af

ENVIRONMENTAL SURVEY
NOT REQUIRED

NMDOT, ENVIRONMENTAL SECTION

Environmental Clearance for Undertakings within NMDOT Rights-of-way

In order to receive environmental clearance for permitted projects in highway rights-of-way the following must be submitted to the NMDOT Environmental Development Section. Submittals (usually) are reviewed Tuesday of each week. Submittals received on Tuesday will not be reviewed until the following Tuesday. Emergency requests are handled on a case-by-case basis.

1. **Purpose and Nature of undertaking.** Describe the undertaking along with width, length and depth of ground disturbance. Include the methods and machinery to be used.

New driveway construction. See attached Site Map.

2. **Is your project resulting from a NMDOT project?** If so, provide the control and/or project number.

Yes, I-25/PDN CN A301180

3. **Funding source.** Is the funding private, state, or federal? If state and/or federal, list agency(s).

City of Albuquerque, NMDOT, NM State, and Federal

4. **Land status.** Is the project on right of way owned by BLM, Forest Service, Tribal land, or State Trust land? (NMDOT does not own all highway rights of way!)

Private Ownership

5. **Permitting agencies.** List other permitting agencies involved besides NMDOT.

FHWA and City of Albuquerque

6. **County.** List the county or counties in which the project is located.

Bernalillo County

7. **Highway number.** Indicate the highway the project will cross or parallel.

NM 423 (Frontage Road)

8. **BOP and EOP.** Provide the milepost locations for the beginning of the project area (BOP) and the end of the project area (EOP). If highway crossing only, list the milepost location. Indicate BOP and EOP on quadrangle maps as well.

See attached Site Map.

9. **Side(s) of the road.** Indicate on which side of the road the project will be located using cardinal directions (north, south, east, west). List all project crossings of the highway by milepost.

Environmental Clearance for Undertakings within NMDOT Rights-of-way, continued

3-4042

North

/10. Length of the project. Indicate the length of the project within NMDOT right of way in terms of feet and/or miles.

N/A

/11. Provide the legal description of the project area: Township, Range, and Section(s).

Section 14 T11N R3E

/12. USGS 1:24,000 (7.5') Quadrangle map. List the name(s) of the USGS quadrangle map(s) on which the project is located.

See attached Site Map

/13. Include the appropriate portion of the USGS 1:24,000 (7.5') Quadrangle map(s) with the project area indicated by an **X** if a crossing, or **BOP** and **EOP** if linear. Quad map images can be printed at no charge from the map locator/downloader page at the USGS store at:
<http://store.usgs.gov/>

Google Maps of the project location are also acceptable if the background image is the satellite photo and if you are sending your request electronically: <http://maps.google.com/>

/14. Include your:

Name: Scott Perkins

Company (if applicable): Wilson & Company

Phone #: 505-348-4016

Fax #: 505-348-4055

Email address (if you use one): Scott.Perkins@wilsonco.com

/15. Do not send photos (including aerial photos or photo maps) unless they are scanned or sent via US Mail. Faxed photos come out entirely black.

/16. Submit your requests by email, by fax, OR by mail.
Send in one format only – Please **do not** send in multiple formats.

Send clearance requests to:

Gary Funkhouser, NMDOT - Environmental Development
P.O. Box 1149
Santa Fe, NM 87504-1149

Physical address:
1120 Cerrillos Road, Room 206
Santa Fe, NM 87505-1842
(for FedEx or UPS the ZIP code is 87505)

Fax: 505-827-3243; Phone: 505-827-5692; Email: gary.funkhouser@state.nm.us

Michael J, NMDOT; Perkins, Scott F.
Subject: RE: Parcel 1-3 G&D

3-4042

Peter

The attached Site Threshold Assessment (STH) does indicate volumes above the 25 peak-hour total trips. As far as carrying this forward we recommend that in this particular case that the Site Traffic Analysis (STA) should be waived do to the following factors:

- A) The property/driveway access points are being impacted by additional right-of-way acquisition from the I-25/Paseo del Norte Interchange Project (A301180). ✓
- B) This is an existing facility so there will not be an increase of volume with the new driveway. ✓
- C) We have already addressed the volume on the N. PDN Frontage Road in the traffic analysis for the I-25/PDN Interchange Project and used 2035 projected volumes. ✓
- D) The N. PDN Frontage Road has a fairly low volume thus providing numerous access gaps. ✓

Let me know what your thought are on this matter. The Property Owner is anxious to resolve this and make the improvements as soon as possible.

Thanks

Scott

From: Kubiak, Peter, NMDOT [<mailto:Peter.Kubiak@state.nm.us>]

Sent: Wednesday, January 07, 2015 3:14 PM

To: Perkins, Scott F.

Cc: Perea, Nancy, NMDOT; Trujillo, Timothy R, NMDOT; Smelker, Michael J, NMDOT; Gallegos, Audra V.; Perea, Nancy, NMDOT

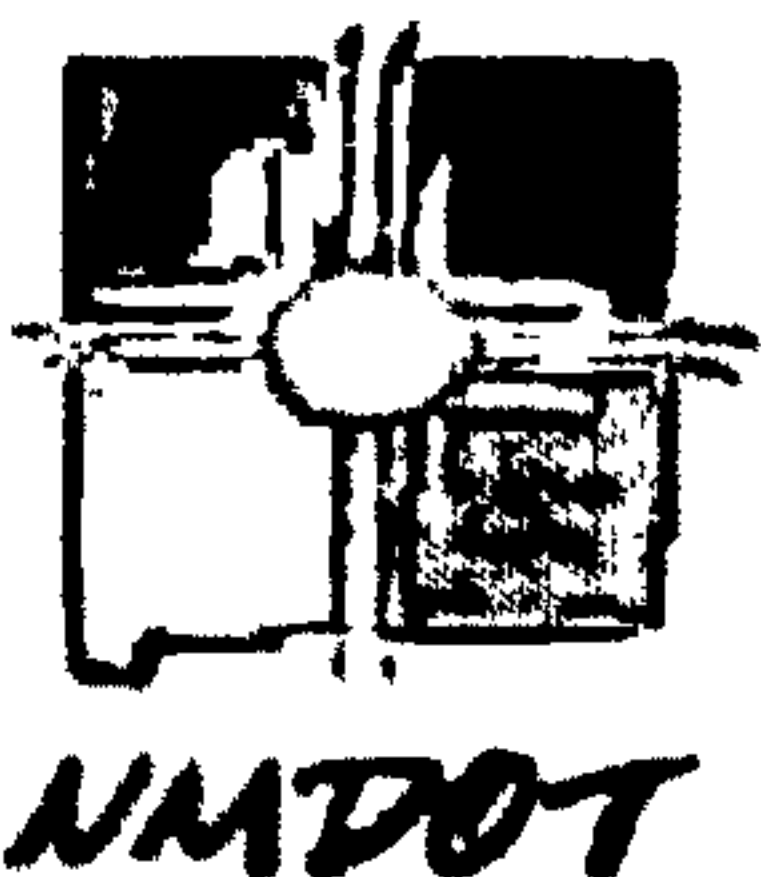
Subject: RE: Parcel 1-3 G&D

Scott,

Can I get a Site Threshold Assessment completed for the drives?

Thank You,

Peter J. Kubiak
D-3 Permitting Agent
7500 Pan American Freeway N.E
P.O Box 91750
Albuquerque N.M 87199
(505)798-6608
peter.kubiak@state.nm.us



Perkins, Scott F.

3-4042

From: Trujillo, Timothy R, NMDOT <TimothyR.Trujillo@state.nm.us>
Sent: Wednesday, January 07, 2015 8:02 AM
To: Perkins, Scott F.; Ashton, Tyler J.; Friedt, Nicole, NMDOT
Cc: Lopez, James E.; Gallegos, Audra V.; Kubiak, Peter, NMDOT
Subject: RE: Parcel 1-3 G&D

Yes, we should be good to go.

Tim T.

From: Perkins, Scott F. [mailto:Scott.Perkins@wilsonco.com]
Sent: Wednesday, January 07, 2015 7:53 AM
To: Ashton, Tyler J.; Trujillo, Timothy R, NMDOT; Friedt, Nicole, NMDOT
Cc: Lopez, James E.; Gallegos, Audra V.; Perkins, Scott F.
Subject: RE: Parcel 1-3 G&D

Tyler and Tim

Yes there was not prior permit for the property and this request will obtain permits for access to the Property. Yes all is the rest is complete.

Can we make the final request?

Thanks

Scott

From: Ashton, Tyler J.
Sent: Wednesday, January 07, 2015 7:49 AM
To: Trujillo, Timothy R, NMDOT; Friedt, Nicole, NMDOT
Cc: Lopez, James E.; Perkins, Scott F.
Subject: RE: Parcel 1-3 G&D

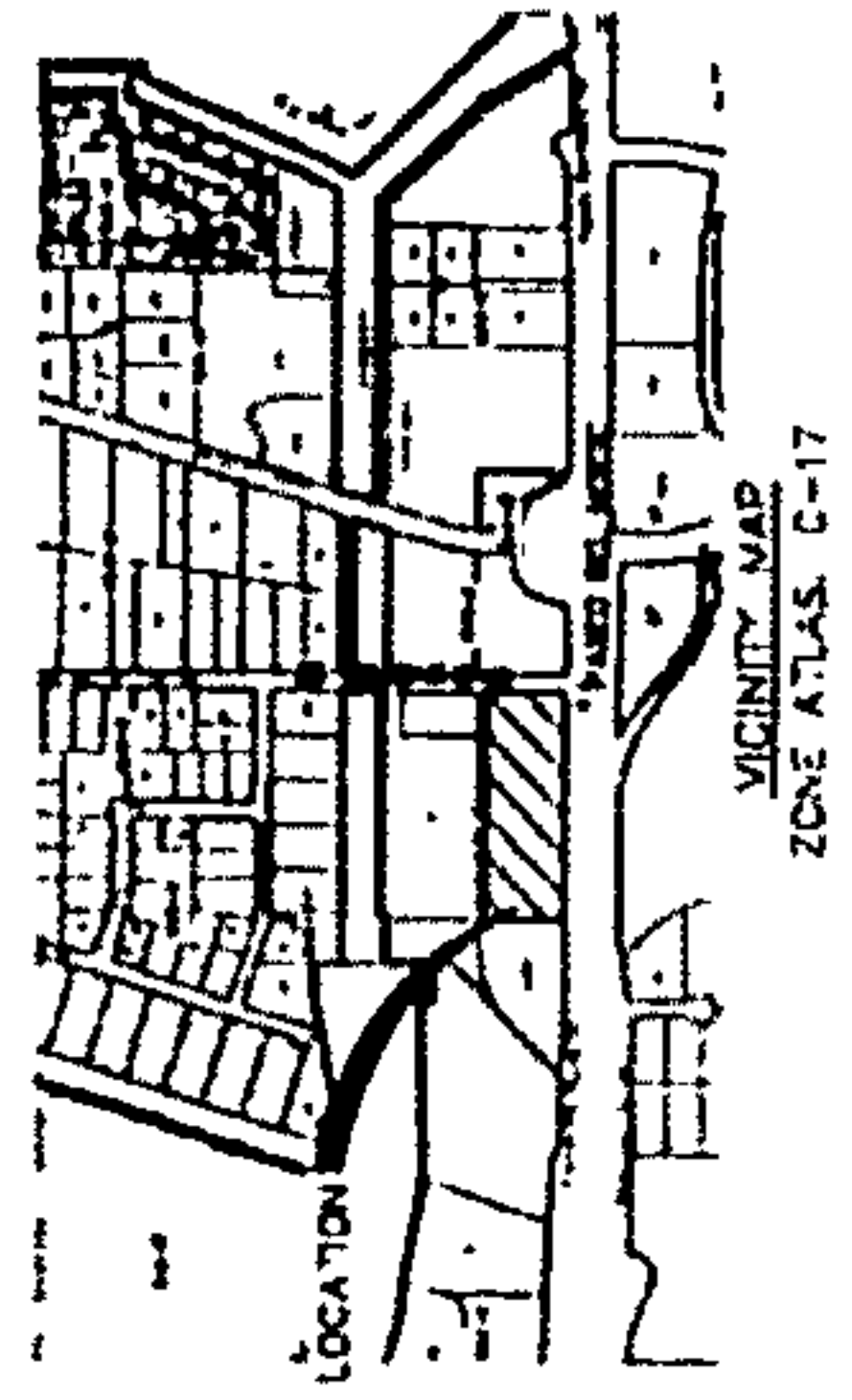
No the property did not have a permit. So we submitted for a permit and my understanding is that everything is approved for the permit except drainage. Scott is that correct?

From: Trujillo, Timothy R, NMDOT [mailto:TimothyR.Trujillo@state.nm.us]
Sent: Wednesday, January 07, 2015 7:46 AM
To: Ashton, Tyler J.; Friedt, Nicole, NMDOT
Cc: Lopez, James E.; Perkins, Scott F.
Subject: RE: Parcel 1-3 G&D

Does it have an existing driveway permit?

Tim T.

From: Ashton, Tyler J. [mailto:Tyler.Ashton@wilsonco.com]
Sent: Wednesday, January 07, 2015 5:50 AM
To: Friedt, Nicole, NMDOT; Trujillo, Timothy R, NMDOT



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1-14-15

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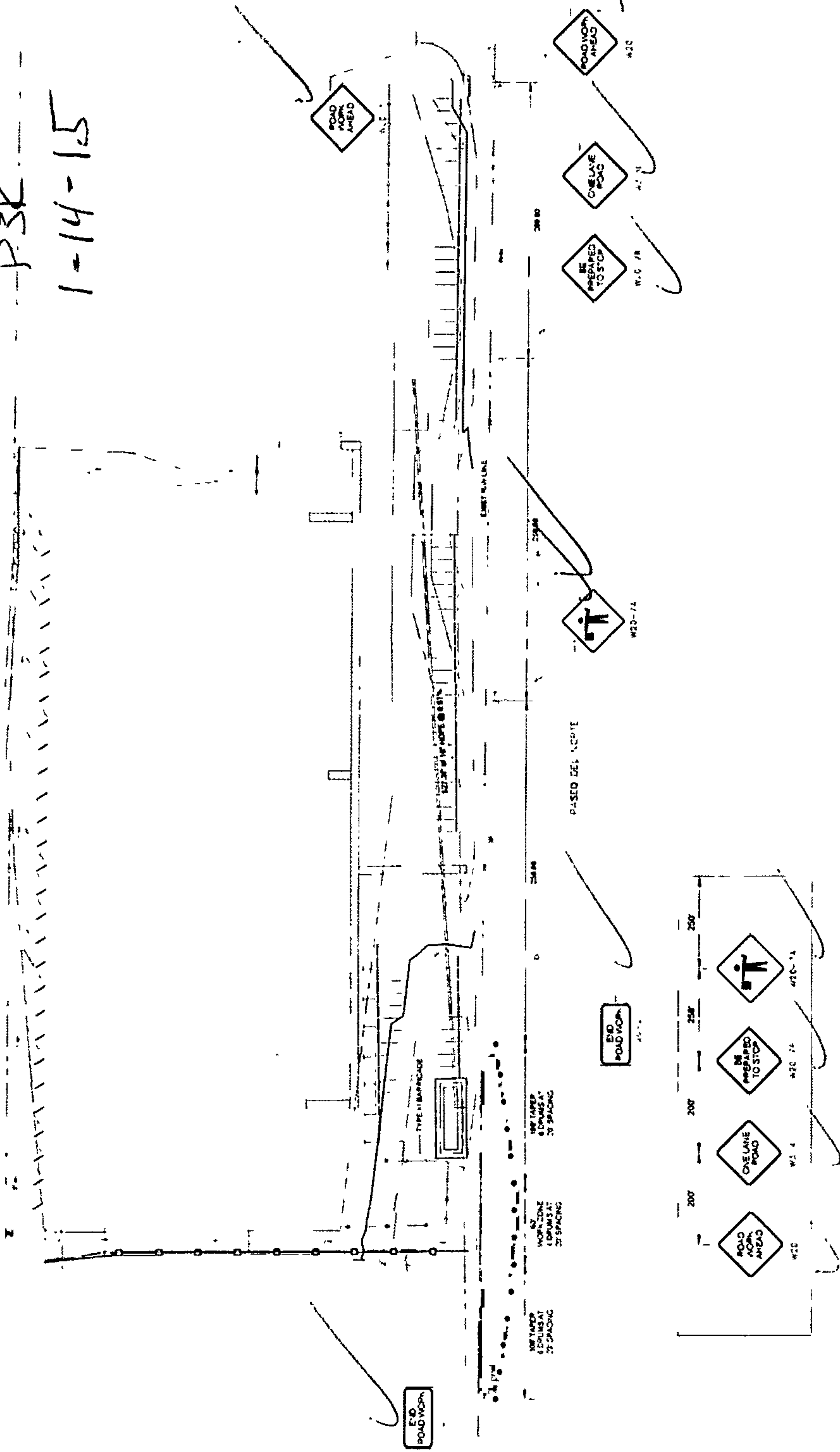
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REPORT HAVE

PROJECT NO	DATE	DESCRIPTION
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1004	10/1/50	1004
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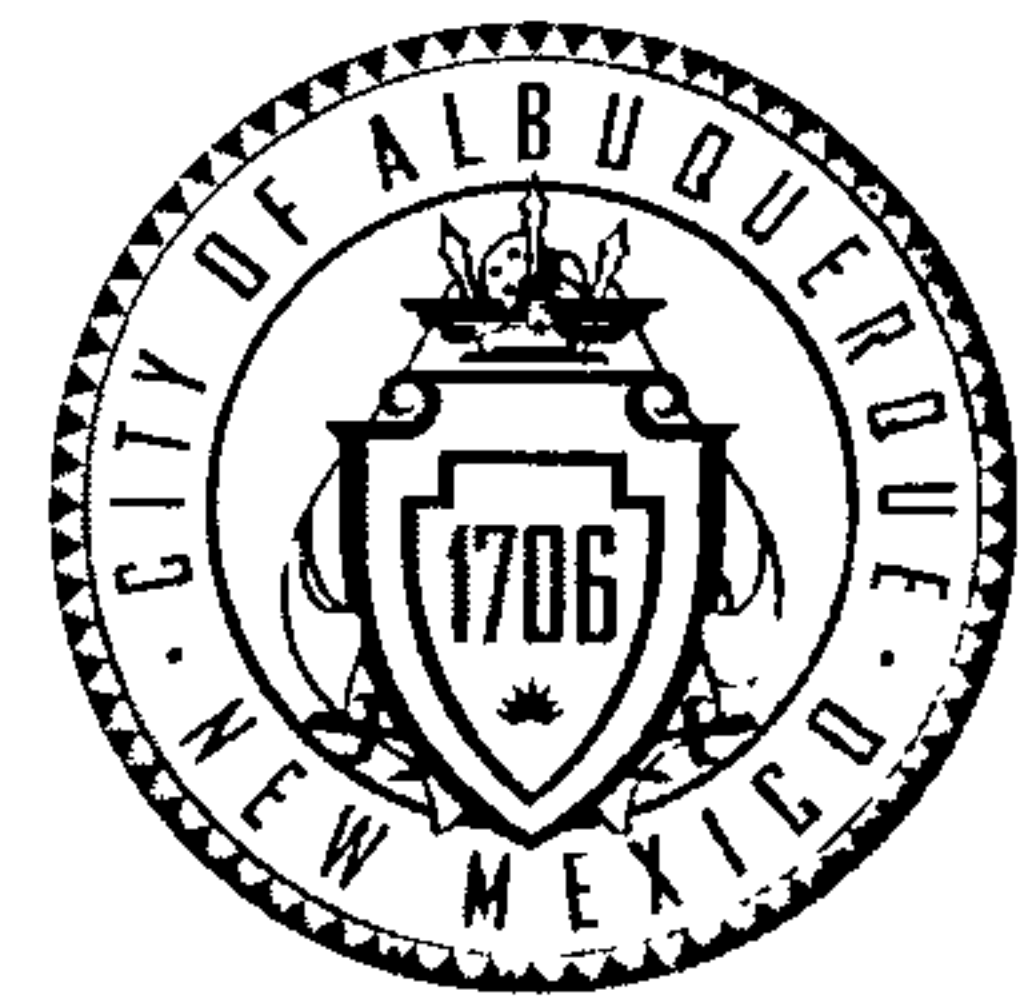
TRAFFIC CONTROL
PLAN

ON 12/14/12



SCALE 1"=40'

CITY OF ALBUQUERQUE



January 28, 2015

Tyler Ashton, PE
Wilson & Company, Inc.
4900 Lang Ave. NE
Albuquerque, NM 87109

RE: **PDN Parcel 1-3**
Grading & Drainage Plan
Engineer's Stamp Date 1-13-2014 (File: C17D022)

Dear Mr. Ashton:

Based upon the information provided in your submittal received 1-13-14, the above referenced plan cannot be approved for Grading and Paving Permit until the following comments are addressed:

1. Pond volumes and water surface elevations are required.
2. A written approval from the NMDOT is required. What does the NMDOT allow for discharge?
3. The narrative states that basin 101 is on the south side of the property but shown on the north side of the property.

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

Since the disturbed area on this site exceeds 1.0 acre, an Erosion and Sediment Control (ESC) Plan, prepared by a NM PE and approved by the City's Stormwater Engineer, will be required for this site, prior to Hydrology approval of a Building Permit or Work Order.

If you have any questions, you can contact me at 924-3986 or Rudy Rael at 924-3977.

Sincerely,

Curtis Cherne, P.E.
Principal Engineer, Planning Dept.
Development Review Services

Orig: Drainage file
c.pdf Addressee via Email

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(REV. 1/28/2003)

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ARCHITECT: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

CITY, STATE: _____ ZIP CODE: _____

SURVEYOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

CITY, STATE: _____ ZIP CODE: _____

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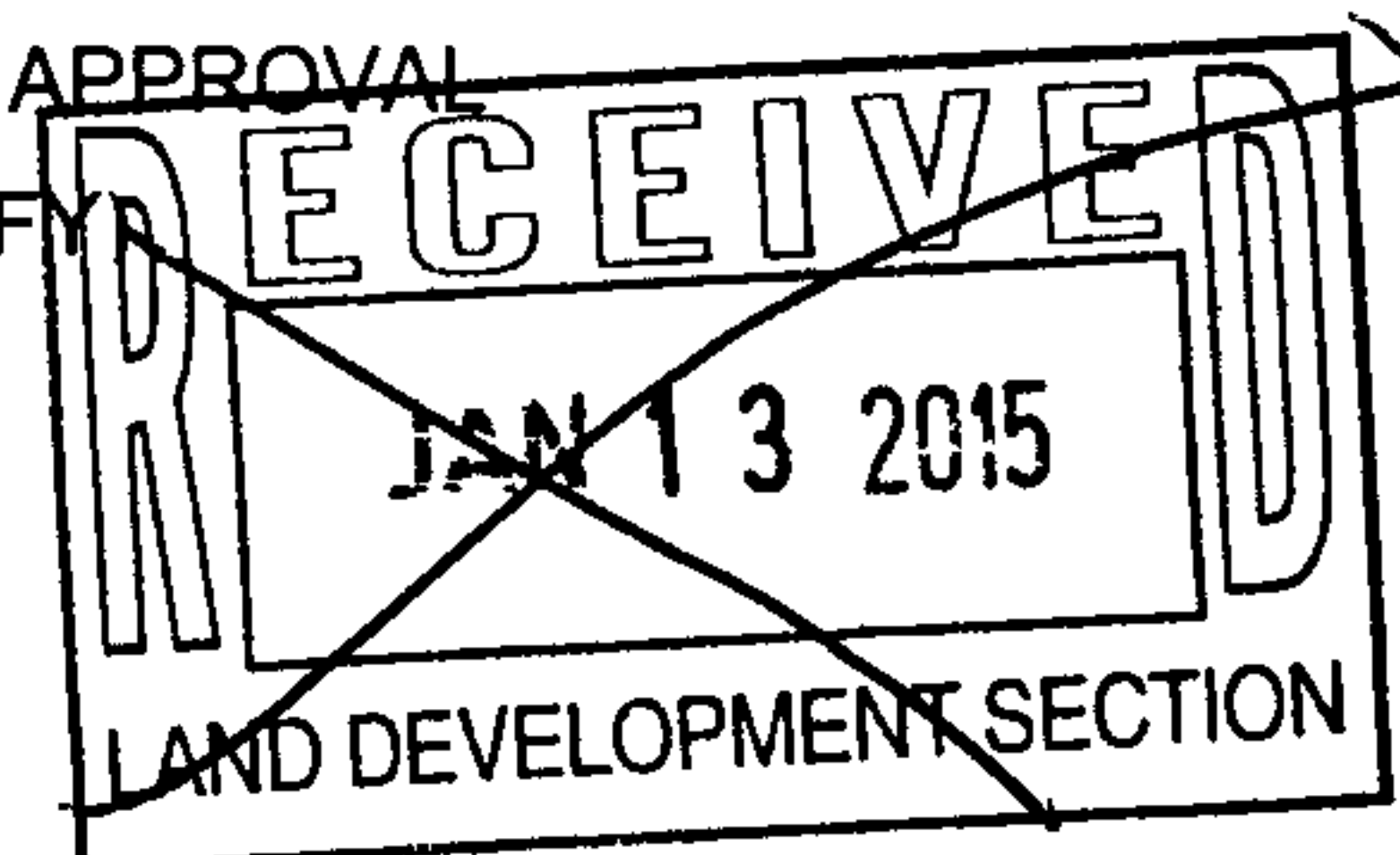
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- ☐ EROSION CONTROL PLAN
- ☐ ENGINEERS CERTIFICATION (HYDROLOGY)
- ☐ CLOMR\LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB, APPR. SITE PLAN)
- ☐ OTHER: _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATION OF OCCUPANCY (PERM.)
- ☐ CERTIFICATION OF OCCUPANCY (TEMP.)
- ☒ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED



Date Submitted: January 13, 2015 By: Tyler J Ashton

*Complete sub
Rec'd 1/16/15*

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

WILSON & COMPANY

4900 LANG NE
ALBUQUERQUE, NEW MEXICO 87109
(505) 348-4000
FAX (505) 348-4072

TRANSMITTAL

Date: January 13, 2015

Job No.: 14-600-031-00

Parcel 1-3 (Fed Ex Building)

To: COA

Plaza Del Sol

Hydrology

Attn: Mr. Curtis Cherne

WE ARE SENDING YOU ☒ Attached ☐ Under Separate Cover

via _____ the following items:

☐ Shop Drawings

☐ Prints

☒ Plans

☐ Samples

☐ Specifications

☐ Copy of letter

☐ Change order

☐ _____

Copies	Date	Pages/Sheets	Description
2	1.13.15	1	Parcel 1-3 Grading & Drainage Plan

THESE ARE TRANSMITTED AS CHECKED BELOW:

☐ For approval/signature

☐ Approved as submitted

☐ Resubmit _____ copies for approval

☒ For your use

☐ Approved as noted

☐ Submit _____ copies for distribution

☐ As requested

☐ Return _____ copies

☐ Return _____ corrected prints

☐ For review and comment

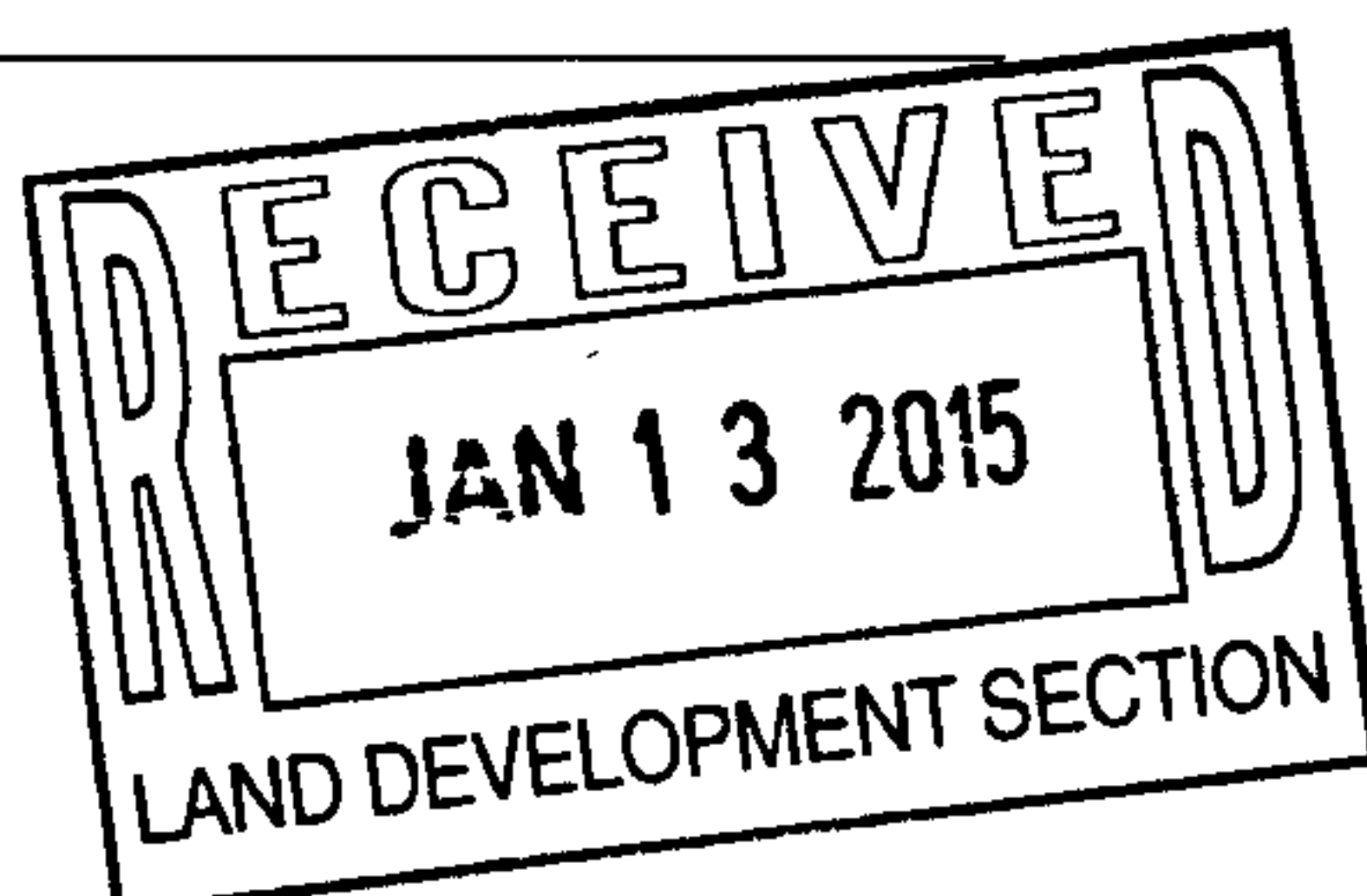
☐ _____

☐ FOR BIDS DUE _____, 20__ ☐ PRINTS ON LOAN – RETURN TO WCEA AFTER BID

Remarks: Please call or email me at 505.348.4121 or Tyler.Ashton@wilsonco.com if you have any questions

COPY TO: File.

SIGNED: Tyler J. Ashton, P.E.

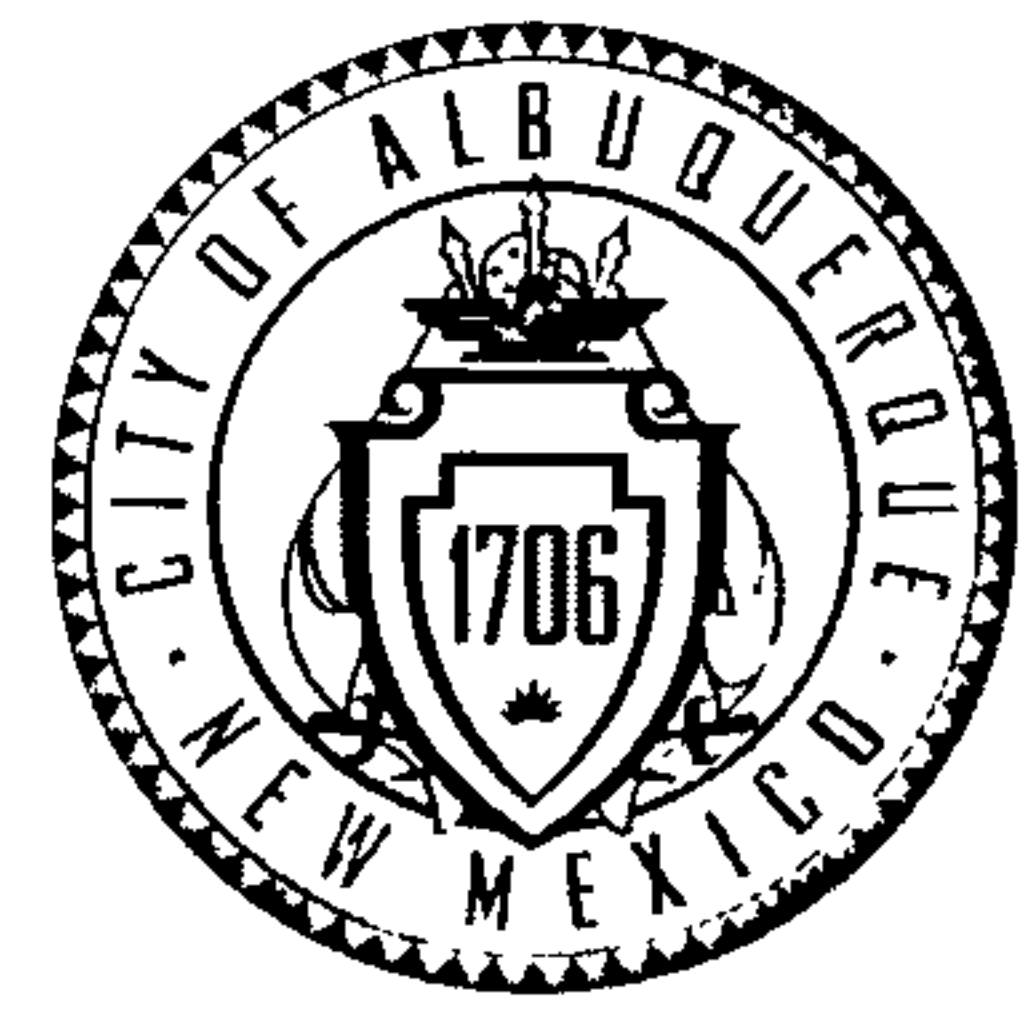


RECEIVED BY: _____

DATE: _____

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



May 30, 2014

Tyler Ashton, PE
Wilson & Company, Inc.
4900 Lang Ave. NE
Albuquerque, NM 87109

Richard J. Berry, Mayor

**RE: PDN Parcel 1-3
Grading & Drainage Plan
Engineer's Stamp Date 4-28-2014 (File: C17D022)**

Dear Mr. Ashton:

Based upon the information provided in your submittal received 4-28-14, the above referenced plan cannot be approved for Grading and Paving Permit until the following comments are addressed:

1. Show entire lot and basins. Show adjacent roads. Show both structures.
2. Indicate the existing and new ROW limits.
3. Show grades 25' beyond property line. Show conditions beyond property line.
4. Does the north west portion of lot drain to adjacent lot?
5. Show drainage easements, both existing and proposed.
6. Where is drop inlet and culverts that the property presently drains to?
7. Where does roof drain to?
8. NMDOT approval is required prior to COA approval. An email from NMDOT will suffice.

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

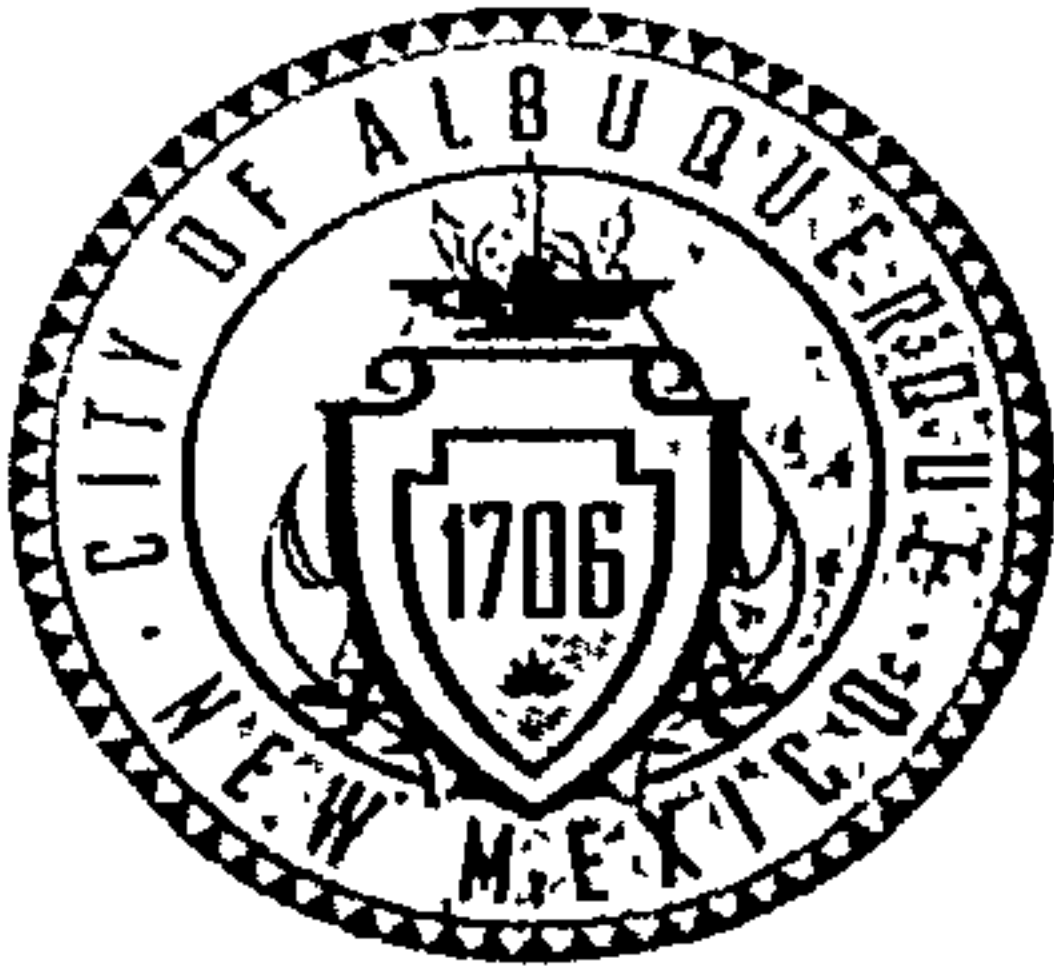
Since the disturbed area on this site exceeds 1.0 acre, an Erosion and Sediment Control (ESC) Plan, prepared by a NM PE and approved by the City's Stormwater Engineer, will be required for this site, prior to Hydrology approval of a Building Permit or Work Order.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Rita Harmon, P.E.
Senior Engineer, Planning Dept.
Development Review Services

Orig: Drainage file
c.pdf Addressee via Email



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: PDN Parcel 1-3 Building Permit #: _____ City Drainage #: CMD022

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Port of land in T11 N2E R3E SEC 14 of SE 1/4 SW 1/4

City Address: 4511 Paseo Del Norte 87113

Engineering Firm: Wilson & Company Contact: Tyler Ashton

Address: 4900 Lang Ave NE 87109

Phone#: 505-348-4121 Fax#: 505-348-4055 E-mail: tjashton@wilsonco.com

Owner: Spectrum Paseo LLC Contact: _____

Address: 114 West Bay Newport Beach, CA 92661

Phone#: _____ Fax#: _____ E-mail: _____

Architect: _____

Address: _____

Phone#: _____ Fax#: _____

Surveyor: _____

Address: _____

Phone#: _____ Fax#: _____

Contractor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ GRADING PERMIT APPROVAL
- ☒ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____

up to the
NADOT.

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes ☒ No _____ Copy Provided

DATE SUBMITTED: _____ By: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

WILSON & COMPANY

4900 Lang Ave NE
Albuquerque, NM 87109
505-348-4000 phone
505-348-4055 fax

Alaska
Arizona
California
Colorado
Florida
Kansas
Louisiana
Missouri
Nebraska
New Mexico
Oklahoma
Texas
Utah

January 13, 2015

Ms. Rita Harmon, P.E.
Senior Engineer
Planning Department
City of Albuquerque
600 2nd St NW,
Albuquerque, NM 87102

RE: PDN Parcel 1-3 Grading and Drainage Plan

Dear Ms. Harmon:

Below are the comments in the e-mail and how they were addressed:

Comment:

1. Show entire lot and basins. Show adjacent roads. Show both structures.

Response: The plan has been extended to show the entire limits of the property, adjacent roads, and existing structures.

Comment:

2. Indicate the existing and new ROW limits.

Response: The existing and proposed ROW lines are identified.

Comment:

3. Show grades 25' beyond property line, Show conditions beyond property line.

Response: The drawing extents have been extended to show additional grades.

Comment:

4. Does the northwest portion of lot drain to adjacent lot?

Response: The northwest portion of the property drains to an existing culvert that diverts water under the rail road tracks and to a drainage way that discharges into the South Domingo de Baca water quality structure.

Comment:

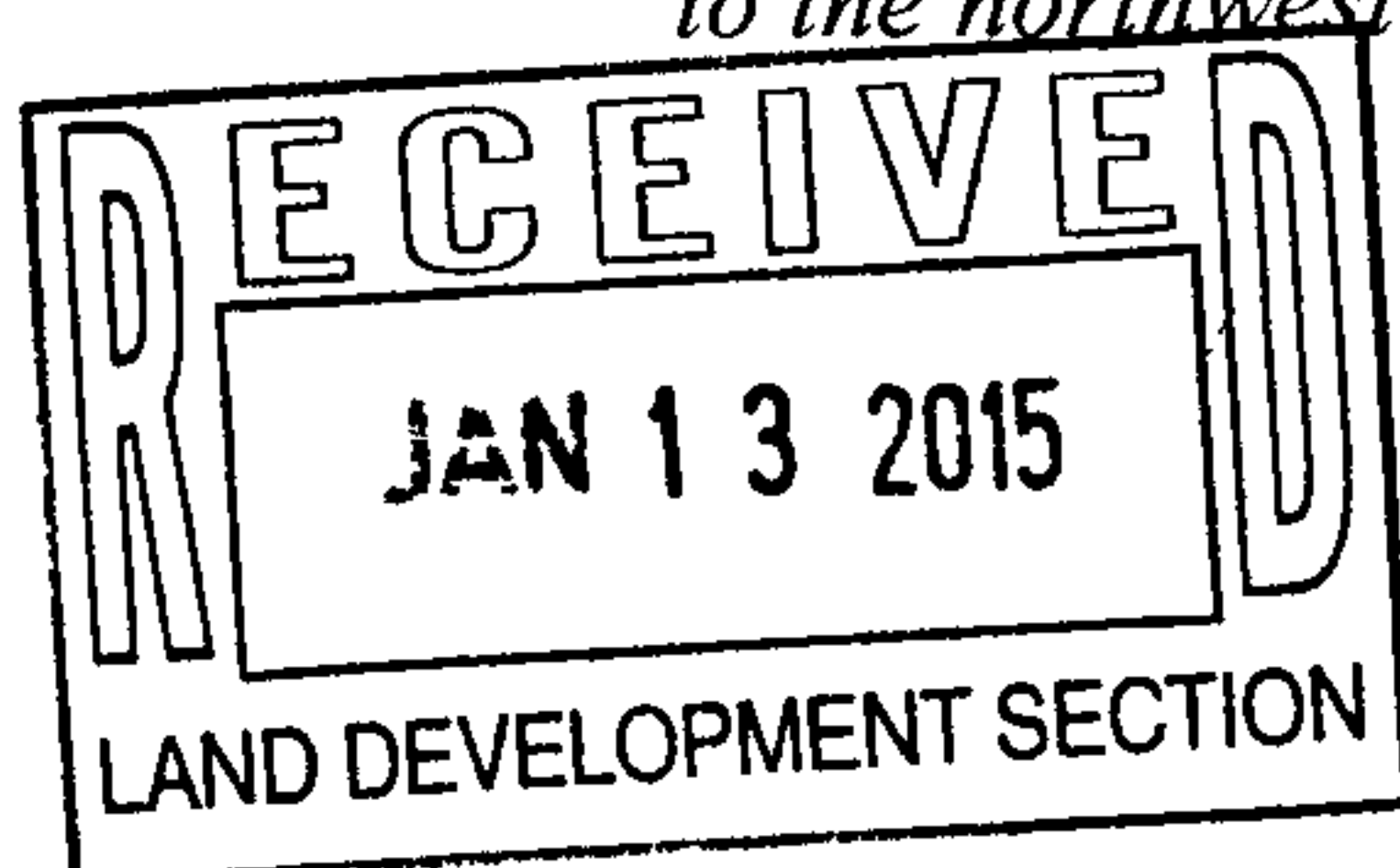
5. Show drainage easements, both existing and proposed.

Response: There are no current drainage easements.

Comment:

6. Where is drop inlet and culverts that the property presently drains to?

Response: The existing inlet is located in the same location as the proposed inlet, the existing culvert to the northwest of the property is out of the drawing/survey extents.



Comment:

7. Where does roof drain to?

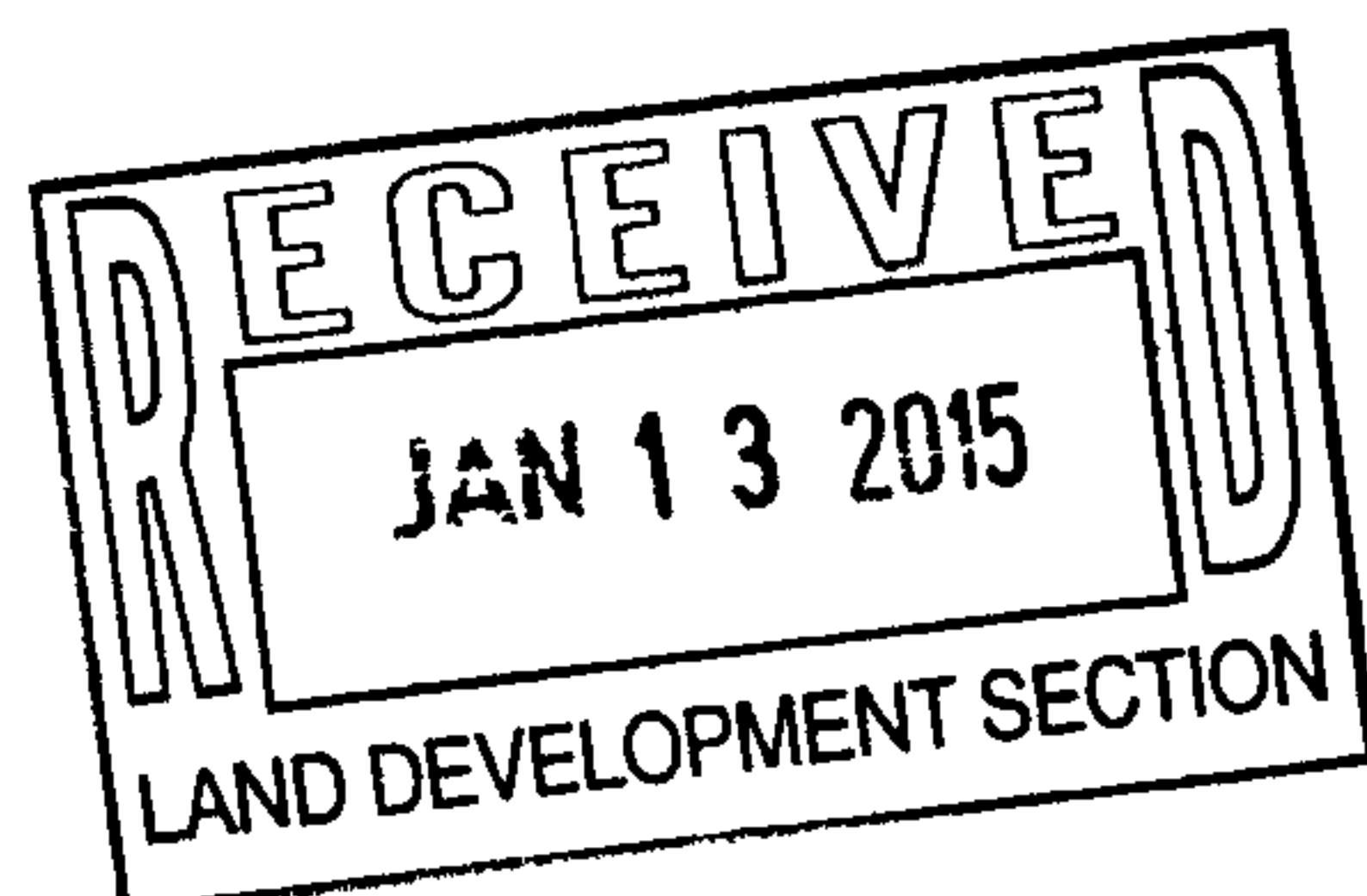
Response: The roof drains to the south of the property.

Comment:

8.. NMDOT approval is required prior to COA approval. An email from NMDOT will suffice

Response: Timothy Trujillo and Nicole Friedt have reviewed and approved the grading & drainage plan.

cc: file, TJA,



mtg w/ DOT & Wilson 11-6-14

Site has to detain flows due to downstream
capacity issues, ~20 cfs → ~10 cfs.

They also need a permit from the DOT
for the driveway and a new site plan
to go through AA process.

Centi

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT**

**HYDROLOGY DEVELOPMENT SECTION
DEVELOPMENT REVIEW BOARD MEMO**

DRB PROJECT NO: 1000965

AGENDA ITEM NO: 7

SUBJECT:

SIA Ext Sdwk Defr

ENGINEERING COMMENTS:

Hydrology defers to Transportation and Planning.

Cherne

SIGNED:

Curtis Cherne
Hydrology Section
City Engineer Designee
AMAFCA Designee
924-3986

DATE: 11-5-14

I turned in the attached grading plan to Curtis at the City and he wanted me to forward it to you to review as well. It is for Parcel 1-3 which is the FedEx property on the frontage road north of PDN and west of Jefferson. Please let me know if you have any comments.

Thanks,
Tyler

Tyler J. Ashton, PE
Civil Engineer

Wilson & Company, Inc., Engineers & Architects
4900 Lang Ave. N.E.
Albuquerque, NM 87109
(505) 348-4121 direct | (505) 205-4859 mobile | (505) 348-4072 fax
www.wilsonco.com / tyler.ashton@wilsonco.com

Please consider the environment before printing this email.

From: Lopez, James E.
Sent: Tuesday, April 29, 2014 10:00 AM
To: Ashton, Tyler J.
Subject: Parcel 1-3 G&D

Here you go.

James E. Lopez, EI
Civil Engineer Intern

Wilson & Company, Inc., Engineers & Architects

4900 Lang Ave. NE

Albuquerque, New Mexico 87109

505-348-4065 direct 505-348-4055 fax

www.wilsonco.com

Confidential/Proprietary Note:

The information in this email is confidential and may be legally privileged. Access to this email by anyone other than the intended addressee is unauthorized. If you are not the intended recipient of this message, any review, disclosure, copying, distribution, retention, or any action taken or omitted to be taken in reliance on it is prohibited and may be unlawful. If you are not the intended recipient, please reply to or forward a copy of this message to the sender and delete the message, any attachments, and any copies thereof from your system. Thank you.

Cherne, Curtis

From: Friedt, Nicole, NMDOT <Nicole.Friedt@state.nm.us>
Sent: Thursday, May 01, 2014 9:35 AM
To: Trujillo, Timothy R, NMDOT
Cc: Cherne, Curtis
Subject: RE: PDN Parcel 1-3 G&D

Hey Tim,

Here are my comments:

1. BHI assumed that half the building and the west part of the site flowed away to the west (based on existing topo) and not towards the inlet identified on Wilson's (WC) plan as Structure -(02). BHI's Q100=18.05cfs into the PDN Lateral 1-7. WC's is 31.2cfs.
2. To accommodate offsite flow, BHI placed an MDI behind the curb. The required head needed to push the BHI Q into the grate was 8". Right now, WC's plan basically shows a v ditch along that edge going along the back of curb. Inlet capacity calculations need to be provided to show that there will not be flow bypassing and flowing along the back side of that curb line. According to the latest roadway plans, there is less than 6" from their RIM of inlet to the back of the sidewalk.
3. Current PDN modeling shows the hydraulic gradeline of the system that FedEx would tie their 18" HDPE line into as 5096.59. This HGL will be higher with the higher flow. I would suggest that they provide an HGL analysis that shows their proposed drainage line will work taking into account the downstream hydraulics – again because we don't want flow along the back of the curb.
4. How is that retaining wall going to tie into the back of curb/ROW?

Nicole

Nicole Friedt, P.E., CFM
Drainage Engineer
P: 505.827.5329 | C: 505.670.1540

From: Trujillo, Timothy R, NMDOT
Sent: Wednesday, April 30, 2014 8:11 AM
To: Friedt, Nicole, NMDOT
Subject: FW: PDN Parcel 1-3 G&D

Nicole,

Would you mind taking a look at this G&D plan to see if there are any conflicts with the PDN project?

Thanks,

Tim

From: Ashton, Tyler J. [<mailto:Tyler.Ashton@wilsonco.com>]
Sent: Wednesday, April 30, 2014 7:10 AM
To: Trujillo, Timothy R, NMDOT
Cc: 'Curtis Cherne (ccherne@cabq.gov)'
Subject: PDN Parcel 1-3 G&D

Tim,

CITY OF ALBUQUERQUE



May 1, 2014

Tyler Ashton, P.E.
Wilson & Company
4900 Lang Ave NE
Albuquerque, NM 87109

**Re: PDN Parcel 1-3 Parking Lot Reconstruction (Fed-Ex Bldg),
4511 Paseo Del Norte, Traffic Circulation Layout
Engineer's Stamp dated 4-28-14 (C17D022)**

Dear Mr. Ashton,

The above referenced plan is not approved through the TCL process. Due to the existing zoning, this project is site plan controlled and will need to be submitted through DRB with an Amended Site Plan for approval.

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

Based upon the information provided in your submittal received 4-28-14, the above referenced project must provide more information on the Amended Site Plan for submission to the DRB. Below is a list of suggested information but not a complete list. Please refer to requirements for Amended Site Plan for further details.

1. Per the North I-25 Sector Plan, all Site Development Plans must be approved by the Development Review Board (DRB) unless otherwise indicated below. Refer to the DRB for public hearing and advertisement requirements.
2. According to AGIS, this property is Zoned SU-2 for M-1 or C uses and is 7.151 acres; therefore it may be required to comply with the Shopping Center Regulations, per the North I-25 SDP.
3. Paseo Del Norte frontage is under the jurisdiction of the NMDOT. Therefore the proposed new drivepad on the frontage requires approval from the NMDOT.
4. Site Plan must include, label and dimension all existing structures, site infrastructure, property lines, easements, public right-of-way, frontage streets, existing train tracks, and adjacent lots.
5. Site Plan must include, label and dimension all proposed changes to the current site, including infrastructure, property lines, etc.
6. Is landscaping required by zoning? If so, please provide landscaping plan with next submittal. Per the *Development Process Manual*, Chapter 23, Section 7, Part B.6, curbing should be used to separate landscaping from

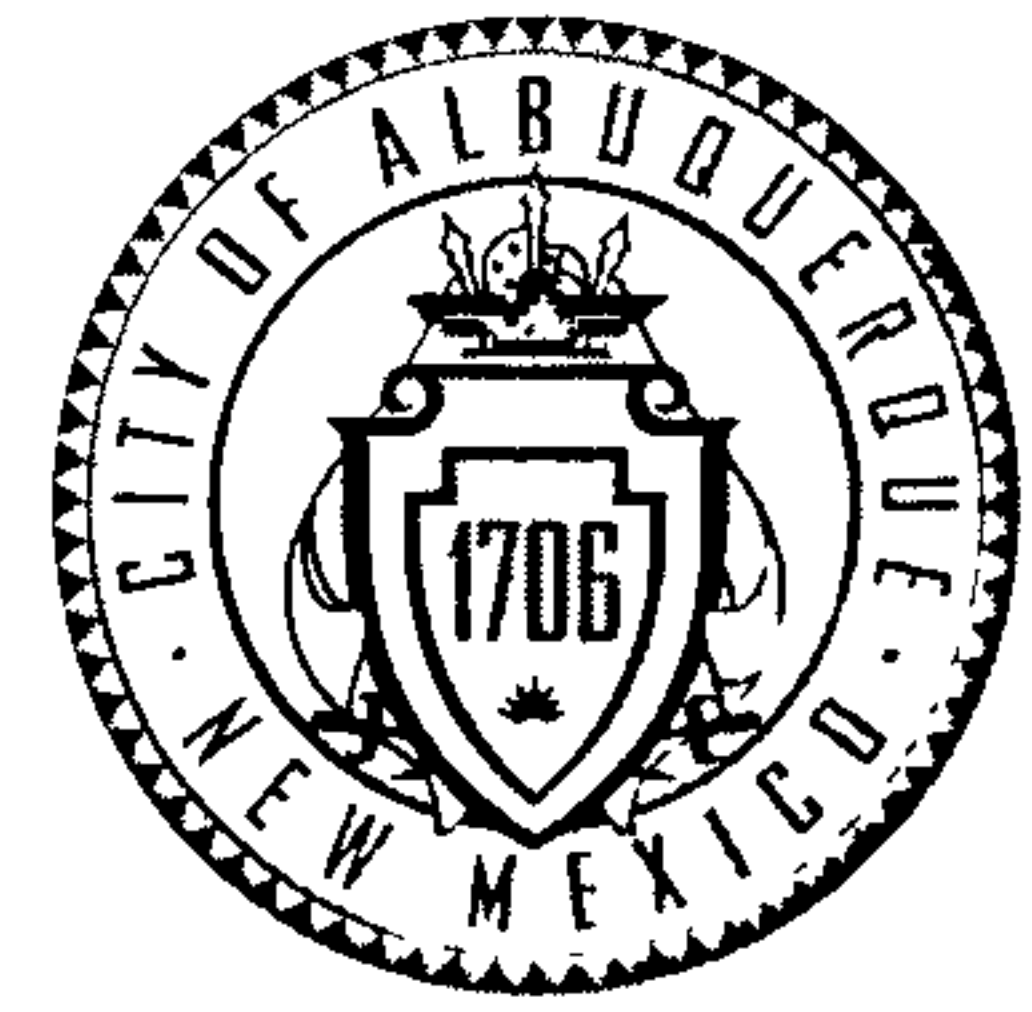
ChB

parking areas and pedestrian ways as well as providing a physical perimeter for harvesting water. This must be clearly shown on the TCL.

7. Please add the following note: "Landscaping and signing will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area."
8. Please show a vicinity map.
9. List the number of parking spaces required by the zoning code as well as the proposed number of parking spaces.
10. The handicapped spaces must be a minimum of 8.5 feet in width.
11. The handicapped spaces must include an 8-foot wide van access aisle; all other aisles should be 5 feet in width.
12. The development of this site must be in compliance with current DPM and ADA standards and regulations.
13. Per the DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details.
14. Per the DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the HC parking stall access aisles to the building entrances.
15. If a public sidewalk is required along the frontage, please place the proposed sidewalk at the property line, not the back of curb.
16. List the width of the existing drivepad
17. Please show the location of the nearest driveway on the adjacent lot.
18. List the width of the proposed turnouts.
19. Please refer to all applicable city standards.
20. Please ensure all ramps are ADA compliant.
21. Show a detail of the wheelchair ramps located at the proposed driveway, or refer to the appropriate city standard.
22. Per Chapter 23, Section 6, Part B.8.b of the City of Albuquerque *Development Process Manual*, Drive pad – Widths on Local Streets: 25 ft minimum for two-way access – 25' to 35' permitted, and 12'-20' for one-way drives (with appropriate signs and parking layout).
23. One-way vehicular paths require pavement directional signage and a posted "Do Not Enter" sign at the point of egress.
24. Proposed 60 degree angled parking at rear of building proposes a 12 ft drive lane. Per the DPM, a 15.5 ft drive lane is required with 60 degree, one-way movement. However, the proposed widths of the spaces at +13 ft may allow a reduction in drive lane width. Deviation subject to DRB approval.
25. Please indicate that train tracks are proposed to be removed at rear of building to accommodate proposed parking.



CITY OF ALBUQUERQUE



26. Keynotes referencing detail sheets must also be submitted for review.
27. As you mentioned to me on the phone, please provide any deviations from standard design requirements due to the circumstances regarding ROW dedication that has impacted the site and created the need for an amended site layout.

If you have any questions, you can contact me at 924-3924.

Sincerely,

A handwritten signature in black ink, appearing to read 'CKB', is written over the word 'Sincerely,'.

Cynthia K Beck
Associate Engineer, Planning Dept.
Development Review Services

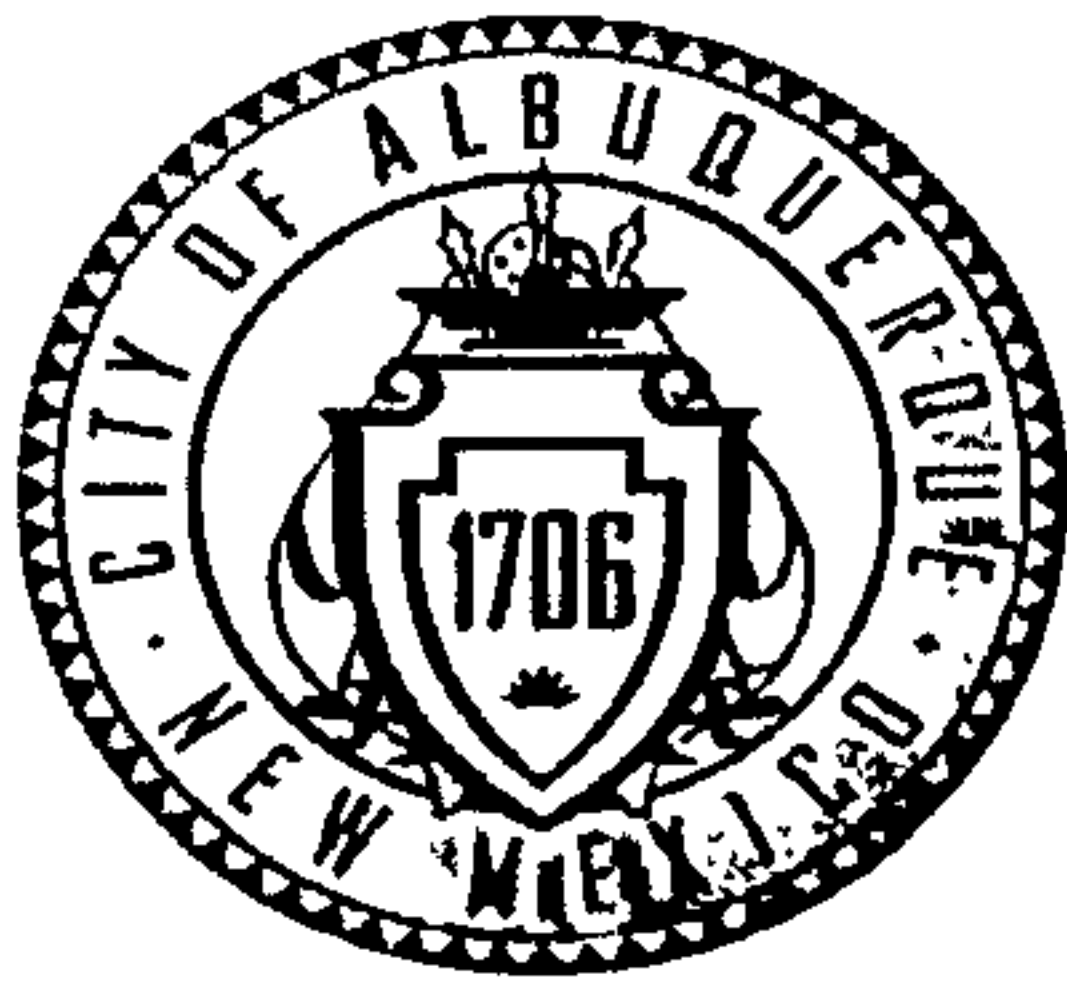
C: File

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

C-11
North 1-25 SDP
S4-2
M-1 on S4-2C
Acres 7.151

Project Title: PDN Parcel 1-3 Building Permit #: _____ City Drainage #: C17D022
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: Port of land in T11 N2E R3E SEC 14 of SE 1/4 SW 1/4
City Address: 4511 Paseo Del Norte 87113

Engineering Firm: Wilson & Company Contact: Tyler Ashton
Address: 4900 Lang Ave NE 87109
Phone#: 505-348-4121 Fax#: 505-348-4055 E-mail: tjashton@wilsonco.com

Owner: Spectrum Paseo LLC Contact: _____
Address: 114 West Bay Newport Beach, CA 92661
Phone#: _____ Fax#: _____ E-mail: _____

Architect: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

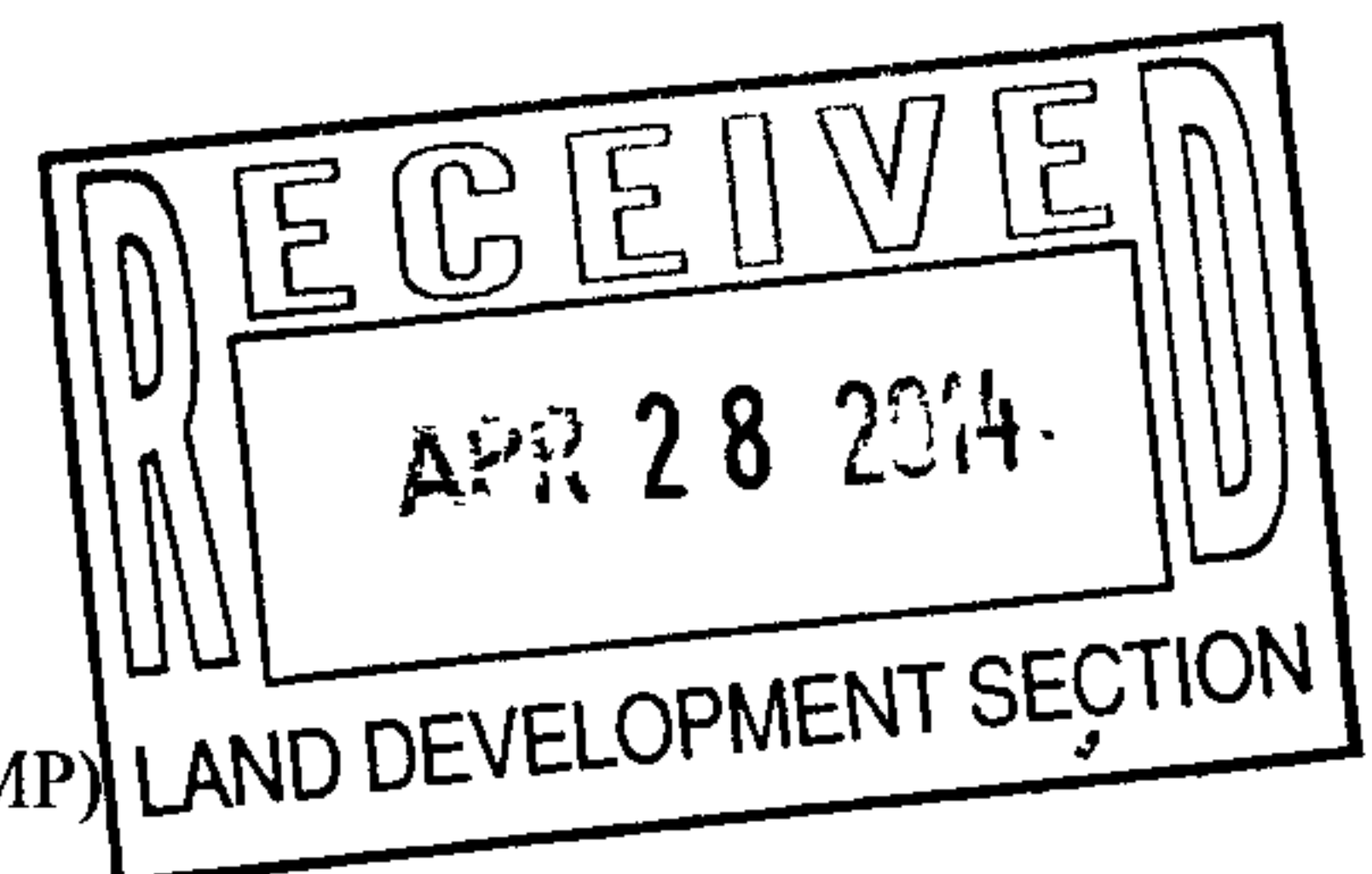
Contractor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☒ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ ENGINEER'S CERT (ESC)
☐ SO-19
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☒ GRADING PERMIT APPROVAL
☒ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ GRADING CERTIFICATION
☐ SO-19 APPROVAL
☐ ESC PERMIT APPROVAL
☐ ESC CERT. ACCEPTANCE
☐ OTHER (SPECIFY) _____



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes ☒ No _____ Copy Provided

DATE SUBMITTED: _____ By: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan**: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans**: Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report**: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan**: Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

> I want to... ▾

✂ All Available Layers ▾



100ft
25m

CITY OF ALBUQUERQUE



July 25, 2011

Richard P. Bennett, R.A.
Rick Bennett Architects
1104 Park Avenue SW
Albuquerque, NM 87102

Re: Fed-Ex, 4525 Paseo Del Norte, Traffic Circulation Layout
Architect's Stamp dated 06-20-11 (C17-D022)

Dear Mr. Bennett,

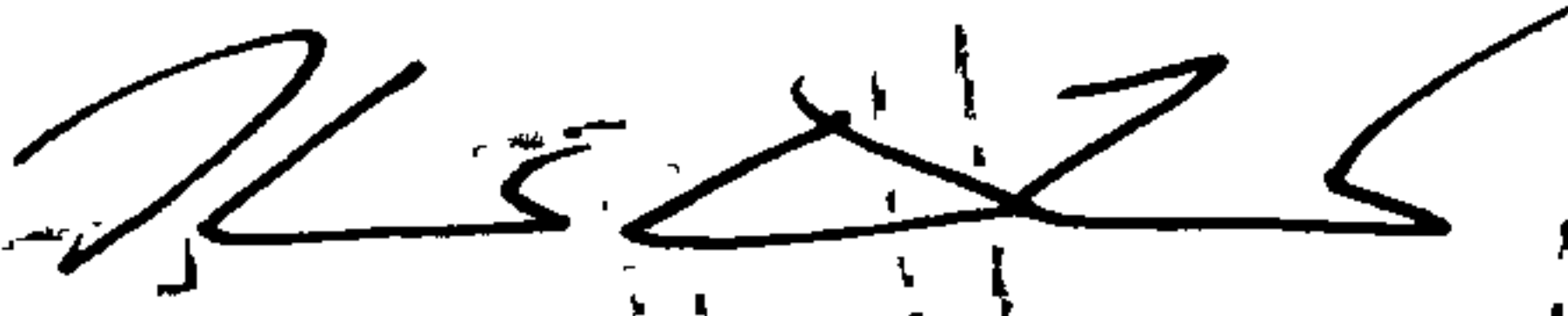
The TCL submittal received 07-12-11 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "Substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,


Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 12/2005)

PROJECT TITLE: FED EX ZONE MAP: C-17/D022
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: _____
CITY ADDRESS: 4525 PASEO DEL NORTE

ENGINEERING FIRM: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

OWNER: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: RBA, INC CONTACT: 242-1859
ADDRESS: 1104 PARK PHONE: RICK PENNETT
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87102

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) _____

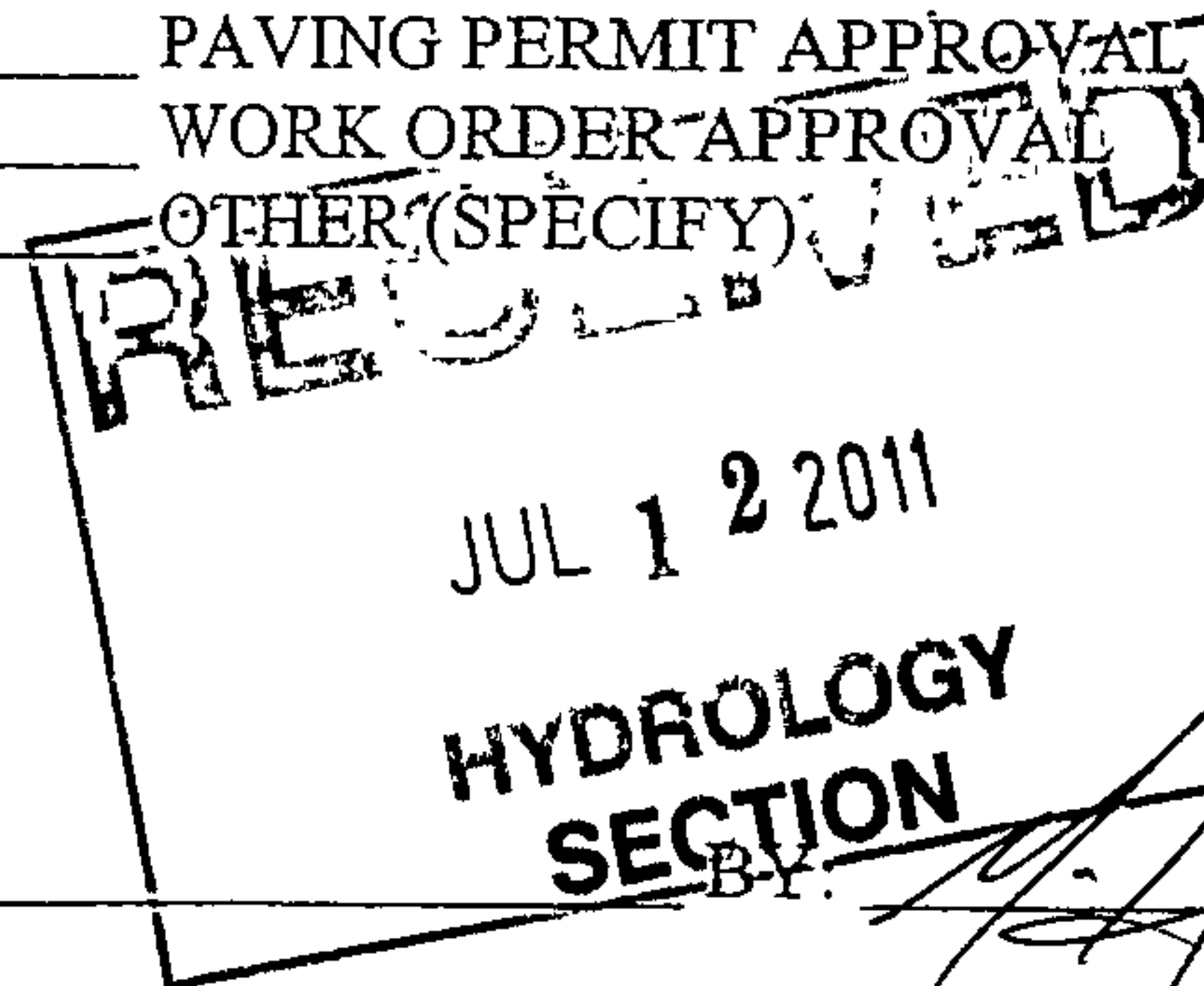
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☒ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☐ NO
☐ COPY PROVIDED

DATE SUBMITTED: 7/12/2011



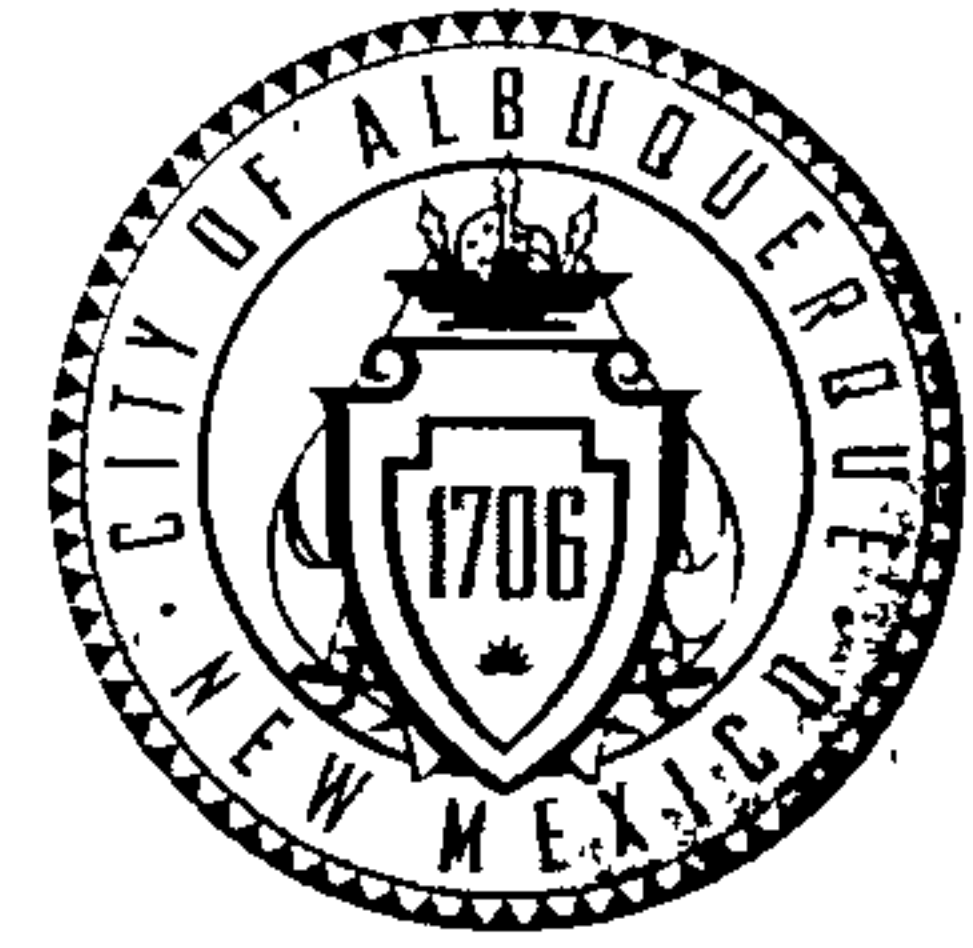
Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

Approvable.

—++

CITY OF ALBUQUERQUE



October 28, 2011

Richard Bennett, R.A.
Rick Bennett Architects
1104 Park Ave. SW
Albuquerque, NM 87102

Re: Fed-Ex Home Delivery, 4525 Paseo del Norte
Permanent Certificate of Occupancy – Transportation Development
Architect's Stamp dated 06-20-10 (C17-D022)
Certification dated 10-27-11

Dear Mr. Bennett,

Based upon the information provided in your submittal received 10-28-11, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: CO Clerk
File

C17-D022

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

PROJECT TITLE: FED-EX HOME DELIVERY - TENANT IMPROVEMENT ZONE MAP: C-17-2
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: UNPLATTED 101706421601930110
 CITY ADDRESS: ~~4525~~ PASEO DEL NORTE 87113

ENGINEERING FIRM: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

OWNER: FED-EX FACILITIES CONTACT: J
 ADDRESS: 1000 FED-EX DR. PHONE: 412-269-1000
 CITY, STATE: MOON TOWNSHIP, PA ZIP CODE: 15108

ARCHITECT: RICK BENNETT ARCHITECTS CONTACT: XAVIER WHELAN
 ADDRESS: 1104 PARK AVE SW PHONE: 505-242-1859
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87102

SURVEYOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

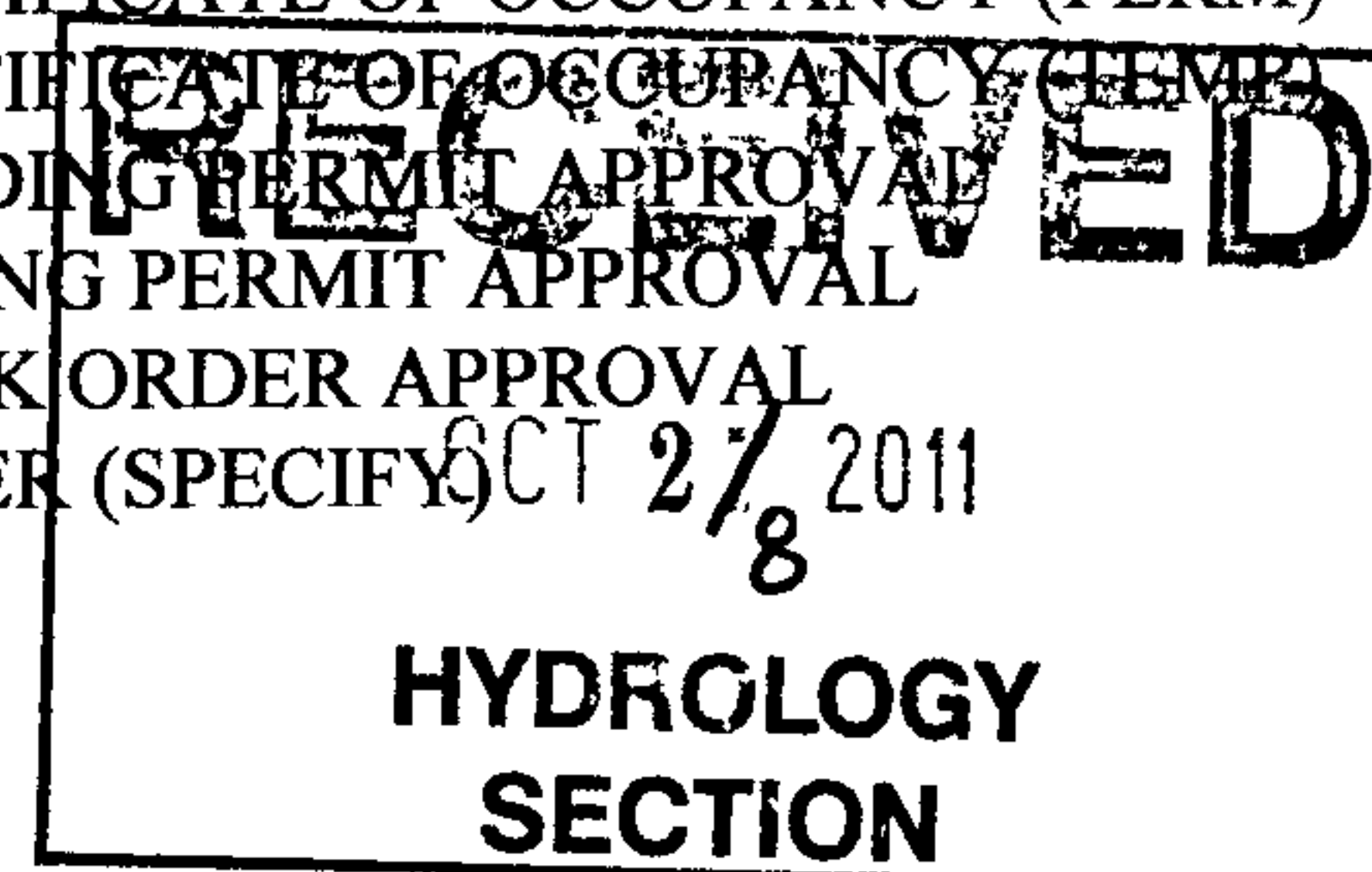
- _____ DRAINAGE REPORT
 _____ DRAINAGE PLAN 1st SUBMITTAL
 _____ DRAINAGE PLAN RESUBMITTAL
 _____ CONCEPTUAL G & D PLAN
 _____ GRADING PLAN
 _____ EROSION CONTROL PLAN
 _____ ENGINEER'S CERT (HYDROLOGY)
 _____ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT
 _____ ENGINEER'S CERT (TCL)
 _____ ENGINEER'S CERT (DRB SITE PLAN)
 _____ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- _____ SIA/FINANCIAL GUARANTEE RELEASE
 _____ PRELIMINARY PLAT APPROVAL
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 _____ S. DEV. FOR BLDG. PERMIT APPROVAL
 _____ SECTOR PLAN APPROVAL
 _____ FINAL PLAT APPROVAL
 _____ FOUNDATION PERMIT APPROVAL
 _____ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
 _____ CERTIFICATE OF OCCUPANCY (TEMP)
 _____ GRADING PERMIT APPROVAL
 _____ PAVING PERMIT APPROVAL
 _____ WORK ORDER APPROVAL
 _____ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- _____ YES
☒ NO
 _____ COPY PROVIDED



DATE SUBMITTED: OCTOBER 27, 2011 BY: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

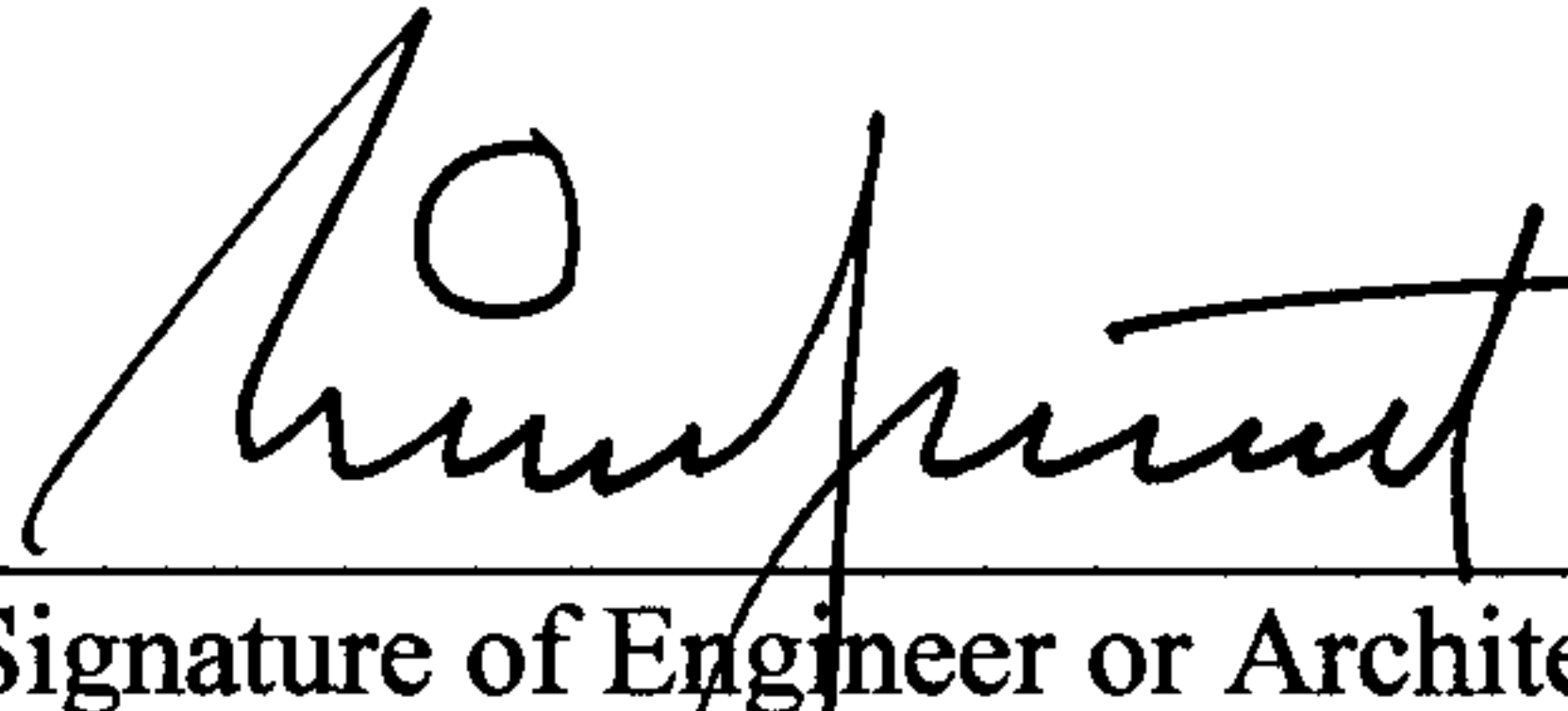
1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

TRAFFIC CERTIFICATION

I, RICK BENNETT, NMPE OR NMRA 1240, OF THE FIRM RBA ARCHITECTS, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED JUNE 20, 2011. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY OWNER OF THE FIRM FED-EX. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 10-24-2011 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

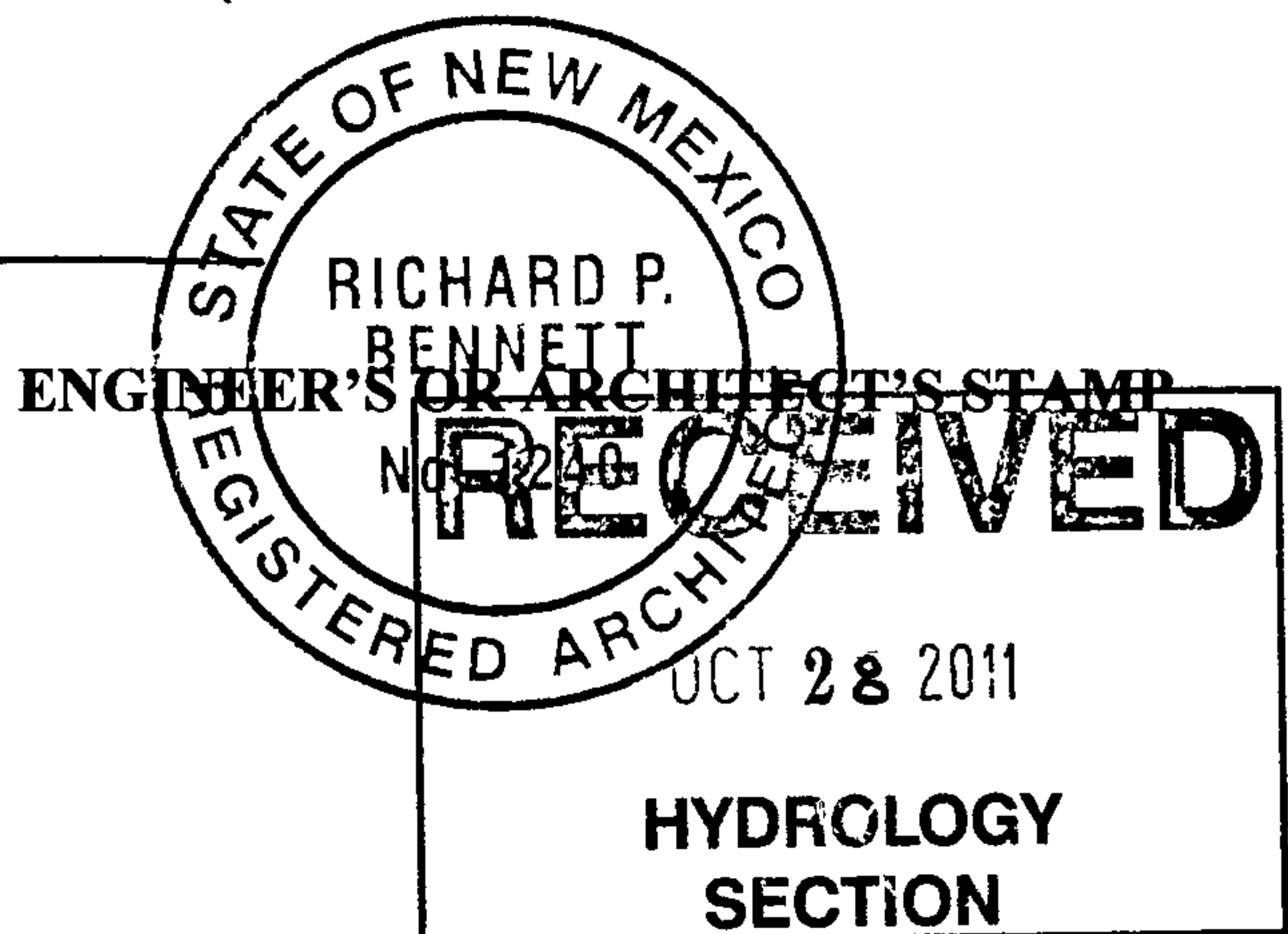
<LIST EXCEPTIONS, IF ANY>

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



Signature of Engineer or Architect

10-27-2011
Date



THIS CERTIFICATION MUST BE SUBMITTED ON COMPANY LETTERHEAD, WITH AN ORIGINAL STAMP AND SIGNATURE