

CONCRETE SWALE SECTION
N.T.S.

DRAINAGE CERTIFICATION

I, Amy L. Driscoll, NMPE 15334, of the firm Mark Goodwin & Associates, hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 4/5/01. The record information edited onto the original design document has been obtained by Larry Medrano, NMPS 11993, of the firm Precision Surveys, Inc. I further certify that I have personally visited the project site on 2/20/2003 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy.

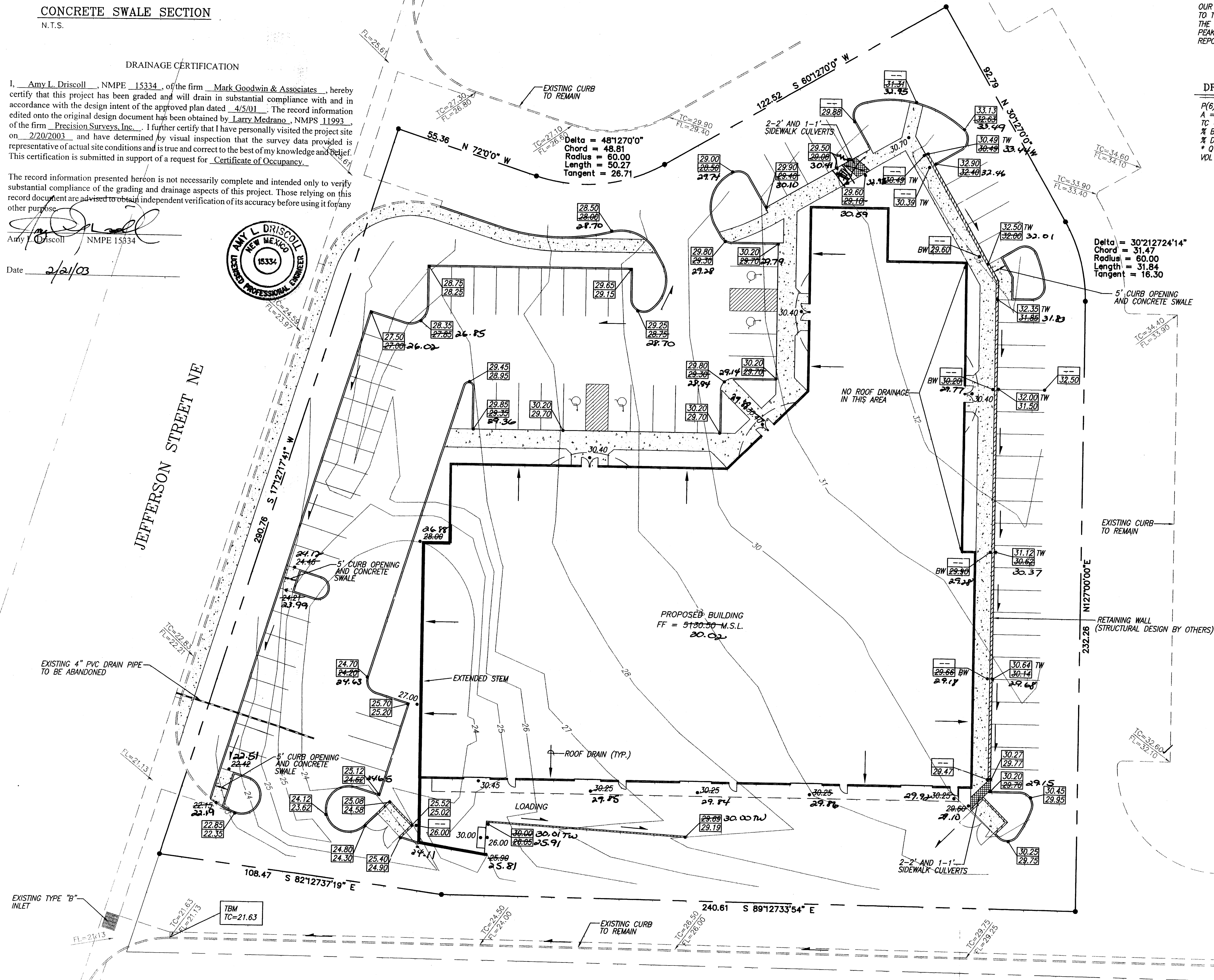
The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Amy L. Driscoll
Amy L. Driscoll NMPE 15334

Date 2/2/03



JEFFERSON STREET NE



HYDROLOGY NOTES

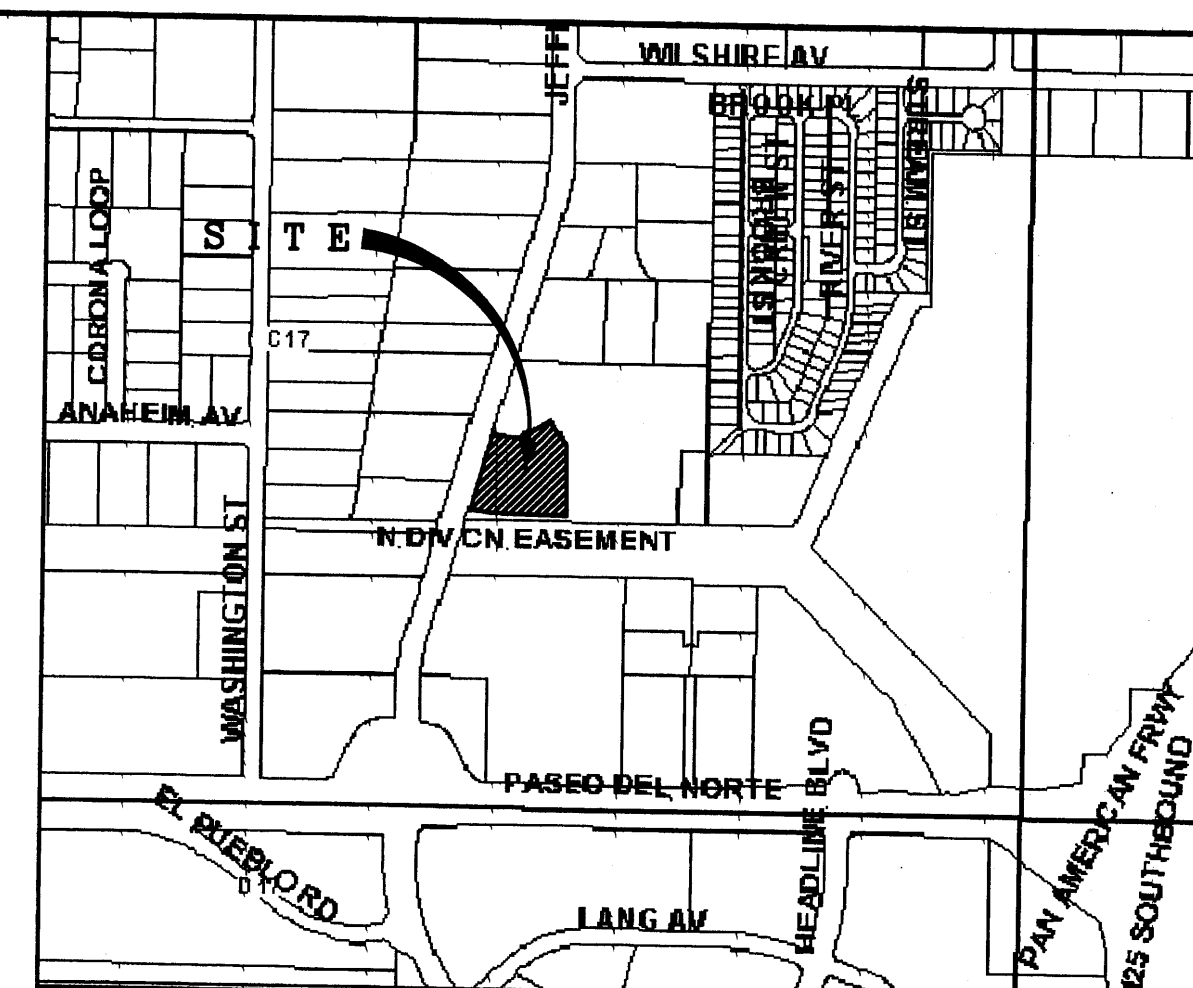
THIS SITE IS NOT IN THE 100 YEAR FLOOD ZONE.

THIS SITE IS WITHIN THE MASTER GRADING & DRAINAGE PLAN, "LOOP INDUSTRIAL DISTRICT UNIT V", BY ISAACSON AND ARFMAN. THIS SITE IS ALSO WITHIN BASIN B OF THAT PLAN. BASIN B IS 4.92 AC. WITH 90% TYPE D, 5% TYPE C, AND 5% TYPE B. THE PEAK FLOW OF 22.1 CFS IS ALLOWED TO DISCHARGE FREELY TO JEFFERSON BY WAY OF THE SOUTHERN ENTRANCE.

OUR CALCULATIONS ARE FOR THE SAME BASIN BECAUSE IT DRAINS TO THIS SITE. HOWEVER, TYPE D IS 88% INSTEAD OF 90%, AND THE PEAK FLOW IS 21.4 CFS INSTEAD OF 22.1 FS. BECAUSE THE PEAK FLOW IS LESS THAN THE APPROVED ISAACSON AND ARFMAN REPORT, FREE DISCHARGE IN JEFFERSON IS STILL ACCEPTABLE.

DRAINAGE CALCULATIONS

P(6) = 2.30 IN.
A = 4.92 AC.
TC = 10 MIN.
K_s = 12
K_d = 98
Q_{max} = 21.4 cfs
VOL_m = 0.783 AF



VICINITY MAP ZONE MAP: C-17-Z

TBM (TEMPORARY BENCHMARK)

TOP OF CURB ON JEFFERSON STREET ON SOUTH SIDE OF PROPERTY TC=5121.63

ACS BENCHMARK

THE STATION "NAA-9" IS LOCATED 6.8 MILES NORTHEAST OF DOWNTOWN ALBUQUERQUE, AT THE INTERSECTION OF PASEO DEL NORTE AVENUE AND THE NORTH DIVERSION.

TO REACH THE STATION "NAA-9" FROM THE INTERSECTION OF WYOMING BLVD. AND PASEO DEL NORTE AVENUE, GO WEST ON PASEO DEL NORTE AVENUE 2.5 MILES TO THE CROSSING OF THE DIVERSION CHANNEL. THE STATION IS LOCATED IN THE SOUTHEAST QUADRANT OF THE CROSSING.

THE STATION MARK IS A STANDARD BRASS TABLET (AMAFCA RIGHT-OF-WAYMARKER), STAMPED, "NAA-9", SET IN CONCRETE, PROJECTING 0.3 FEET.

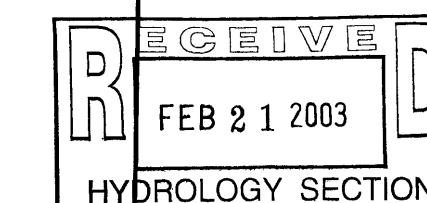
X=393134.18 Y=1518711.30 ELEVATION=5069.270'

LEGAL DESCRIPTION

TRACT 14-A-1-B LOOP INDUSTRIAL DISTRICT UNIT V.

LEGEND

- PROPERTY LINE
- PROPOSED CURB
- EXISTING CURB
- 28 EXISTING CONTOUR
- PROPOSED RETAINING WALL
- DIRECTION OF FLOW
- PROPOSED TOP OF CURB SPOT ELEVATION
- PROPOSED FLOWLINE SPOT ELEVATION
- PROPOSED TOP OF WALL SPOT ELEVATION
- PROPOSED FLOWLINE SPOT ELEVATION
- PROPOSED BOTTOM OF WALL SPOT ELEVATION
- PROPOSED FLOWLINE SPOT ELEVATION

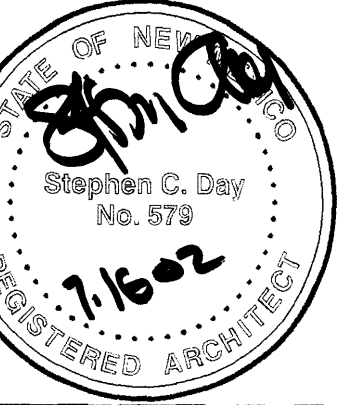


JEFFERSON COMMERCIAL GRADING AND DRAINAGE PLAN

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: DMG Drawn: WLV Checked: DMG Sheet 1 of 1
Scale: 1" = 20' Date: 04/01 Job: A00013

A0013.JFC\A013GD20.DWG\04-05-01\WLV DER



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COMMERCIAL DEVELOPMENT
SANTA FE, NEW MEXICO
ALBUQUERQUE, NEW MEXICO

SHEET NUMBER
AC1.2

EXISTING FIRE HYDRANT

EXISTING DRIVEWAY

EXISTING CONCRETE MEDIAN

EXISTING 6" SIDEWALK

EXISTING DISAPABLED ACCESS RAMP

EXISTING ALLE MARKERS AND DIRECTIONAL ARROWS

COMMON ACCESS EASEMENT

LANDSCAPED AREA

PROPERTY LINE

MATCH EXISTING CURB ELEVATION

EXISTING DISAPABLED ACCESS RAMP

5" CONCRETE SIDEWALK W/ W 1400 14" 608 WHF

4" PAINTED STRIPING - TYPICAL

SIGN AND SIGN FOUNDATION BY OTHERS

NEW DISAPABLED RAMP

EXISTING FIRE HYDRANT

EXISTING 18" PUBLIC UTILITY EASEMENT

4" PAINTED STRIPING - TYPICAL

ACCESSIBLE PARKING ACCESSIBLE W/ PAINTED DIAGONAL STRIPING ACCESSIBLE SYMBOL TYPICAL

MAXIMUM 2% SLOPE AT ACCESSIBLE PARKING

ACCESSIBLE ROUTE

WARE PAYING AT ACCESSIBLE SPACE - TYPICAL

3" WIDE REINFORCED CONCRETE SIDEWALK

EXISTING DRIVEWAY

LANDSCAPED AREA

ASPHALT PAVING - SEE GEOTECHNICAL REPORT

DRAINAGE CHANNEL - SEE CIVIL

EXISTING 6" SIDEWALK

EXISTING CONCRETE MEDIAN

EXISTING DISAPABLED ACCESS RAMP

SIGN AND SIGN FOUNDATION BY OTHERS

LANDSCAPED AREA

DRAINAGE CHANNEL - SEE CIVIL

GUARD RAIL - SEE VAC2

ALLE MARKERS AND DIRECTIONAL ARROWS PER CITY OF ALBUQUERQUE DESIGN PROCESS MANUAL

MATCH EXISTING CURB ELEVATION

SEMI TRUCK LOADING DOCK CONCRETE WALL

NEW 6" CONCRETE CURB

PROPERTY LINE

EXISTING DRIVEWAY

CONSTRUCT NEW DRIVEWAY PER CITY OF ALBUQUERQUE STANDARD DETAIL NO 2426

REMOVE EXISTING CURB, GUTTER AND SIDEWALK

EXISTING FIRE HYDRANT

EXISTING 20" PUBLIC WATERLINE EASEMENT

COMMON ACCESS EASEMENT

1/ STREET ADDRESS :

2/ TRACT 14-A-1-B, LOOP INDUSTRIAL DISTRICT, UNIT V

3/ THE AS-BUILT SUBMITTAL BY THE DESIGNER OF RECORD AS REQUIRED BY TRANSPORTATION DEVELOPMENT, MUST ALSO INCLUDE A LETTER OF CERTIFICATION THAT THE SITE HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE TOL BEFORE A CERTIFICATE OF OCCUPANCY

4/ CONTRACTOR SHOULD BE AWARE THAT ANY AGREEMENT WITH THE OWNER, STATING THAT ANY PORTION OF THE PERMIT CONSTRUCTION COMPLETED BY OTHER THAN THAT CONTRACTOR WILL PROBABLY CAUSE DELAY, THEREFORE, CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL ALL WORK IS FINISHED

5/ THIS SITE PLAN HAS BEEN APPROVED AND ACCEPTED BY ALL PARTIES. ANY FIELD CHANGES NOT ACCEPTED BY THE ENGINEER AFTER APPROVAL OF BUILDING PERMIT WILL RESULT IN A UNTIMELY DELAY OF CERTIFICATION FOR FINAL OCCUPANCY IN ORDER TO CORRECT UNAPPROVED WORK AND INCREASE IN CONSTRUCTION COST TO RESPONSIBLE PARTIES

6/ INSPECTIONS OF CONSTRUCTION FOR C.O. FOR TRANSPORTATION WILL BE DONE FROM THIS SHEET

7/ WORK BEING DONE ON CITY PROPERTY AS PART OF THIS DEVELOPMENT MUST BE COMPLETE BEFORE ISSUANCE OF C.O. OR FINANCIAL GUARANTEE MUST BE ON FILE WITH DESIGN REVIEW OFFICE

8/ EXISTING STREET SIDEWALK AND 6"6" AFFECTING SAFE VEHICULAR OR PEDESTRIAN TRAVEL WILL BE REMOVED AND REPLACED

PROPERTY LINE

EXISTING PARKING

EXISTING 6" CONCRETE

COMMON ACCESS EASEMENT

5" CONCRETE SIDEWALK W/ W 1400 14" 608 WHF

STEEL PLATE OVER CHANNEL - SEE CIVIL DRAWINGS

LANDSCAPED AREA

DRAINAGE CHANNEL - SEE CIVIL

RETAINING WALL - SEE CIVIL

4" PAINTED STRIPING - TYPICAL

EXISTING FIRE HYDRANT

EXISTING 6" CONCRETE

DRAINAGE CHANNEL - SEE CIVIL

LANDSCAPED AREA

ACCESSIBLE ROUTE

ACCESSIBLE PARKING

ACCESSIBLE W/ PAINTED DIAGONAL STRIPING

ACCESSIBLE SYMBOL

6" PRECAST CONCRETE PARKING BARRIER AT DISAPABLED PARKING - TYP

MAXIMUM 2% SLOPE AT ACCESSIBLE PARKING

OFFICE BUILDING

4" PAINTED STRIPING - TYPICAL

COMMON ACCESS EASEMENT

ASPHALT PAVING - SEE GEOTECHNICAL REPORT

EXISTING PARKING

EXISTING 6" CONCRETE CURB

EXISTING BUILDING

WAREHOUSE BUILDING

RETAINING WALL - SEE CIVIL

ASPHALT PAVING - SEE GEOTECHNICAL REPORT

PROPERTY LINE

OVERHEAD DOORS FOR FORKLIFT ACCESS

OVERHEAD DOORS FOR GENERAL ACCESS

STEEL PLATE OVER CHANNEL - SEE CIVIL DRAWINGS

LANDSCAPED AREA

DRAINAGE CHANNEL - SEE CIVIL

REUSE ENCLOSURE

EXISTING FIRE HYDRANT

EXISTING 6" CONCRETE CURB

LOADING DOCK WAREHOUSE MODEL W LOAD LEVELER

EXISTING 20" PUBLIC WATERLINE EASEMENT

TRAFFIC CIRCULATION LAYOUT APPROVED
Signed: [Signature] 7/16/02
Date

SITE PLAN

SCALE 1"=20'-0"

NOTES

1/ SEE GRADING PLAN FOR ADDITIONAL INFORMATION

2/ SEE SEPARATE PUMP DRAWINGS AND SEPARATE CANOPY DRAWINGS FOR ADDITIONAL INFORMATION

3/ SEE SHEETS M1 AND M2 FOR ADDITIONAL INFORMATION

4/ SEE GEOTECHNICAL ENGINEERING SERVICES REPORT, COMMERCIAL DEVELOPMENT, SANTA FE, NEW MEXICO, JOB NO 1-1076, PREPARED BY GEO-TEST, INC. FOR ADDITIONAL INFORMATION

5/ SEE COVER SHEET FOR WORK TO BE INCLUDED IN THIS CONTRACT AND FOR WORK TO BE PERFORMED BY OTHERS