



# *City of Albuquerque*

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

June 6, 2001

Mark Goodwin, P.E.  
Mark Goodwin & Assoc.  
P.O. Box 90606  
Albuquerque, New Mexico 87199

RE: BALLOON FIESTA HEADQUARTERS (C-17/D111)  
(Washington & Alameda NE)  
ENGINEERS CERTIFICATION FOR CERTIFICATE OF OCCUPANCY  
ENGINEERS STAMP DATED 2/28/2001  
ENGINEERS CERTIFICATION DATED 6/5/2001

Dear Mr. Goodwin:

Based upon the information provided in your Engineers Certification submittal dated 6/6/2001, the above referenced site is approved for Permanent Certificate of Occupancy.

If I can be of further assistance, please contact me at 924-3981.

Sincerely,

*Teresa A. Martin*  
Teresa A. Martin  
Hydrology Plan Checker  
Public Works Department  
*BTB*

C: ~~Vickie~~ Chavez, CAO  
drainage file  
approval file

# DRAINAGE INFORMATION SHEET

PROJECT TITLE: Balloon Fiesta Headquarters ZONE ATLAS#: C17-D111  
DRB#: \_\_\_\_\_ EPC# \_\_\_\_\_ WORKORDER#: ~~C-19/D-11~~  
LEGAL DESCRIPTION: Lot 26, Richfield Park Subdivision  
CITY ADDRESS: 8805 Washington Street

ENGINEERING FIRM:	Mark Goodwin & Associates, PA	CONTACT:	Amy L. Driscoll
ADDRESS:	P.O. Box 90606, Albuquerque, NM 87199	PHONE:	828-2200
OWNER:	Albuquerque International Balloon Fiesta Inc.	CONTACT:	Paul Smith
ADDRESS:	8309 Washington Place NE 87113	PHONE:	821-1000
ARCHITECT:	Design Collaborative Southwest	CONTACT:	Kim Hooker
ADDRESS:	320 Central SW ABQ 87103	PHONE:	843-9639
SURVEYOR:	Precision Surveys	CONTACT:	Larry Medrano
ADDRESS:	8414-D Jefferson NE 87113	PHONE:	856-5700
CONTRACTOR:		CONTACT:	
ADDRESS:		PHONE:	

## TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL  
☒ ENGINEER'S CERTIFICATION  
☐ OTHER  
☐ EASEMENT VACATION

## CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. PLAN FOR BLDG PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☒ CERTIFICATION OF OCCUPANCY APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ S.A.D. DRAINAGE REPORT  
☐ DRAINAGE REQUIREMENTS  
☐ OTHER  
☐ RELEASE OF FINANCIAL GUARANTY  
☐ TRAFFIC CIRCULATION LAYOUT

## PRE-DESIGN MEETING:

☐ YES  
☒ NO  
☐ COPY PROVIDED

RECEIVED  
JUN 06 2001  
HYDROLOGY SECTION

DATE SUBMITTED: 6/6/01

BY: Amy L. Driscoll

Amy L. Driscoll



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

March 13, 2001

Mark Goodwin, PE  
Mark Goodwin & Associates  
P.O. 90606  
Albuquerque, NM 87199

**Re: Balloon Fiesta Headquarters Grading and Drainage Plan**

**Engineer's Stamp dated 2-28-01 (C17/D111)**

*2-28-01 BLB*

Dear Mr. Goodwin,

Based upon the information provided in your submittal dated 2-28-01, the above referenced site is approved for Site Plan for Building Permit and Building Permit. ✓

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Also, prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3986.

Sincerely,

*Bradley L. Bingham*

Bradley L. Bingham, PE  
Sr. Engineer, Hydrology

C: file

L9/D7

## LETTER OF TRANSMITTAL

Albuquerque  
Metropolitan  
Arroyo  
Flood  
Control  
Authority



2600 Prospect NE  
Albuquerque, NM 87107  
Phone (505) 884-2215  
Fax (505) 884-0214

DATE: 2-27-01

TO: DMG &amp; ASSOC.

ATTENTION: Diane Hoelzer, PE

RE: City Drainage Easement  
Sunrise Ranch Unit 2

WE ARE SENDING YOU ☒ Attached ☐ Under separate cover via ☐ the following items:

COPIES	DATE	NO.	DESCRIPTION
1			Original, Executed and Notarized Easement

THESE ARE TRANSMITTED AS CHECKED BELOW:

☐ For Approval ☐ For your use ☐ As requested ☐ For review and comment

☒ Other For Delivery to the City of Albuquerque, Attn: Fred Aguirre, City Engineer

REMARKS As we discussed, this easement needs to be provided to Fred Aguirre for acceptance by the City. After Fred signs the Easement as accepted, the City will record it. AMAFCA requests a copy of the recorded easement when available.

As discussed, this easement is being forwarded at this time with the understanding that DMG & ASSOC. will ensure that all AMAFCA property restoration, including resetting of Brass Cap Survey Monuments, will be completed to AMAFCA satisfaction prior to completion of the project. Please call Jerry Lovato @ 884-2215 for inspection.

COPY TO Fred Aguirre @ 924-3264

Jerry Lovato

SIGNED: Thanks - Mark Eckert

Original Received: \_\_\_\_\_



# PERMANENT EASEMENT

This AGREEMENT is made and entered into this 14<sup>th</sup> day of December, 2000, by and between the ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY ("AMAFCA"), a political subdivision of the State of New Mexico and the CITY OF ALBUQUERQUE ("CITY"), a New Mexico Municipal Corporation whose address is P.O. Box 1293, Albuquerque, New Mexico 87103.

WITNESSETH: That AMAFCA, for good and valuable consideration, the receipt of which is hereby acknowledged, does hereby grant unto the CITY an exclusive, permanent easement ("Easement") in, under, over, upon and across the real property described on Exhibit "A" attached hereto ("Property") for the construction, installation, maintenance, repair, modification, replacement and operation of an underground storm drain, together with the right to remove trees, bushes, undergrowth and any other obstacles upon the Property if the City determines they interfere with the appropriate use of this Easement.

AMAFCA covenants and warrants that it is the owner in fee simple of the Property and that it has a good lawful right to convey the Property or any part thereof. The grant and other provisions of this Easement constitute covenants running with the land for the benefit of the CITY and its successors and assigns until terminated. The Easement rights granted herein are subject to the drainage function and use of the fee estate by AMAFCA for flood control purposes or such other purposes as may be deemed appropriate or necessary by AMAFCA, its successors or assigns.

TO HAVE AND TO HOLD the said right and Easement for the uses and purposes aforesaid, unto CITY, its successors and assigns, forever, except that any portion of the Easement granted herein shall revert to AMAFCA, its successors or assigns, as and to the extent said portion of Easement is declared unnecessary for drainage purposes by the CITY Engineer and / or AMAFCA. Any reversion shall be conveyed by vacation action pursuant to the CITY Subdivision Ordinance if a replat of the AMAFCA property is required or by Quitclaim Deed if a replat is not required.


Witness its hand and seal this 14<sup>th</sup> day of December, 2000.

GRANTOR: Albuquerque Metropolitan Arroyo Flood Control Authority

BY: Ronald D. Brown  
Ronald D. Brown, Chair  
Board of Directors

STATE OF NEW MEXICO )  
 )SS.  
COUNTY OF BERNALILLO )

This instrument was acknowledged before me on December 14, 2000 by Ronald D. Brown as Chair of the Board of Directors of Albuquerque Metropolitan Arroyo Flood Control Authority ("AMAFCA"), a political subdivision of the State of New Mexico, on behalf of AMAFCA.

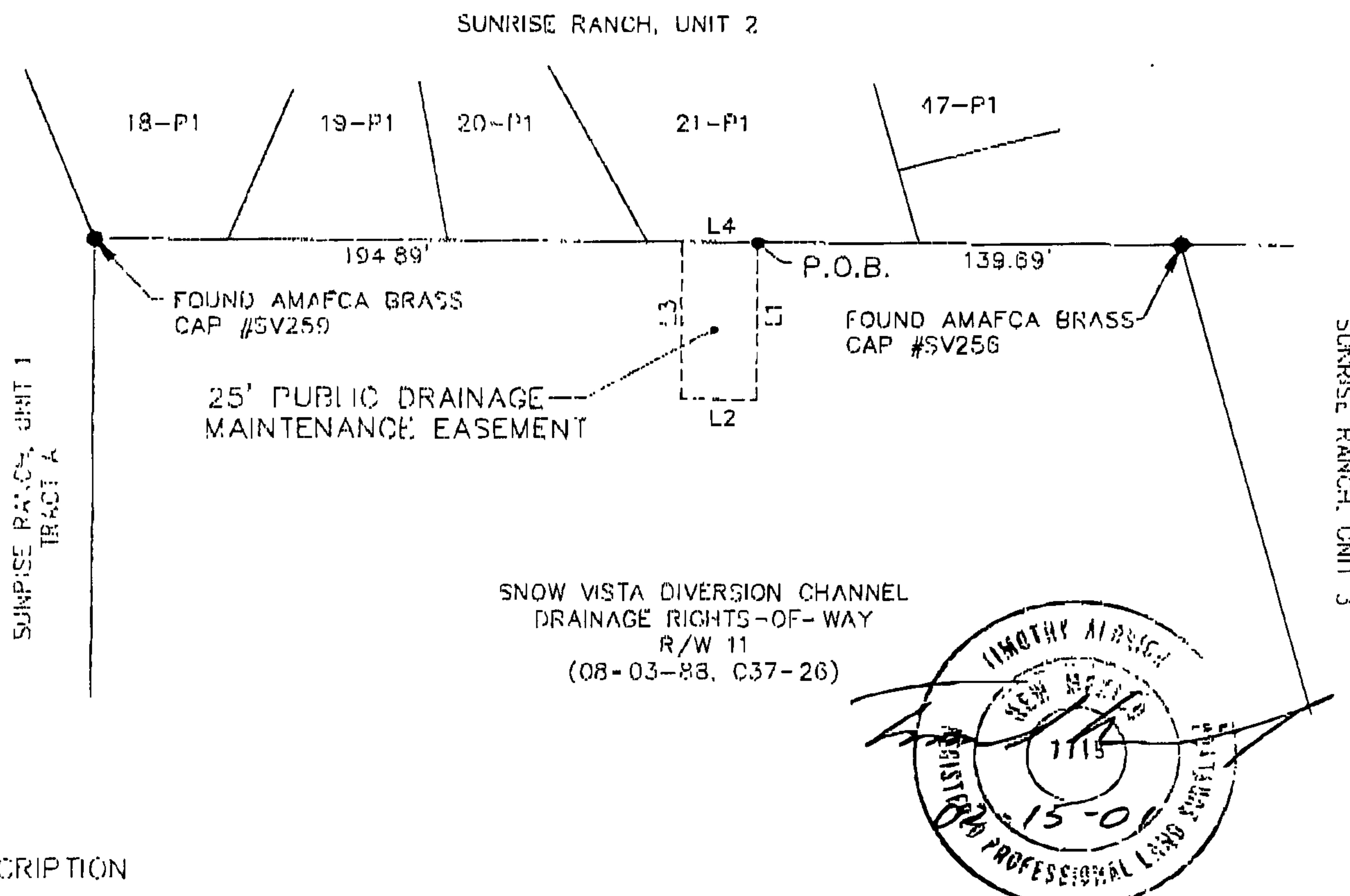
My commission expires 2004  
(SEAL)  OFFICIAL SEAL  
Martin Eckert, Jr.  
NOTARY PUBLIC  
STATE OF NEW MEXICO  
My Commission Expires July 8, 2004

Martin Eckert, Jr.  
Notary Public

# "EXHIBIT A"

## 25' PUBLIC DRAINAGE MAINTENANCE EASEMENT

LINE	DIRECTION	DISTANCE
L1	S00°17'31"W	54.75'
L2	N89°42'29"W	25.00'
L3	N00°17'31"E	54.75'
L4	S89°42'29"E	25.00'



### DESCRIPTION

A 25' Public Drainage Maintenance Easement within the Town of Atrisco Grant, projected Section 29, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being within SNOW VISTA DIVERSION CHANNEL, DRAINAGE RIGHTS-OF-WAY, R/W 11 as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on August 3, 1988 in Volume C57, Folio 26 and being more particularly described as follows:

BEGINNING at the northeast corner of the herein described Easement, from whence the northeast corner of said RIGHTS-OF-WAY, R/W 11 bears S 89°42'29" E, 139.69 feet;

THENCE S 00°17'31" W, 54.75 feet to the southeast corner,

THENCE N 89°42'29" W, 25.00 feet to the southwest corner;

THENCE N 00°17'31" W, 54.75 feet to the northwest corner,

THENCE S 89°42'29" E, 25.00 feet to the point of beginning and containing 0.0314 acres more or less.



February 6, 2001

Lawrence Rael  
Chief Administrative Officer  
CITY OF ALBUQUERQUE  
P.O. Box 1293  
Albuquerque, NM 87103  
Fax: 768-3019 (Original will be mailed)

*re: Building Site (Richfield Park) Drainage*

Dear Mr. Rael:

As we discussed last week, Albuquerque International Balloon Fiesta, Inc. is building a new office building at 4401 Alameda NE, at the Alameda entrance to Balloon Fiesta Park. The building will be on Lot 26, Richfield Park Subdivision.

Per the Richfield Park Drainage Plan, (dated June 1986 and recorded March 10, 1988 with the Bernalillo County Clerk in Book C36, Folio 12 as Document 88-20728) free storm water discharge from Lot 26 is to go into the 10' wide private drainage easement west of the property. On page 5 of that plan is the notation

“Interim public and private drainage easements are located on Tract D-1 for the purpose of conveying storm runoff from Richfield Park Subdivision, Lots 1-42 and Tracts B-1 and C-1 to the west boundary of Tract D-1. The width, alignment and exact locations of these easements shall be determined at the time Tract D-1 develops.”

Per our conversation, the ponding requirements dictated by the City are unworkable and extremely punitive to AIBF, both monetarily and in loss of parking. Additionally, the construction of such a pond is aesthetically unacceptable with its location at the entrance to Balloon Fiesta Park.

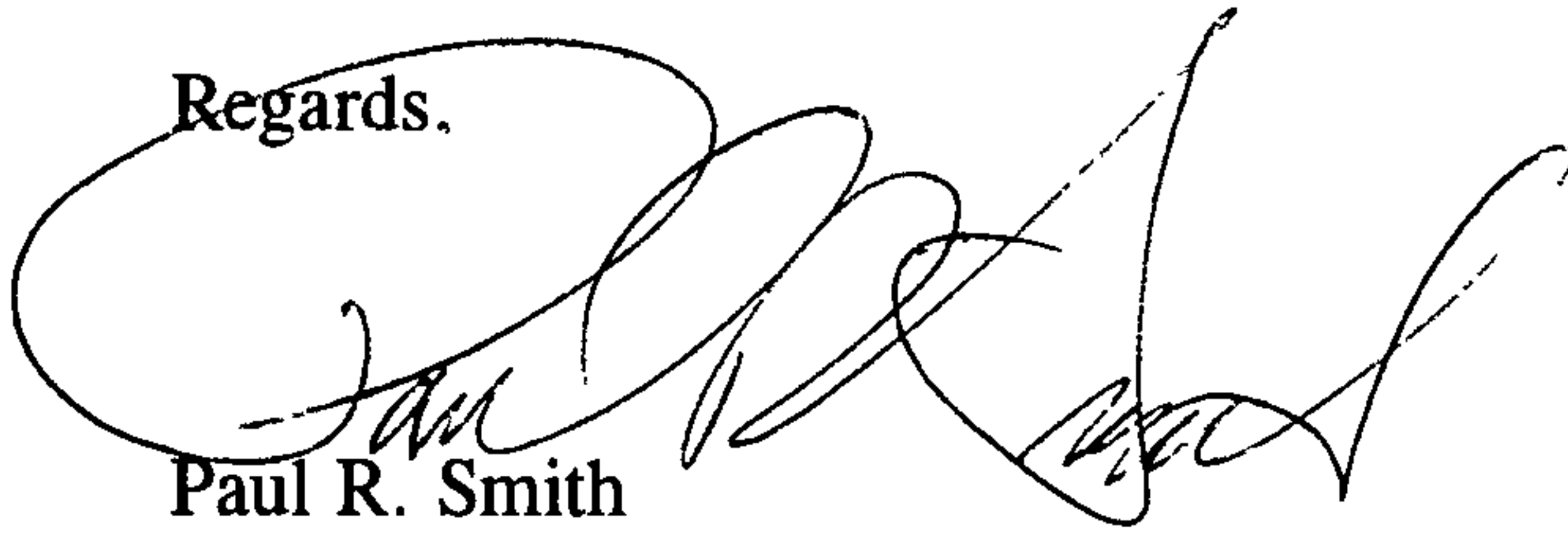
As discussed, the plan proposed by our hydrologist will direct the water flow off of Lot 26 toward the area of the proposed Storm Drain Inlet as has been designed in the *Albuquerque International Balloon Fiesta Park Vista Sandia Storm Drain Drainage Report*. We appreciate your understanding and statement that the City will allow the free discharge of storm drainage to continue from our property toward the west to the 10' wide drainage easement on the City's property.

Lawrence Rael  
February 6, 2001  
Page 2

Please inform me as to whom we should submit the referenced Drainage Plan in order to expedite this matter. Time is of the essence due to the delays and costs of construction.

Please contact me with any questions.

Regards.

A handwritten signature in black ink, appearing to read "Paul R. Smith", is written over the word "Regards." and extends to the right.

Paul R. Smith  
Executive Director

c: Gary Bennett, AIBF  
Kim Hooker, DCSW  
Dave Doyle, Enterprise Builders  
Amy Driscoll, Mark Goodwin & Associates



# DRAINAGE INFORMATION SHEET

PROJECT TITLE: Balloon Fiesta Headquarters ZONE ATLAS#: C-19/D-11/  
DRB#: \_\_\_\_\_ EPC# \_\_\_\_\_ WORKORDER#: \_\_\_\_\_  
LEGAL DESCRIPTION: Lot 26, Richfield Park Subdivision  
CITY ADDRESS: 8805 Washington Street

ENGINEERING FIRM:	<u>Mark Goodwin &amp; Associates, PA</u>	CONTACT:	<u>Amy L. Driscoll</u>
ADDRESS:	<u>P.O. Box 90606, Albuquerque, NM 87199</u>	PHONE:	<u>828-2200</u>
OWNER:	<u>Albuquerque International Balloon Fiesta Inc.</u>	CONTACT:	<u>Paul Smith</u>
ADDRESS:	<u>8309 Washington Place NE 87113</u>	PHONE:	<u>821-1000</u>
ARCHITECT:	<u>Design Collaborative Southwest</u>	CONTACT:	<u>Kim Hooker</u>
ADDRESS:	<u>320 Central SW ABQ 87103</u>	PHONE:	<u>843-9639</u>
SURVEYOR:	<u>Precision Surveys</u>	CONTACT:	<u>Larry Medrano</u>
ADDRESS:	<u>8414-D Jefferson NE 87113</u>	PHONE:	<u>856-5700</u>
CONTRACTOR:	_____	CONTACT:	_____
ADDRESS:	_____	PHONE:	_____

## TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT  
☒ DRAINAGE PLAN  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☒ GRADING PLAN  
☐ EROSION CONTROL  
☐ ENGINEER'S CERTIFICATION  
☐ OTHER  
☐ EASEMENT VACATION

## PRE-DESIGN MEETING:

☐ YES  
☒ NO  
☐ COPY PROVIDED

## CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. PLAN FOR BLDG PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATION OF OCCUPANCY APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ S.A.D. DRAINAGE REPORT  
☐ DRAINAGE REQUIREMENTS  
☐ OTHER  
☐ RELEASE OF FINANCIAL GUARANTY  
☐ TRAFFIC CIRCULATION LAYOUT

DATE SUBMITTED: 2/7/01

BY: Amy L. Driscoll

Amy L. Driscoll



D. Mark Goodwin & Associates, P.A.  
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199  
(505) 828-2200 FAX 797-9539  
e-mail: dmgs@swcp.com

November 15, 2000

Mr. Bradley Bingham  
City of Albuquerque, Hydrology  
P.O. Box 1293  
Albuquerque, NM 87103

**Re: Balloon Fiesta Headquarters**

Dear Mr. Bingham:

This submittal is in response to your September 18, 2000 letter. The following responses are in order of your comments:

1. The same owner owns both lots 26 and 27 of Richfield Park Subdivision so we have permission to grade onto the adjoining property (lot 27). As a result, a retaining wall will not be needed. In addition, a private access easement is being acquired for the driveway in the event lot 27 is sold at a later time.
2. The site is not in the 100 year floodplain. There is 1.5 feet of freeboard above the 100 year floodplain in Alameda. Please see the floodplain shown on the drawing.
3. The area west of the site is Balloon Museum Drive. It was reconstructed just before the Balloon Fiesta this year, and the City of Albuquerque owns it. Because of the proposed retention pond, a flowline will not be necessary south of the driveway on Balloon Museum Drive.
4. The spot elevations on Alameda on the curb are top of curb which work with the existing contours. A driveway permit from NMSHTD is being acquired.
5. There is a 1.41 feet of difference between the top of sidewalk and asphalt because of the loading dock. The architect will be placing handrail at this location.
6. The pertinent sections of the Vista Sandia Storm Drain Drainage Report have been provided.
7. The runoff goes to the temporary retention pond on-site. The land treatments are within the amounts specified in the report. Not all downstream infrastructure is in place. Please see the hydrology notes on the Grading and Drainage Plan.

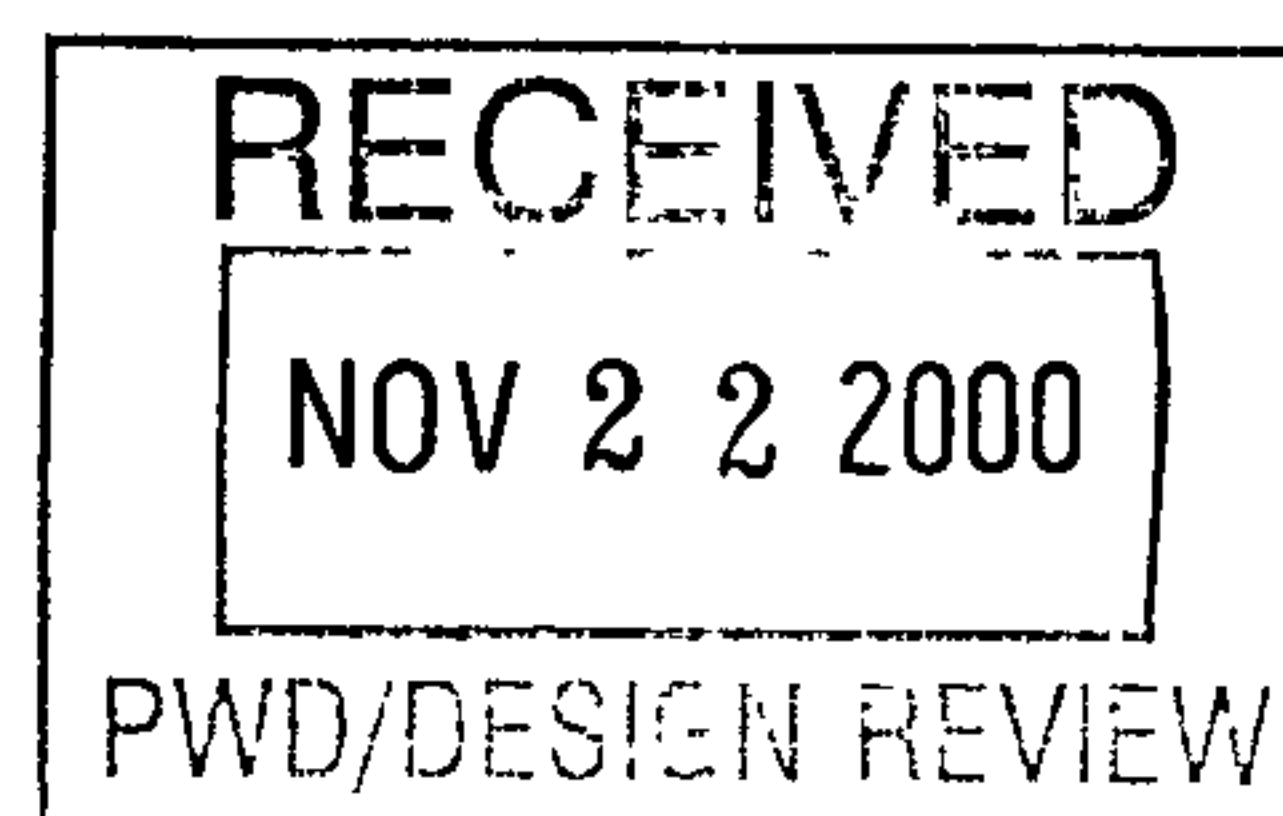
Please call if you have any questions or concerns.

Sincerely,

MARK GOODWIN & ASSOCIATES, PA

  
Amy L. Driscoll  
Project Engineer

f:\balloon.hdq\brdbing.wpd





# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

September 18, 2000

Mark Goodwin, PE  
Mark Goodwin & Associates  
P.O. 90606  
Albuquerque, NM 87199

**Re: Balloon Fiesta Headquarters Grading and Drainage Plan  
Engineer's Stamp dated 8-16-00 (C19/D111)**

Dear Mr. Goodwin,

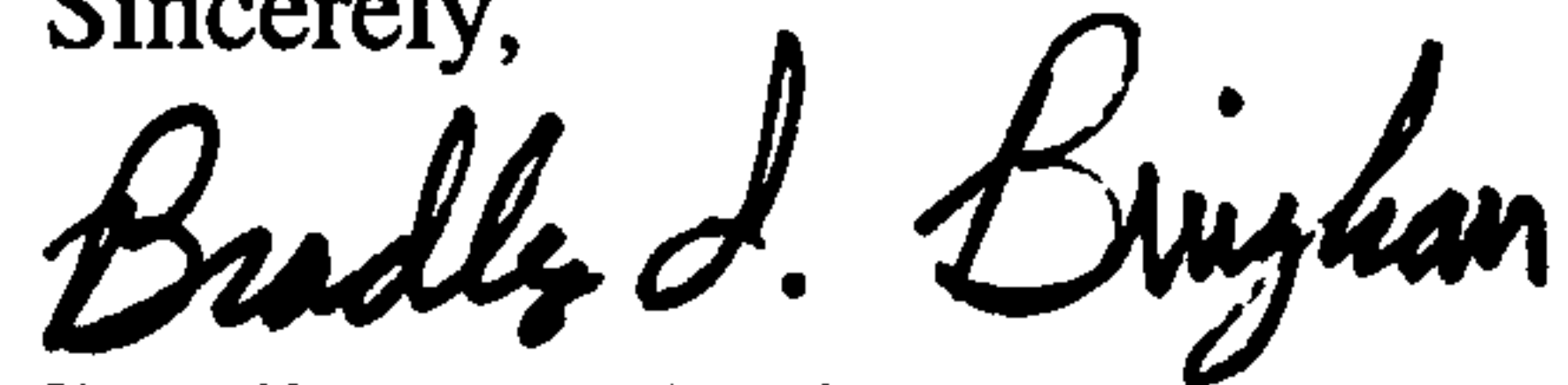
Based upon the information provided in your submittal dated 8-17-00, the above referenced site cannot be approved for Building Permit until the following comments are addressed:

- It appears that you are adding fill to the entire site. Since your curb is right at the property line, it would seem a retaining wall would be needed. At the minimum, permission from the adjoining landowner would be required to slope into the property.
- You state that the building is not in the flood plain. Please show the extent of the flood plain on the grading plan.
- What is the area west of your site? Is it a road? Who owns this road? I doubt it is for public access. Also, the "existing flowline" appears to be cut off from this entrance.
- Your driveway to Alameda describes flowline elevations that appear to be erroneous. Please double-check these spots. Also, a NMSHTD driveway permit may be necessary since Alameda is a state road.
- There is a 1.7' difference between top of sidewalk and asphalt near the loading dock. Is this truly your intent?
- Please provide a copy of the pertinent section(s) of the Richfield Park drainage report to support your submittal.
- Where does the runoff go from you site? What are the land treatments specified in the master report and does your site adhere to this. Is all downstream

infrastructure in place and accepted so that you can actually release developed runoff? Please add more depth to your write-up.

Please keep in mind that the TCL has not been reviewed and any changes that affect the grading plan may require a resubmittal. If you have any questions about my comments, you can contact me at 924-3986.

Sincerely,

A handwritten signature in black ink, reading "Bradley L. Bingham". The signature is written in a cursive, flowing style.

Bradley L. Bingham, PE  
Sr. Engineer, Hydrology

C: file



NOTICE OF SUBDIVISION PLAT CONDITIONS

BALLOON FIESTA PARK

Pursuant to Section 7 of the City of Albuquerque, New Mexico subdivision ordinance, a variance or waiver from certain subdivision requirements has been granted by the City and the Albuquerque Metropolitan Arroyo Flood Control Authority in connection with this plat.

Future subdivisions of lands within this plat, zoning site development plan approvals, and development permits may be conditioned upon dedication of rights-of-way and easements, and/or upon infrastructure improvements by the owner for water, sanitary sewer, streets, drainage, grading and parks in accordance with current resolutions, ordinance and policies in effect at the time for any specific proposal.

The City (and AMAFCA with reference to drainage) may require and/or permit easements to be added, modified or removed when future plats and/or site development plans are approved.

By its approval of this Subdivision, the City makes no representation or warranties as to availability of utilities, or final approval of all requirements including (but not limited to) the following items:

1. Water and sanitary sewer availability
2. Future street dedications and/or improvements
3. Park and open space requirements
4. Drainage requirements and/or improvements
5. Excavation, filling or grading requirements.

Any person intending development of lands within this subdivision is cautioned to investigate the status of these items.

At such time as all such conditions have been satisfactorily met, the City Engineer shall approve a recordable document, removing such conditions from all or from a portion of the area within the subject subdivision.

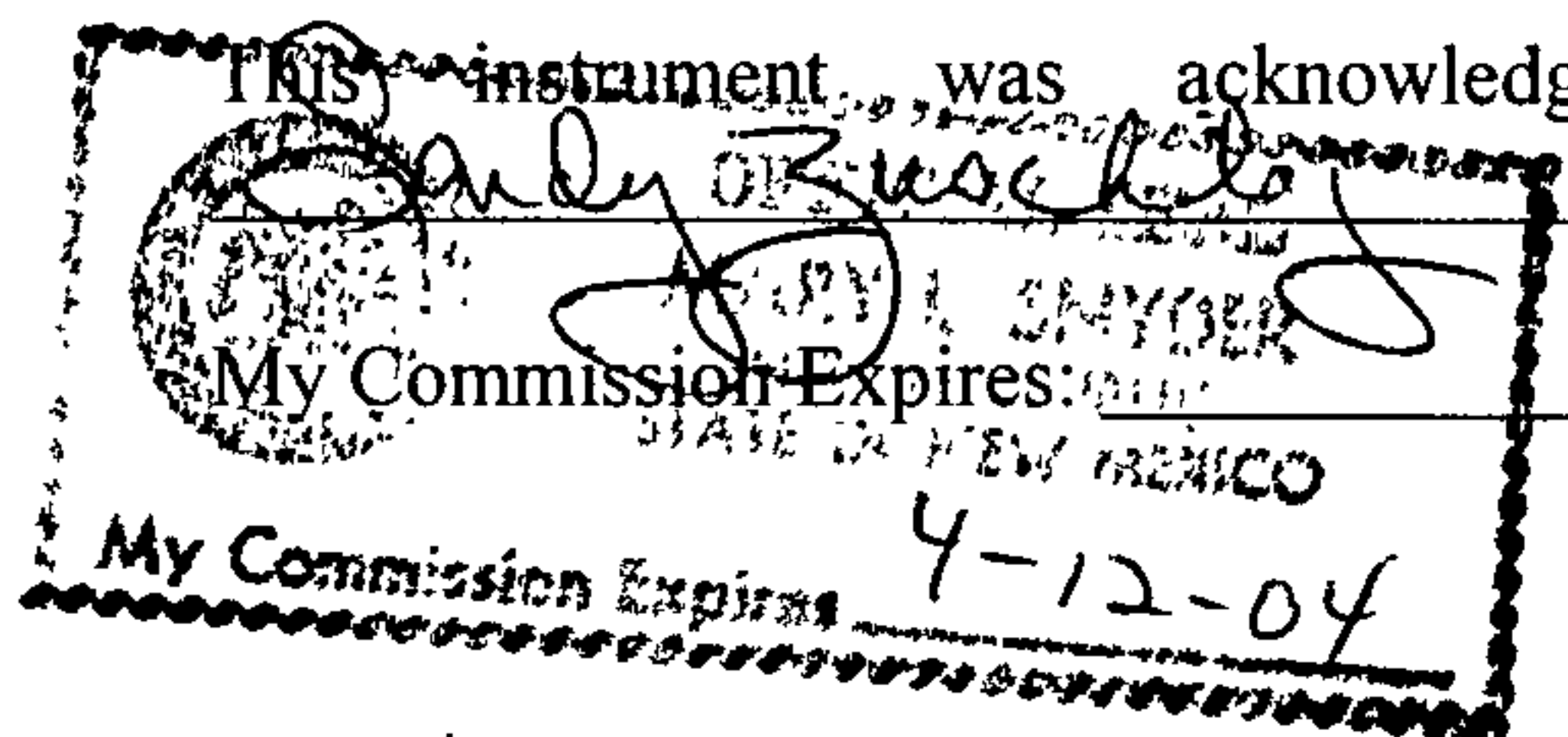
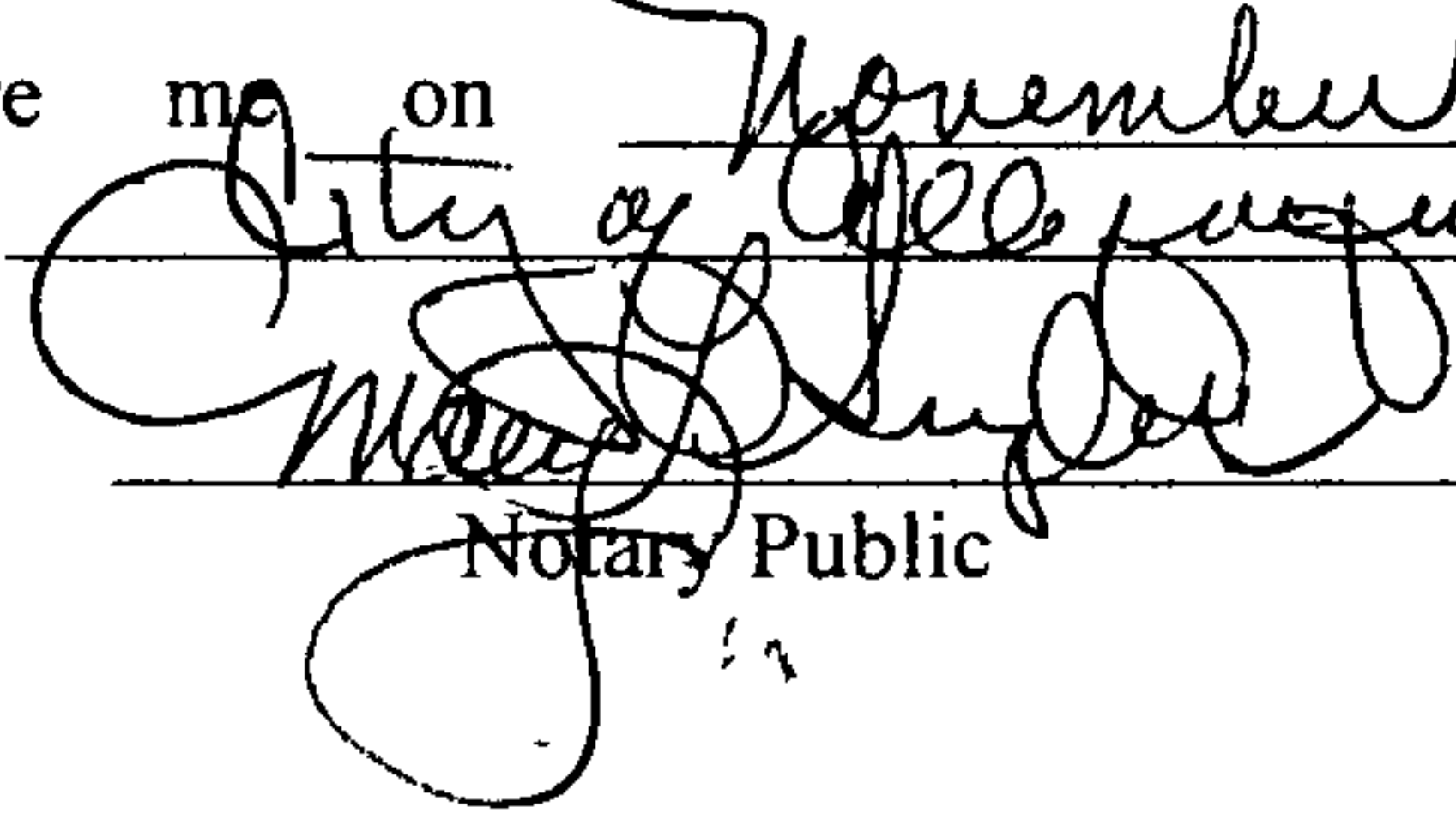
Acknowledged:

  
CITY OF ALBUQUERQUE

STATE OF NEW MEXICO )

SS

COUNTY OF BERNALILLO )

THIS instrument was acknowledged before me on November 27, 2000 by City of Albuquerque of New Mexico.  
 My Commission Expires 4-12-04  
  
Notary Public

\_\_\_\_\_  
DRB CHAIR  
CITY OF ALBUQUERQUE