

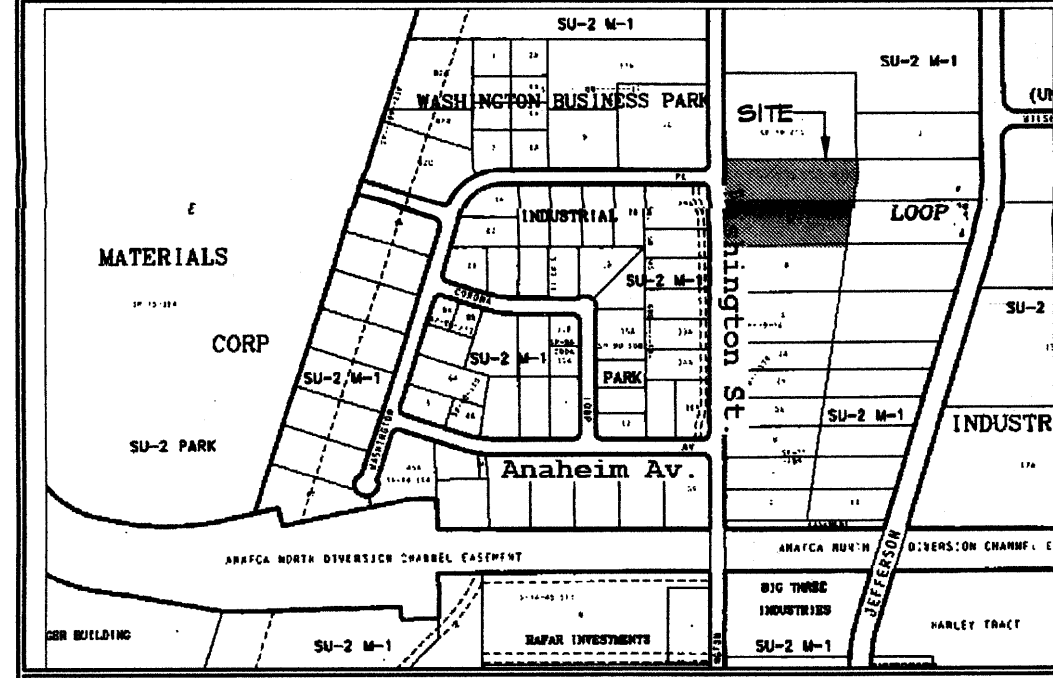
GENERAL NOTES

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LEGAL: Lots G and H, Los Angeles Investors Tract 4, Albuquerque, New Mexico
SURVEYOR: Aldrich Land Surveying - 505-884-1990
B.M.: Benchmark: ACS Monument "12-C17" Elevation = 5107.95 MSLD
T.B.M.: SAS Manhole Rim located in Washington Street adjacent to the site. Elevation = 5108.67 MSLD
OFF-SITE DRAINAGE: No off-site drainage affects this property.
FLOOD HAZARD: Per Bernalillo County FIRM Map #136 / 137 (see plan), the site is not located within a flood zone.
EROSION CONTROL: The contractor is responsible for retaining on-site all sediment generated during construction by means of temporary earth berms or silt fences at the low points on the west and north property lines.

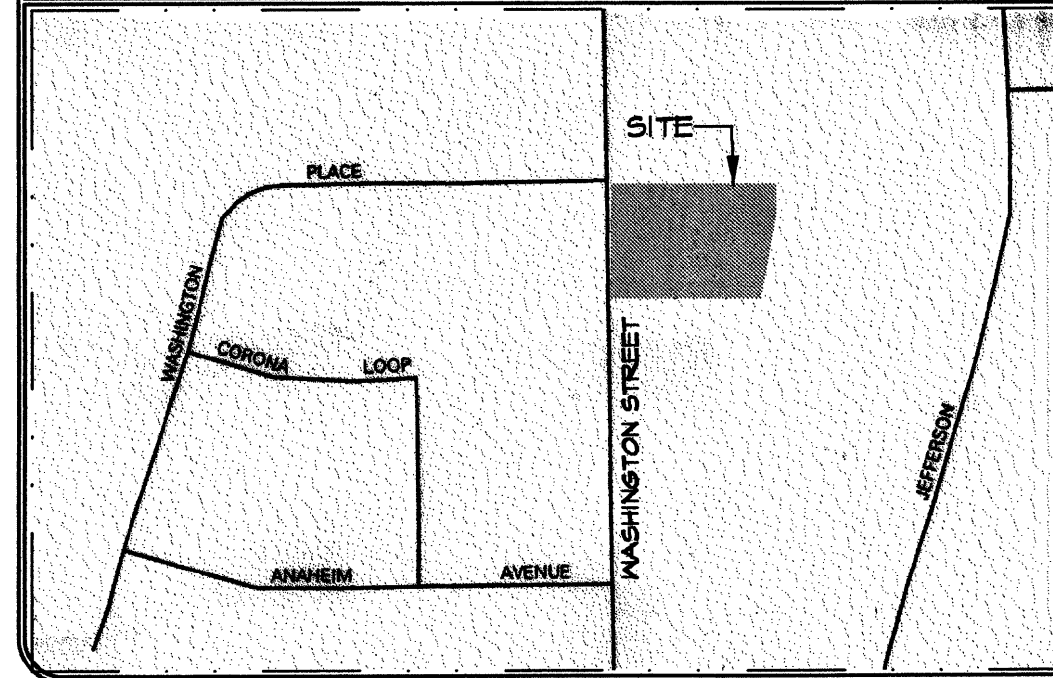
KEYNOTES

1. CONSTRUCT SITE ENTRANCE PER C.O.A. STANDARDS. MATCH EXISTING FLOWLINE ELEVATIONS TO PROVIDE A SMOOTH RIDING TRANSITION. CONSTRUCT CONCRETE VALLEY GUTTER / HANDICAP RAMPS PER C.O.A. STD. DWS. 2426) HATCHING EXISTING TOP OF WALK / FLOWLINE ELEVATIONS. SEE ARCHITECTURAL FOR DIMENSIONS / DETAILS / DEMOLITION OF EXISTING CURBS.
2. PROPOSED ASPHALT PAVING. SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION REGARDING PARKING LAYOUT, DIMENSIONS, STRIPING, ETC.
3. CONSTRUCT CONCRETE HEADER CURB PER C.O.A. STD. DWS. 2415 (TYPICAL). SEE ARCHITECTURAL FOR DETAIL.
4. CONSTRUCT PAVED PONDING AREA AT ELEVATIONS SHOWN TO CAPTURE SITE / ROOF FLOWS. POND DIMENSIONS (LENGTH, WIDTH AND DEPTH) AND ELEVATIONS TO BE STRICTLY ADHERED TO FOR CERTIFICATION PURPOSES. SEE DIMENSIONED DETAIL THIS SHEET.
5. CONSTRUCT 2' WIDE ALLEY GUTTER PER C.O.A. STD. DWS. 2415 AT FLOWLINE ELEVATIONS SHOWN TO DIRECT CAPTURED FLOW TO PROPOSED STORM DRAIN INLET. SLOPE = 0.0040'.
6. CONSTRUCT 2'X2' STORM INLET WITH KENNAM R-3500-L GRATE PER C.O.A. STD. DWS. 2206 (SIM).
7. INSTALL 232 LF 15" PVC STORM DRAIN AT INVERT ELEVATIONS SHOWN.
8. INSTALL 44 LF 18" PVC STORM DRAIN AT INVERT ELEVATIONS SHOWN.
9. INSTALL 56 LF 12" PVC STORM DRAIN AT INVERT ELEVATIONS SHOWN.
10. PAVING HIGH POINT THIS AREA.
11. CONSTRUCT TURNED DOWN CONCRETE WALK THIS AREA. TOP OF WALK IS 6" ABOVE TOP OF ADJACENT PAVEMENT (TYPICAL). SEE ARCHITECTURAL FOR RAMP LOCATIONS / DIMENSIONS AND ADDITIONAL INFORMATION.
12. WEST ROOF FLOWS TO BE RELEASED THROUGH 1" WIDE SIDEWALK CULVERT (PER C.O.A. STD. DTL. 2286) TO PAVEMENT. SEE ARCHITECTURAL FOR SPECIFIC OUTFALL POINTS.
13. EAST ROOF FLOWS TO BE RELEASED TO REAR PONDING AREA. SEE ARCHITECTURAL FOR SPECIFIC OUTFALL POINTS.
14. TOP OF POND WALL FLUSH WITH TOP OF ASPHALT PAVEMENT TO ALLOW SHEETPILING TO PASS. SEAL JOINTS WITH URETHANE SEALANT (BONDOLASTIC NF-4 O.A.E.).
15. CONSTRUCT RETAINING WALL THIS AREA TO ACHIEVE GRADE DIFFERENCES SHOWN. SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION (DESIGN BY OTHERS).
16. MINOR GRADINGS ON ADJACENT PROPERTY (SAME OWNER) TO ACHIEVE GRADES SHOWN.
17. CONSTRUCT DOCK AREA AT GRADES SHOWN. INSTALL SUMP PIT WITH HYDRA-MATIC SKID-102 1 HP SUBMERSIBLE PUMP (O.A.E.) TO DRAIN. INSTALL 2" SCHEDULE 40 PVC DISCHARGE LINE FROM SUMP PUMP THROUGH DOCK WALL TO ADJACENT PAVING AT INVERT ELEVATION SHOWN. PROVIDE WATER-TIGHT GROUT SEAL. SEE ARCHITECTURAL FOR FIT / ELECTRICAL DETAILS.
18. CONSTRUCT PONDING AREA WITH CONCRETE PERIMETER WALLS AT ELEVATIONS SHOWN TO CAPTURE SITE FLOWS. POND DIMENSIONS (LENGTH, WIDTH AND DEPTH) AND ELEVATIONS TO BE STRICTLY ADHERED TO FOR CERTIFICATION PURPOSES. SEE DIMENSIONED DETAIL THIS SHEET.
19. CONSTRUCT ONE 24" WIDE COVERED SIDEWALK CULVERT PER C.O.A. STD. DWS. 2286 TO RELEASE POND FLOWS (AT A CONTROLLED DISCHARGE RATE) TO WASHINGTON STREET. PROVIDE 24" WIDE X 8" HIGH OPENING IN POND WALL TO MATCH SIDEWALK CULVERT OPENING. DIMENSIONS AND ELEVATIONS TO BE ADHERED TO FOR CERTIFICATION PURPOSES.
20. STEP TOP OF POND WALL TO ELEVATION 09.0 TO CREATE A 14" WIDE POND SPILLWAY ALONG EAST SIDE OF POND. SEE DETAIL FOR ADDITIONAL INFORMATION.
21. RELOCATE / REMOVE EXISTING WATER METER BOXES AS REQUIRED TO AVOID CURB RAMPS.
22. ADJUST POND WALL AS REQUIRED TO AVOID CONFLICTS WITH EXISTING WATER METER BOX THIS AREA.

VICINITY MAP #C-17



FIRM MAP #136



C.L. WEISS ENGINEERING, INC.
POST OFFICE BOX 471 BANDIA PARK, N.M. 87104 - (505) 261-1800
1100 ALVARADO DR. NE ALBUQUERQUE, N.M. 87110 - (505) 266-0444

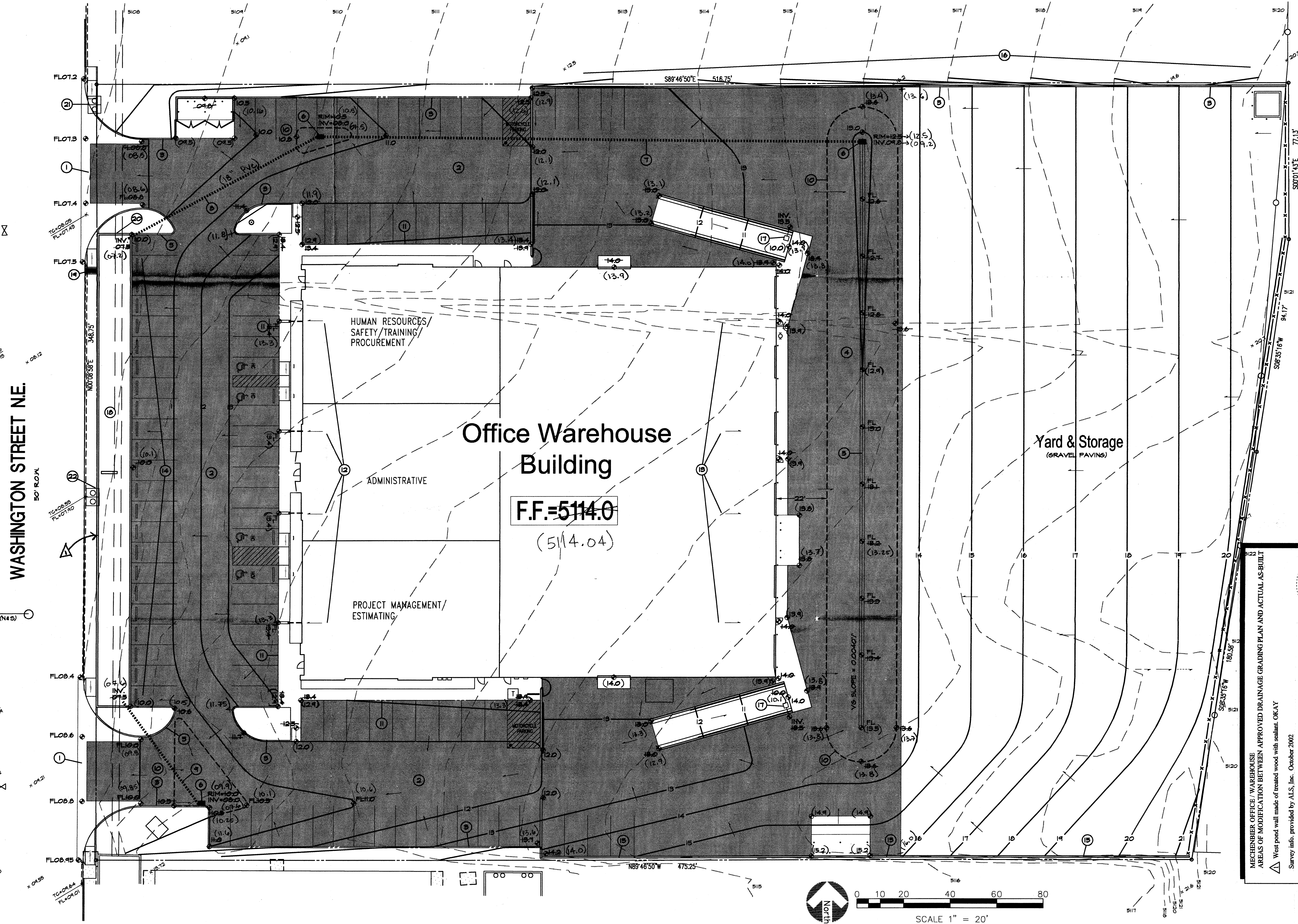
LEGEND

- | | |
|--------|---|
| --- | SIDEWALK, CURB AND GUTTER (EXISTING, PROPOSED) |
| --- | PROPOSED PAVED DRIVE |
| --- | BUILDING (EXISTING, PROPOSED) |
| --- | PROPERTY LINE |
| --- | EXISTING SPOT ELEVATION |
| --- | EXISTING CONTOUR |
| --- | PROPOSED SPOT ELEVATION |
| --- | PROPOSED CONTOUR |
| --- | SURFACE FLOW DIRECTION (EXISTING, PROPOSED, ROOF) |
| SD | STORM DRAIN |
| TOP | TOP OF POND |
| TOW | TOP OF WALL |
| TG | TOP OF CURB |
| FL | FLOW LINE |
| FF | FINISHED FLOOR |
| ROM | RIGHT OF WAY |
| PP | POND SPILLWAY ELEVATION |
| PS | POWER POLE |
| (35.2) | DATE - 10-22-02 |

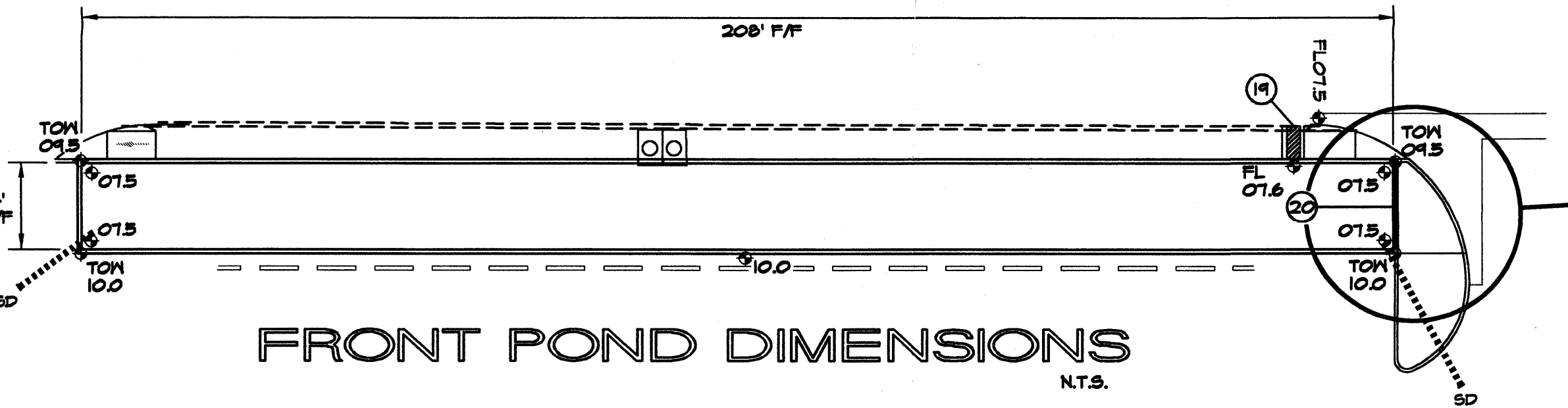
Drainage Facilities within City Right-of-way notice to contractor

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 785-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITHIN A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO COLLECTOR STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. CONTRACTOR IS RESPONSIBLE FOR OBTAINING EXCAVATION PERMIT FOR SIDEWALK CULVERT/RAIN.
8. PROOF OF ACCEPTANCE WILL BE REQUIRED PRIOR TO SIGN OFF FOR CERTIFICATE OF OCCUPANCY (C.O.).

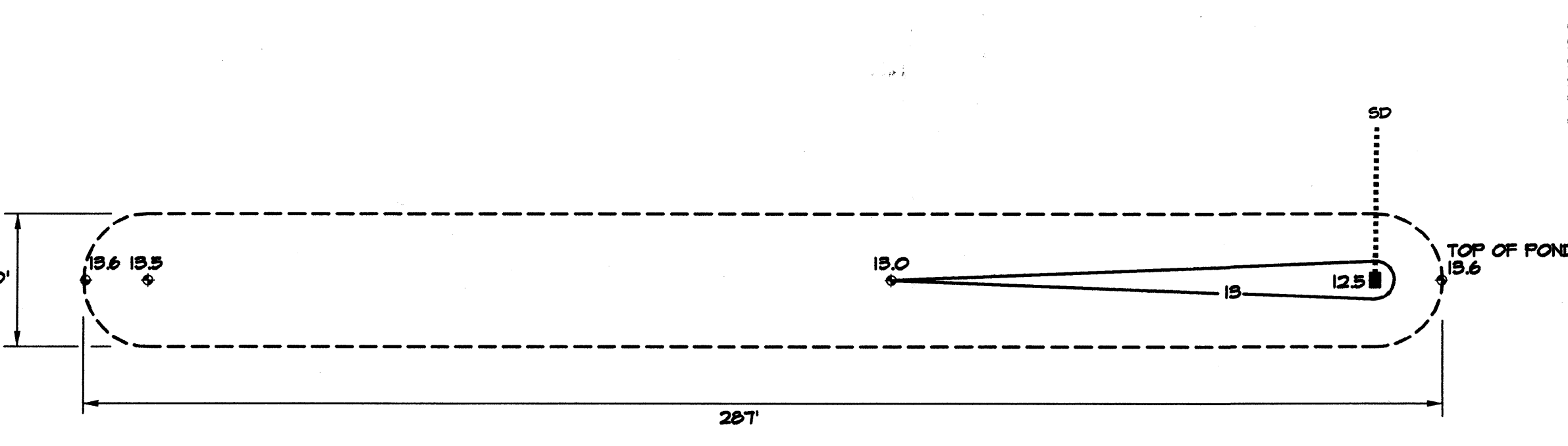
INSPECTION APPROVAL: _____
CONSTRUCTION SECTION _____ DATE _____



FRONT POND DIMENSIONS



REAR POND DIMENSIONS

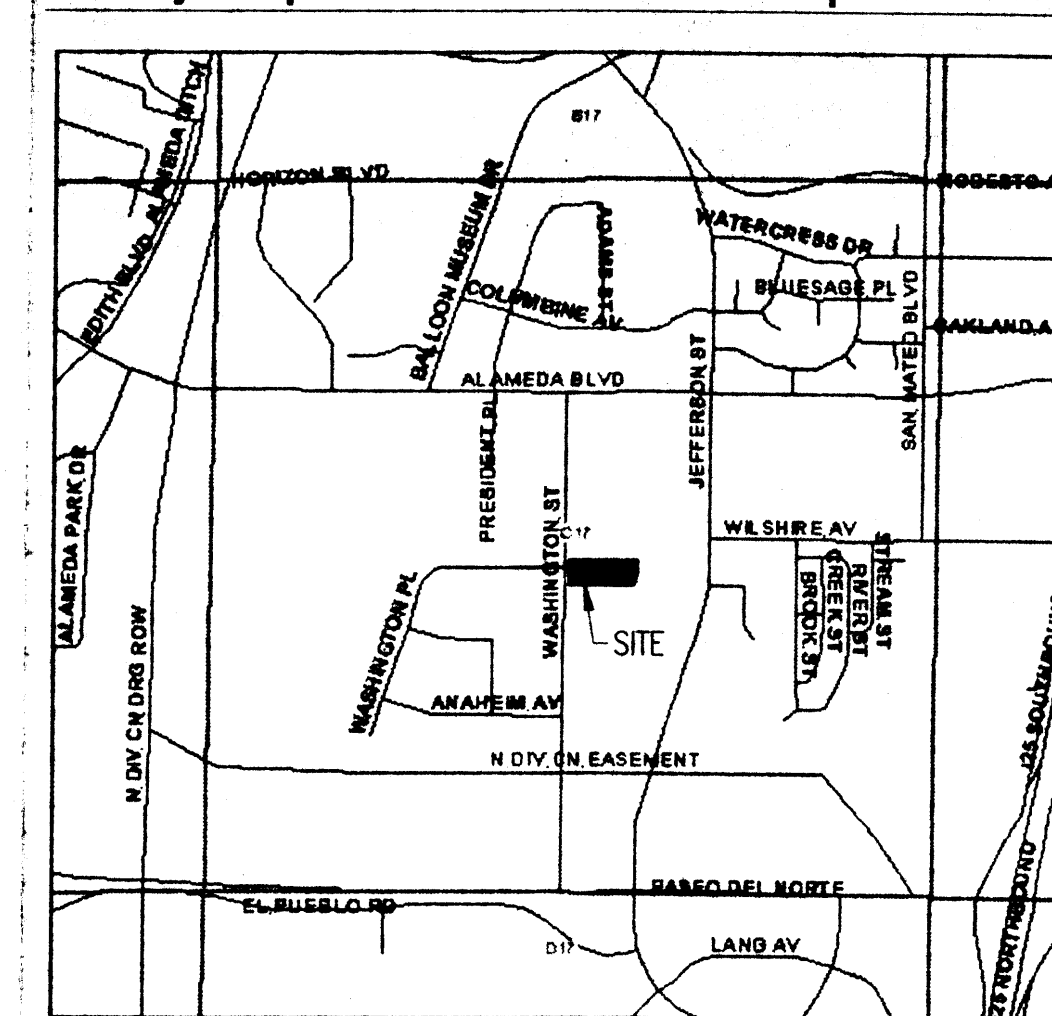


CONSTRUCT CONCRETE PAD FROM SPILLWAY TO BACK OF ENTRANCE CURB. SLOPE CONCRETE PAD FROM 09.0 AT SPILLWAY TO FL OF ENTRANCE CURB. PROVIDE FIVE 1" WIDE OPENINGS IN CURB TO ALLOW FLOWS TO PASS.

- 1 4" THICK CONCRETE SIDEWALK, REF. DETAIL 05/A091.
- 2 2" THICK ASPHALT PAVING OVER SUBGRADE AS RECOMMENDED BY GEOTECHNICAL
3 ENGINEER AT PARKING AREAS.
- 4 3" THICK ASPHALT PAVING OVER SUBGRADE AS RECOMMENDED BY GEOTECHNICAL
5 ENGINEER AT DRIVING AREAS.
- 6 4" THICK RECYCLED ASPHALT BASE COURSE
- 7 6" COLORED CHALK WALL, REF. DETAIL 11/A091
- 8 6" COLORED CHALK WALL, 7'-4" HIGH, REF. DETAIL 12/A091
- 9 EXISTING CHAIN LINK FENCE TO REMAIN.
- 10 BURIED GATE, SEE ELEVATION AT 11/A091
- 11 KEY PAD ON 12" DIAMETER CONCRETE PEDESTAL, TIE INTO GATE FOR OPERATION.
- 12 BURIED LOCK FOR GATE, SEE DETAIL 13/A091, SEE STRUCTURES INSTRUCTIONS.
- 13 REFER ENCLASURE, REF. DETAIL 03/A091
- 14 MOUNTING SIGN, REF. DETAIL 03/A091
- 15 FLAGPOLE, REF. DETAIL 05/A091
- 16 PARKING LIGHT POLE, REF. DETAIL 05/A091 AND ELECTRICAL DRAWINGS.
- 17 BASKET RACK, REF. DETAIL 05/A091
- 18 ELECTRIC TRANSFORMER LOCATION, REF. ELECTRICAL DRAWINGS.
- 19 ELECTRIC METER LOCATION, REF. ELECTRICAL DRAWINGS.
- 20 RECYCLED PADS, REF. DETAIL 04/A091
- 21 TELEPHONE DISCONNECT TO BE LOCATED, REF. ELECTRICAL DRAWINGS.
- 22 GAS METER LOCATION, REF. MECHANICAL DRAWINGS.
- 23 DETENTION POND, REF. GRADING AND DRAINAGE PLAN.
- 24 EXISTING, SEE INTRANT
- 25 NEW FIRE INTRANT, REF. MECHANICAL DRAWINGS.
- 26 CONCRETE PARKING BARS, 18" SPACED AND ORIENTED TO PAVING/W, (2) #5 BARS, 18" LONG.
- 27 HANDICAP PARKING SIGN, REF. DETAIL 04/A091
- 28 INTERNATIONAL SYMBOL OF ACCESSIBILITY PANTED SAFETY WHITE, REF. DETAIL 03/A091
- 29 4" WIDE, 12" HIGH, 12" DEEP, 12" O.C.
- 30 PAVING "MOTORCYCLE PARKING" PANTED IN SAFETY WHITE.

- 29 4" EXTENDED PLATE (SAFETY WHITE) STRIPS FOR PARKING AS SHOWN.
30
31 SIDEWALK RAMP. SIMILAR TO DETAIL #4/AG1.
32 SIDEWALK RAMP. RE: DETAIL #4/AG1.
33 NEW DRIVE TO ROAD TO PROVIDE PERM. CITY OF ALBUQUERQUE DRAWING #E2426.
34 IRRIGATION CONTROL BOX LOCATION, RE: LANDSCAPING DRAWING.
35 8"x8", 4" THICK SLAB FOR TROUBLE/BREAK AREA.
36 6" DIAMETER CONCRETE FILLER BOLLARD, RE: DETAIL #5/AG1.
37 4" DIAMETER CONCRETE FILLER BOLLARD, RE: DETAIL #6/AG1.
38 CONTINUOUS 5'-0" DIAMETER CONCRETE, 5" THICK W/ #4 BARS 12" O.C. E.W.
THICKEN EDGE 10" WITH 1" #4 CONTINUOUS.
39 FUEL CONTAINMENT CONCRETE, RE: DETAIL C1/AG1.
40 PREMANUFACTURED SLIP WITH PUMP.
41 GATE, RE: DETAIL #5/AG1.
42 SIDEWALK RAMP. SIMILAR TO DETAIL #4/AG1.
43 CITY OF ALBUQUERQUE STANDARD DRAWING #2336. USE 1/4" CHECKERED
PLATE IN LIEU OF 3/8".
44 6" THICK CONCRETE SLAB FOR AIR COMPRESSOR, 5" THICK W/ #4 BARS E.W.
THICKEN EDGE 10" WITH 1" #4 CONTINUOUS.
45 8" HIGH X 1'-0" DIAM CONCRETE CURB, CONTINUOUS DOWN WALL.
46 NEW SIDEWALK RAMP PER CITY OF ALBUQUERQUE STANDARDS.
47 NEW HANDICAP RAMP PER CITY OF ALBUQUERQUE STANDARDS.
48 CURB RETAINING WALL, RE: DETAIL #2/AG1.
49 RETAINING ENCLOSURE, RE: DETAIL #3/AG1. (GULET GATES AND STUCCO).
50 VERTICALLY SET LANDSCAPE TREES RETAINING WALL.
51 6" CONCRETE CURB, TYPICAL.
52 UNLANDSCAPED AREA.
53 DRIVE TO ROAD. PER ENTRY INTO BUILDING.

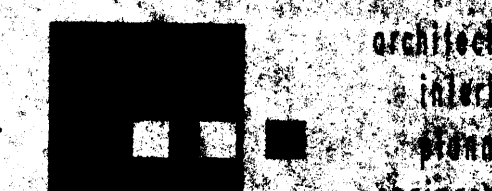
Zone Map: C-17-Z



GENERAL PROJECT LOCATION: LOCATED ON WASHINGTON STREET BETWEEN PASEO DEL NORTE AND ALAMEDA, WEST OF JEFFERSON.

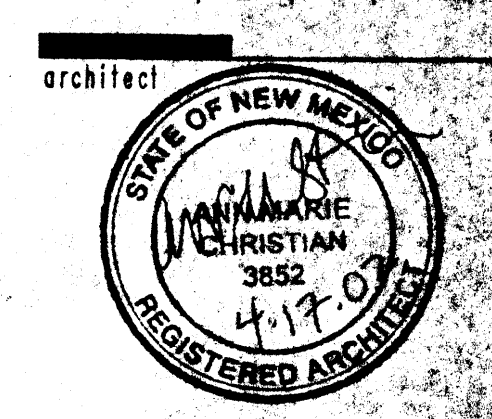
A SEE LANDSCAPING PLAN FOR DESCRIPTION AND LOCATION OF LANDSCAPE MATERIAL.
B ALL ASPHALT AND CONCRETE CONSTRUCTION MUST BE COMPLETE BEFORE
INITIAL INSPECTION FOR TEMPORARY CERTIFICATE OF OCCUPANCY.

NOTE: OTHERS NOT SHOWN ABOVE ARE AS NOTED ON DRAWING



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engineer

project

Mechenbier Office/Warehouse
8440 Washington Street
Albuquerque, New Mexico



revisions	
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plotted:	
drawn by	D/P/JS
reviewed by	
date	3/25/02
project no.	01056
drawing name	
Traffic Circulation Layout Plan	

Resubmitted - 4/17/02

TRAFFIC CIRCULATION LAYOUT
APPROVED

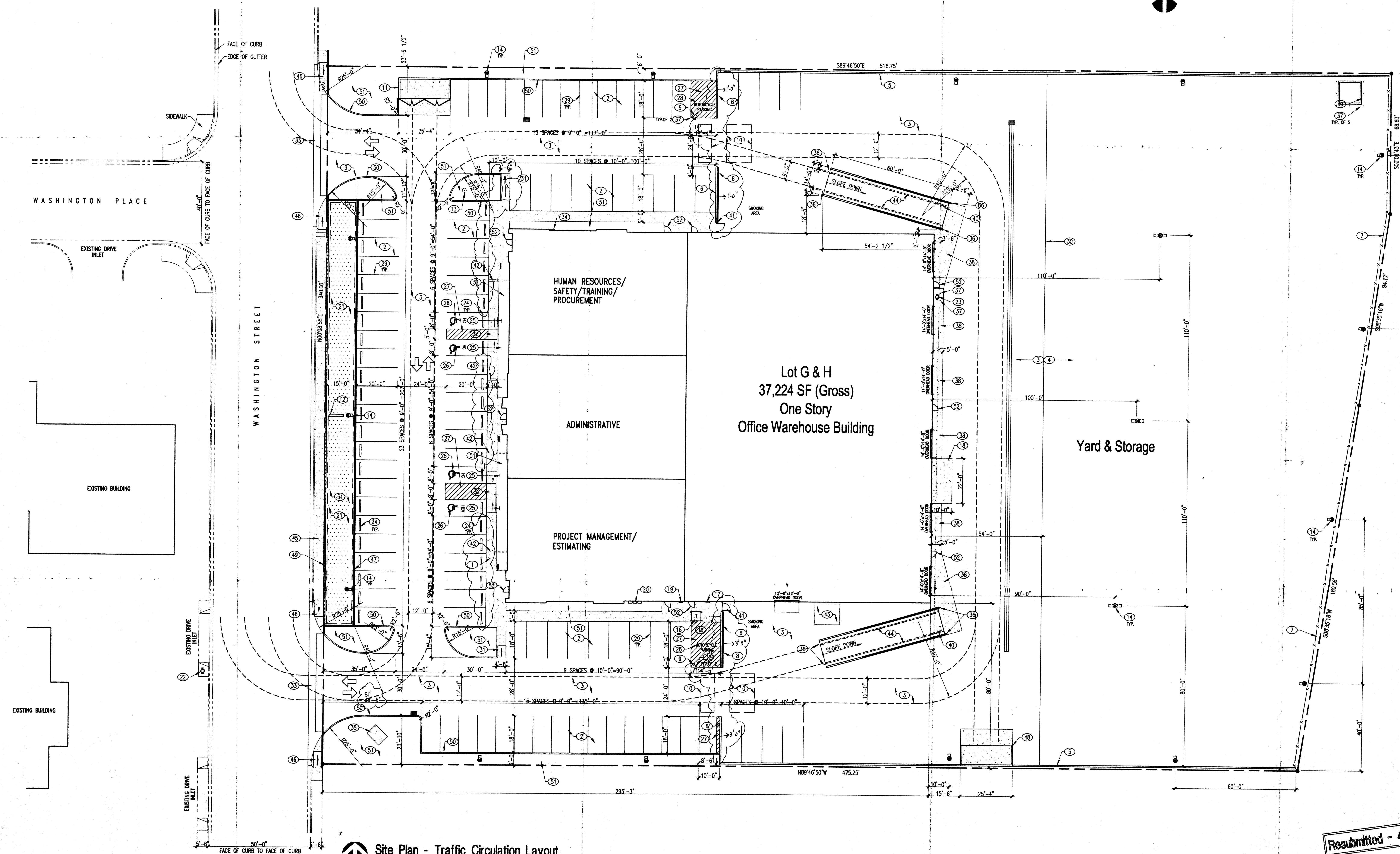
[Signature]

Signed

4/23/0

Date

sheet no. **TCL**
of



 **Site Plan - Traffic Circulation Layout**
1"=20'-0"