



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

June 22, 2004

Mr. Greg Krenik, P.E.
MARK GOODWIN & ASSOCIATES
P.O. Box 90606
Albuquerque, NM 87199

Re: OTONO PLAZA, BUILDINGS C, D, & E
4906, 4908 & 4910 Alameda Blvd. NE
Approval of Permanent Certificate of Occupancy (C.O.)
Engineer's Stamp dated 07/11/2003 (C-17/D115)
Certification dated 06/21/2004

Dear Greg,

Based upon the information provided in your submittal received 06/21/2004, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology

If you have any questions, you can contact me at 924-3982.

Sincerely,

Arlene V. Portillo
Plan Checker, Planning Dept. - Hydrology
Development and Building Services

C: Phyllis Villanueva
CFile

DRAINAGE INFORMATION SHEET
(REV. 1/28/2003rd)

PROJECT TITLE:	Otono Plaza	ZONE MAP/DRG #:	C-17 / D115
DRB#:	EPC #:	W.O.#:	715481
LEGAL DESCRIPTION:	Tract F-1-A Loop Industrial District Unit 1		
CITY ADDRESS:	4906, 4908 & 4910 ALAMEDA BLVD NE		
ENGINEERING FIRM:	Mark Goodwin & Associates, PA	CONTACT:	Gregory J. Krenik, PE
ADDRESS:	PO Box 90606	PHONE:	828-2200
CITY, STATE:	Albuquerque, NM	ZIP CODE:	87199
OWNER:	Otono Partners LLC	CONTACT:	Knight Seavey
ADDRESS:	57 Rock Point Place NE	PHONE:	975-0500
CITY, STATE:	Albuquerque, NM	ZIP CODE:	87122
ARCHITECT:	Insite Works	CONTACT:	Knight Seavey
ADDRESS:	57 Rock Point Place NE	PHONE:	975-0500
CITY, STATE:	Albuquerque	ZIP CODE:	87122
SURVEYOR:		CONTACT:	
ADDRESS:		PHONE:	
CITY, STATE:		ZIP CODE:	
CONTRACTOR:		CONTACT:	
ADDRESS:		PHONE:	
CITY, STATE:		ZIP CODE:	

CHECK TYPE OF SUBMITTAL:

<input type="checkbox"/>	DRAINAGE REPORT
<input type="checkbox"/>	DRAINAGE PLAN 1 ST SUBMITTAL, req. TCL or equal
<input type="checkbox"/>	DRAINAGE PLAN RESUBMITTAL
<input type="checkbox"/>	CONCEPTUAL GRADING & DRAINAGE PLAN
<input type="checkbox"/>	GRADING PLAN
<input type="checkbox"/>	EROSION CONTROL PLAN
<input checked="" type="checkbox"/>	ENGINEER'S CERTIFICATION (HYDROLOGY)
<input type="checkbox"/>	CLOMR/LOMR
<input type="checkbox"/>	TRAFFIC CIRCULATION LAYOUT (TCL)
<input type="checkbox"/>	ENGINEER'S CERTIFICATION (TCL)
<input type="checkbox"/>	ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
<input type="checkbox"/>	OTHER


CHECK TYPE OF APPROVAL SOUGHT:

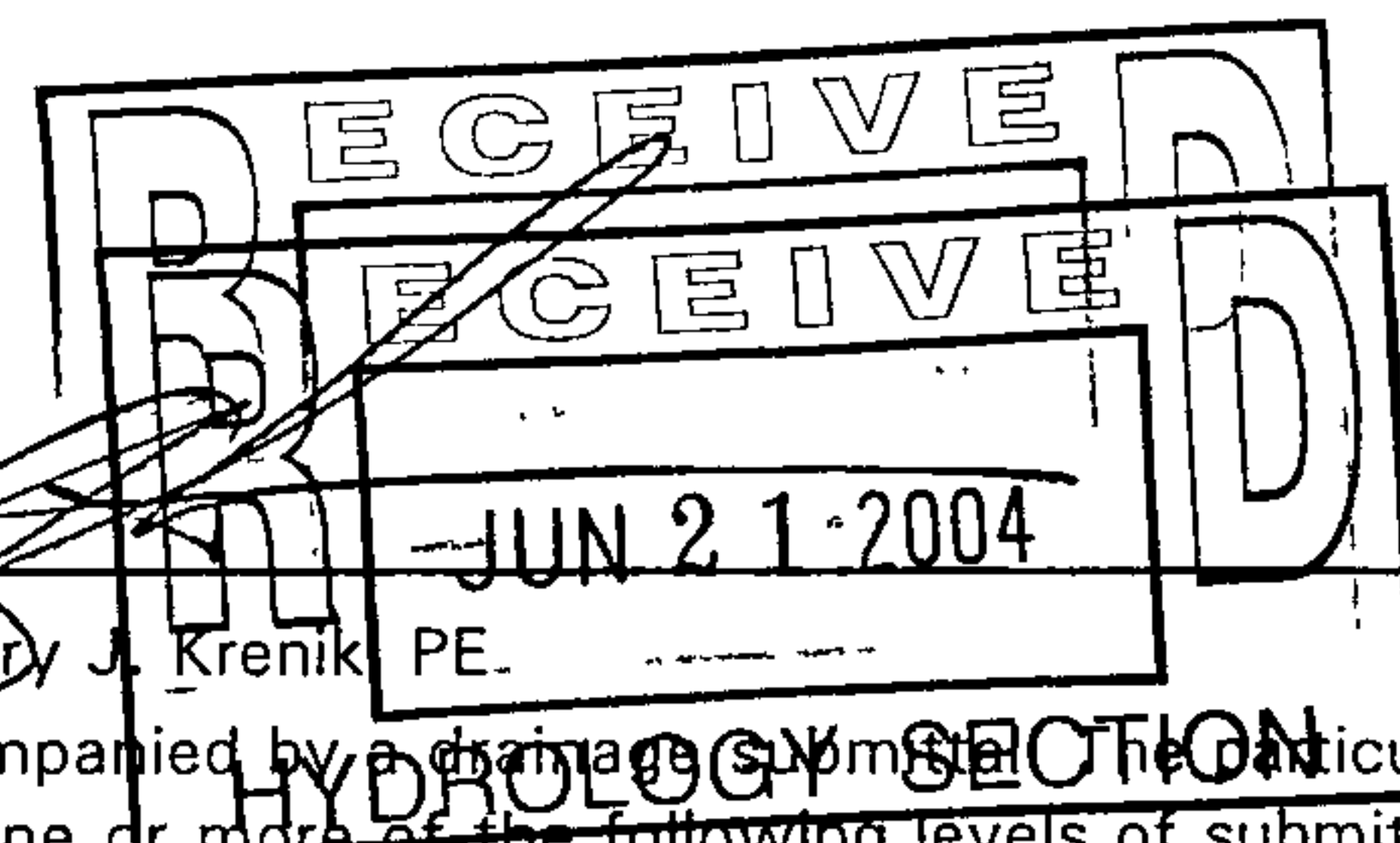
<input type="checkbox"/>	SIA / FINANCIAL GUARANTEE RELEASE
<input type="checkbox"/>	PRELIMINARY PLAT APPROVAL
<input type="checkbox"/>	S. DEV. PLAN FOR SUB'D. APPROVAL
<input type="checkbox"/>	S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
<input type="checkbox"/>	SECTOR PLAN APPROVAL
<input type="checkbox"/>	FINAL PLAT APPROVAL
<input type="checkbox"/>	FOUNDATION PERMIT APPROVAL
<input type="checkbox"/>	BUILDING PERMIT APPROVAL
<input checked="" type="checkbox"/>	CERTIFICATE OF OCCUPANCY (PERM) FOR BLDGS
<input type="checkbox"/>	CERTIFICATE OF OCCUPANCY (TEMP) C, D & E
<input type="checkbox"/>	GRADING PERMIT APPROVAL
<input type="checkbox"/>	PAVING PERMIT APPROVAL
<input type="checkbox"/>	WORK ORDER APPROVAL
<input type="checkbox"/>	OTHER (specify) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED?

☐ YES
☐ NO
☐ COPY PROVIDED

DATE SUBMITTED: 6-21-04

BY:  Gregory J. Krenik, PE.



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage summary of the particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

March 11, 2004

**Re: Ontono Plaza Building C, 4906 Alameda Blvd., Certificate of Occupancy
Engineer's Stamp dated 7-11-03 (C17/D115)**

The above referenced certification is approved for release of 30-day temporary Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro
Engineering Associate, Planning Dept.
Development and Building Services

C: Phyllis Villanueva
file

5/18/04 → extended 30 more days



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

July 17, 2003

Gregory Krenik, PE
Mark Goodwin & Associates
PO Box 90606
Albuquerque, NM 87199

RE: Otono Plaza Drainage Report (C-17/D115)
Engineer's Stamp Dated July 11, 2003

Dear Mr. Krenik:

Based upon the information provided in your submittal received July 14, 2003, the above referenced plan is approved for Building Permit, Grading Permit and SO#19 Permit. A separate permit (SO#19) is required for construction within City R/W. A copy of this approval letter must be on hand when applying for the excavation permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, an Engineer Certification per the DPM checklist will be required.

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. Refer to the attachment that is provided with this letter for details. If you have any questions please feel free to call the Public Works Hydrology section at 768-3654 (Charles Caruso) or 768-3645 (Brian Wolfe).

If you have any questions please call me at 924-3982.

Sincerely,

Carlos A. Montoya, PE
City Floodplain Administrator

C: Charles Caruso, Public Works Hydrology
Matt Cline, Arroyo Maintenance
Pam Lujan, Excavation Permits

File



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

May 29, 2003

Gregory Krenik, PE
Mark Goodwin & Associates
PO Box 90606
Albuquerque, NM 87199

RE: Otono Plaza Grading & Drainage Plan (C-17/D115)
Engineer's Stamp Dated May 8, 2003

Dear Mr. Krenik:

The above referenced grading and drainage plan received May 9, 2003 is approved for Site Plan for Subdivision and Site Plan for Building Permit action by the DRB. Prior to Building Permit approval the following comments must be addressed:

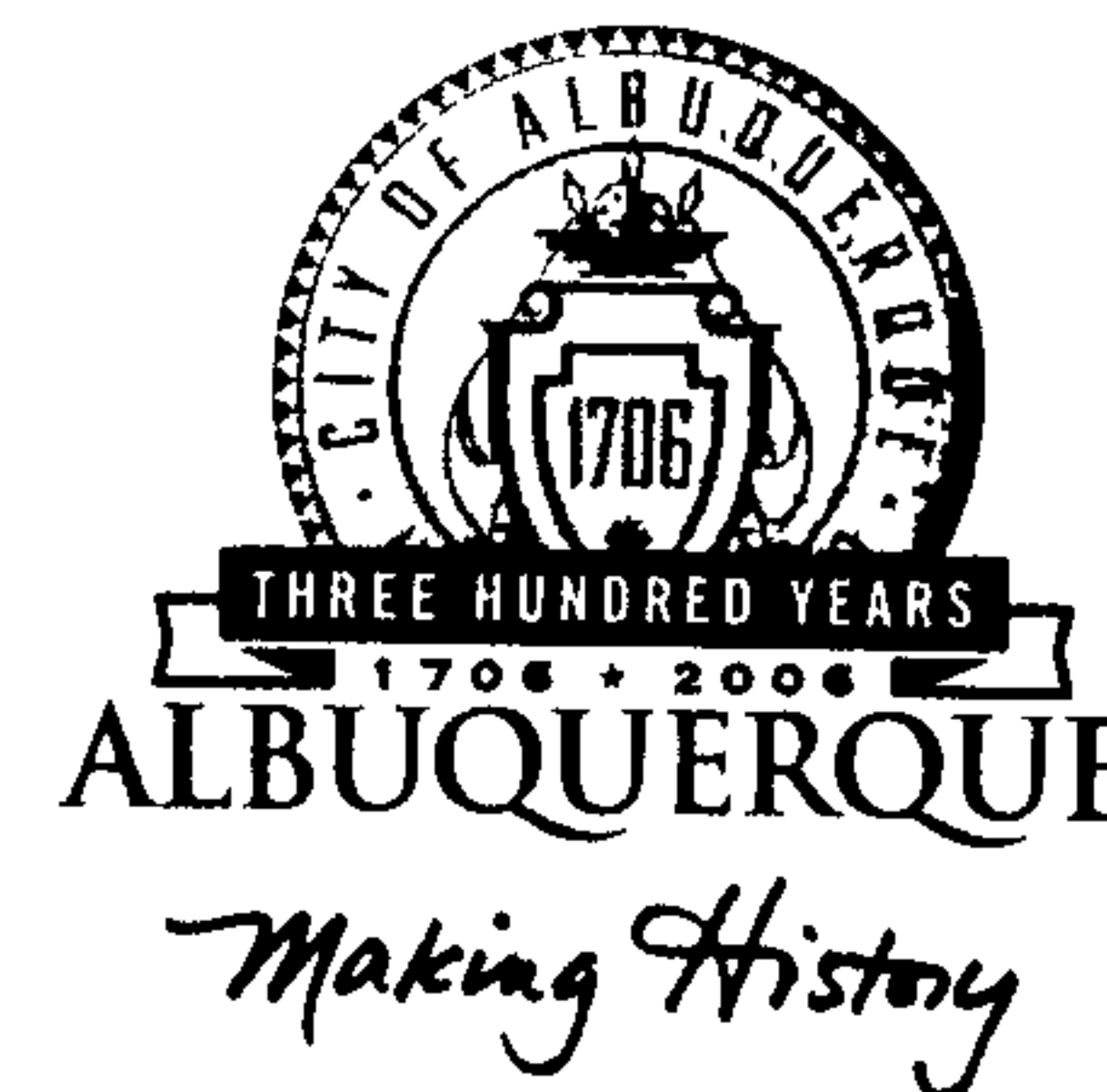
- Please show how runoff from Phase I will not erode Phase II area. Show interim drainage for Phase II while Phase I is being built.
- How is the runoff on the southwest corner of the site going to be controlled?
- Are there any offsite flows? If so, please quantify.
- Please provide duplicate plan for Storm Drain Inspector for building permit.

If you have any questions please call me at 924-3982.

Sincerely,

Carlos A. Montoya, PE
City Floodplain Administrator

CITY OF ALBUQUERQUE



April 27, 2005

Mr. Gregory J. Krenik, P.E.
MARK GOODWIN & ASSOCIATES
P.O. Box 90606
Albuquerque, NM 87199

Re: OTONO PLAZA, BUILDINGS A, B, & F
4900, 4902 & 4904 Alameda Blvd. NE
Approval of Permanent Certificate of Occupancy (C.O.)
Engineer's Stamp dated 06/17/2004 (C-17/D115)
Certification dated 04/21/2005

Dear Greg,

P.O. Box 1293

Based upon the information provided in your submittal received 04/22/2005, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3982.

Sincerely,

Arlene V. Portillo
Plan Checker, Planning Dept. - Hydrology
Development and Building Services

New Mexico 87103

www.cabq.gov

C: Phyllis Villanueva
File



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

June 22, 2004

Gregory Krenik, P.E.
Mark Goodwin & Associates
PO Box 90606
Albuquerque, NM 87199

**Re: Otono Plaza Ph. 2, Alameda Blvd. / Jefferson St., Grading and Drainage Plan
Engineer's Stamp dated 6-17-04 (C17/D115)**

Dear Mr. Krenik,

Based upon the information provided in your submittal received 6-18-04, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

A separated permit (SO#19) is required for construction within City Right of Way. A copy of this approval letter must be on hand when applying for the excavation permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required. At certification, please verify that all roof flows remain in the basin.

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. If you have any questions regarding this permit please feel free to call the DMD Storm Drainage Design section at 768-3654 (Charles Caruso) or 768-3645 (Bryan Wolfe).

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro
Engineering Associate, Planning Dept.
Development and Building Services.

C: Matt Cline, Arroyo Maintenance
Pam Lujan, Excavation Permits
Charles Caruso, DMD Storm Drainage Design
File



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

January 30, 2004

Gregory Krenik, P.E.
Mark Goodwin & Associates, PA
P.O. Box 90606
Albuquerque, NM 87199

**Re: Otono Plaza Ph. 2, Alameda Blvd / Jefferson St, Grading and Drainage Plan
Engineer's Stamp dated 12-16-03 (C17/D115)**

Dear Mr. Krenik,

Based upon the information provided in your submittal received 12-16-03, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

A separate permit (SO#19) is required for construction within City Right of Way. A copy of this approval letter must be on hand when applying for the excavation permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required. At certification, please verify that all roof flows remain in the basin.

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. If you have any questions regarding this permit please feel free to call the DMD Storm Drainage Design section at 768-3654 (Charles Caruso) or 768-3645 (Bryan Wolfe).

If you have any questions, you can contact me at 924-3981.

Sincerely,

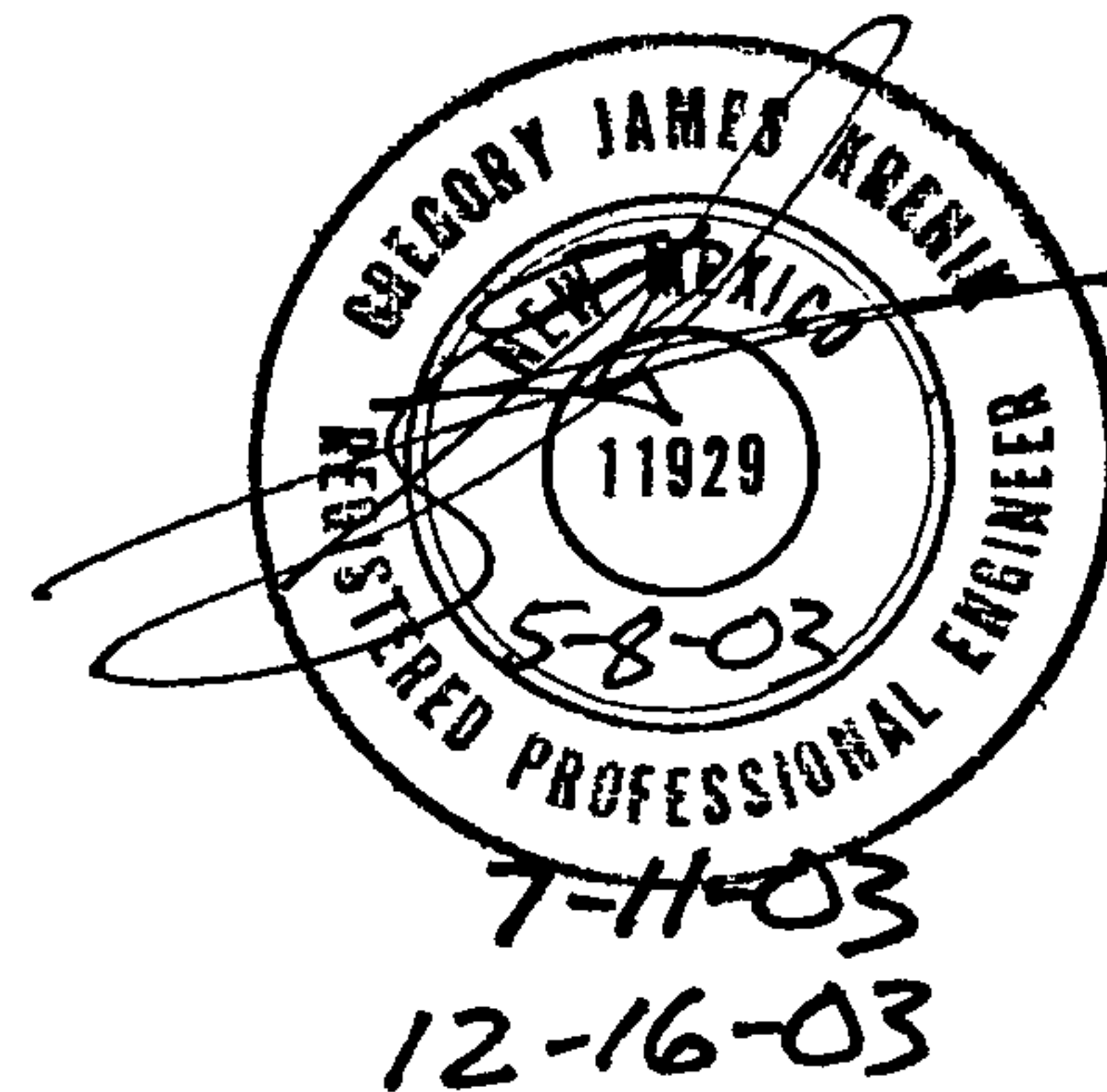
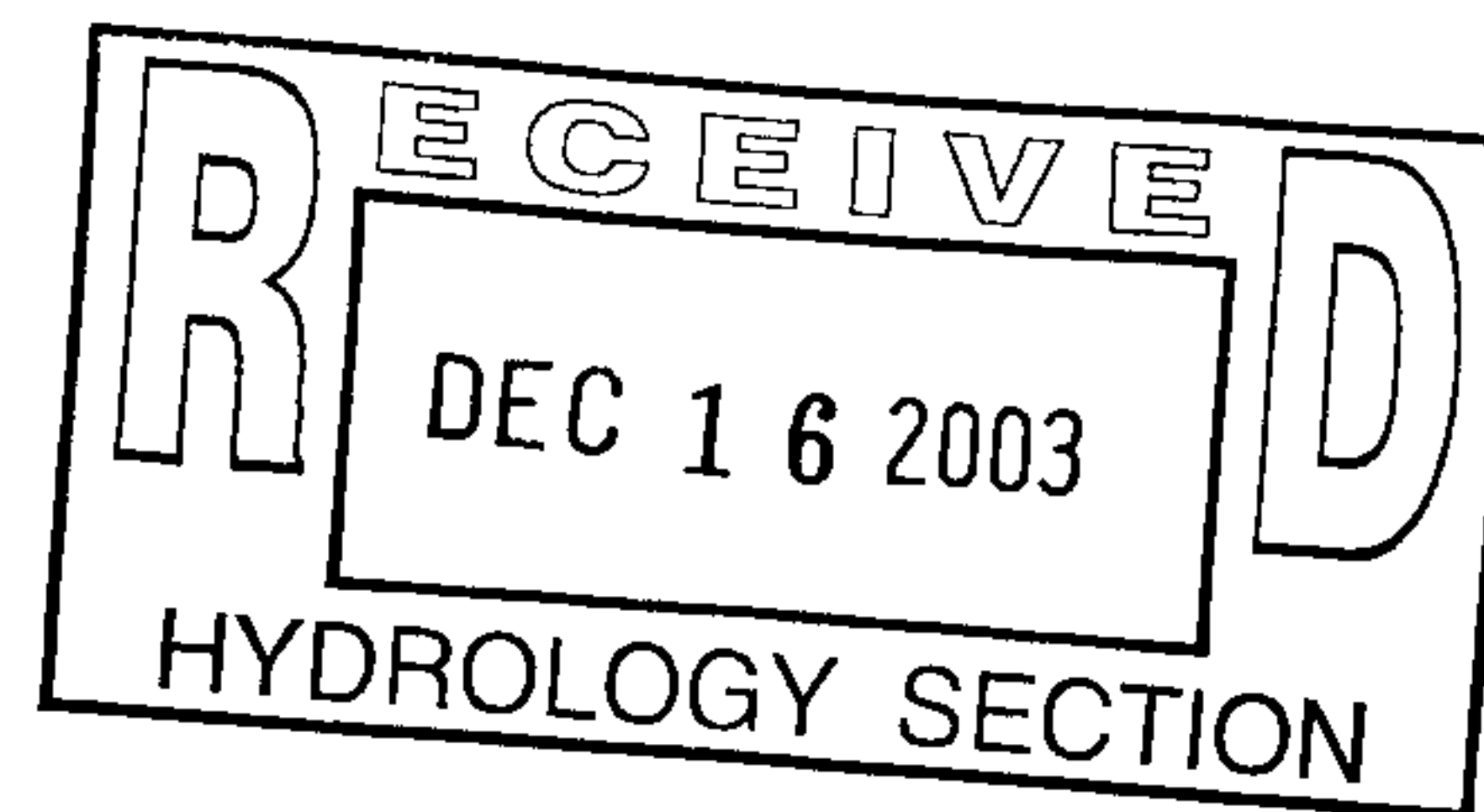
Kristal D. Metro
Engineering Associate, Planning Dept.
Development and Building Services
ZLB

C: Matt Cline, Arroyo Maintenance
Pam Lujan, Excavation Permits
Charles Caruso, DMD Storm Drainage Design
File

DRAINAGE REPORT

for

OTONO PLAZA - PHASE 2



MAY, 2003



D. Mark Goodwin & Associates, P.A.
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 828-2200 FAX 797-9539
e-mail: dmg@swcp.com

PROJECT OTONO PLAZA
SUBJECT DRAINAGE CALCS
BY GJK DATE 5-1-03
CHECKED _____ DATE _____
SHEET 1 OF _____
REVISED 7-11-03 12-16-03

- SITE IS 5.0 AC AT THE SOUTHEAST CORNER OF JEFFERSON AND ALAMEDA, THERE IS A 0.5624 AC OFFSITE BASIN TO THE EAST WHICH WILL BE ALLOWED TO DRAIN ONTO OUR SITE AS UNDEVELOPED
- SITE IS NOT IN A 100 YR FLOOD ZONE
- DISCHARGE IS RESTRICTED TO THE 10 YEAR RATE PER SAH 201,
TYPE "B" = 18.69 % = 0.9345 AC
TYPE "D" = 81.31 % = 4.0655 AC
OFFSITE BASIN
100 % "A" = 0.5624 AC
 $P_1 = 2.05 \text{ in}$
 $P_6 = 2.4 \text{ in}$
 $P_{24} = 2.7 \text{ in}$

FROM AHYMO OUTPUT SHEETS 2-6

$$Q = 22.62 \text{ CFS}$$

$$Q_{\text{ALLOWABLE}} = 0.667(22.62) \\ = 15.09 \text{ CFS}$$

- USE A 17" ORIFICE OVER 24" RCP FOR THE CONTROL IN THE INLET AT DISCHARGE POINT

FROM AHYMO OUTPUT SHEETS 2-6

$$\text{PEAK DISCHARGE} = 14.25 \text{ CFS} < 15.09 \text{ OK}$$

$$\text{MAX WATER SURFACE} = 25.39 < 25.50 \text{ OK}$$

• SIZE INLET

USE 2 - "DBL D" INLETS

EXISTING DBL "D" INLET
INV = 20.44

126 LF 24" RCP
@ S = 0.392 %

45° BEND
INV = 20.93

55 LF 24" RCP
S = 0.392 %

GATE = 24.40
INV = 21.15
5'

ELEV	AREA(SF)	VOLUME(AC-FT)
21.15	30	0
22.15	30	0.000689
23.15	30	0.001377
24.15	30	0.002060
24.40	30	0.002238
24.50	650	0.003019
25.50	8900	0.112638

$$Q/A = 3.0 H^{1.5}$$

$$P = 22$$

$$Q = 22.62 \text{ CFS}$$

$$H = 0.49 \text{ ORIFICE CONTROLS OK}$$

ASSUME 50 % CLOGGED

$$H = 0.78 \text{ ORIFICE CONTROLS OK}$$

```

START                                TIME=0.0
*****
*****  HYDROGRAPH FOR OTONO PLAZA
***
**EXISTING CONDITIONS
RAINFALL                            TYPE=1 RAIN QUARTER=0.0 IN
                                      RAIN ONE=2.05 IN RAIN SIX=2.40 IN
                                      RAIN DAY=2.7 IN DT=0.03333 HR

COMPUTE NM HYD                      ID=1 HYD NO=101 AREA=0.007813 SQ MI
                                      PER A=0 PER B=100 PER C=0 PER D=0
                                      TP=0.1333 HR MASS RAINFALL=-1
PRINT HYD                           ID=1 CODE=1
*
**DEVELOPED CONDITIONS
COMPUTE NM HYD                      ID=2 HYD NO=102 AREA=0.007813 SQ MI
                                      PER A=0 PER B=18.69 PER C=0 PER D=81.31
                                      TP=0.1333 HR MASS RAINFALL=-1
PRINT HYD                           ID=2 CODE=1
*
**OFFSITE BASIN - 50' STRIP OF CHICK'S HARLEY-DAVIDSON TO THE EAST
COMPUTE NM HYD                      ID=3 HYD NO=103 AREA=0.000879 SQ MI
                                      PER A=100 PER B=0 PER C=0 PER D=0
                                      TP=0.1333 HR MASS RAINFALL=-1
PRINT HYD                           ID=3 CODE=1
*
ADD HYD                             ID=4 HYD NO=104 ID=2 ID=3
PRINT HYD                           ID=4 CODE=1
*
*ORIFICE = 17"
ROUTE RESERVOIR                    ID=5  HYD NO=105  INLOW ID=4  CODE=24
                                     OUTFLOW  (CFS)    STORAGE (AC-FT)  ELEVATION
                                     0.00          0.00          21.15
                                     4.099          0.000689        22.15
                                     8.626          0.001377        23.15
                                     11.489         0.002060        24.15
                                     12.100         0.002238        24.40
                                     12.336         0.003019        24.50
                                     14.483         0.112638        25.50
PRINT HYD                           ID=5 CODE=1
FINISH

```

AHYMO PROGRAM (AHYMO194) - AMAFCA Hydrologic Model - January,
1994

RUN DATE (MON/DAY/YR) = 12/16/2003

START TIME (HR:MIN:SEC) = 11:06:26 USER NO.=

M_GOODWN.I01

INPUT FILE = otonopnd.dat

START TIME=0.0

***** HYDROGRAPH FOR OTONO PLAZA

**EXISTING CONDITIONS

RAINFALL

TYPE=1 RAIN QUARTER=0.0 IN

RAIN ONE=2.05 IN RAIN SIX=2.40 IN

RAIN DAY=2.7 IN DT=0.03333 HR

COMPUTED 6-HOUR RAINFALL DISTRIBUTION BASED ON NOAA
ATLAS 2 - PEAK AT 1.40 HR.

DT = .033330 HOURS END TIME = 5.999400

HOURS

	.0000	.0017	.0034	.0051	.0069	.0087
.0106						
	.0125	.0145	.0165	.0185	.0206	.0228
.0250						
	.0273	.0297	.0321	.0346	.0372	.0399
.0427						
	.0455	.0485	.0516	.0549	.0583	.0618
.0656						
	.0695	.0736	.0780	.0836	.0897	.0962
.1101						
	.1412	.1890	.2578	.3516	.4750	.6323
.8281						
	1.0671	1.2889	1.3816	1.4598	1.5294	1.5927
1.6509						
	1.7050	1.7556	1.8030	1.8476	1.8896	1.9294
1.9670						
	2.0026	2.0364	2.0685	2.0989	2.1278	2.1345
2.1407						
	2.1466	2.1523	2.1576	2.1628	2.1677	2.1724
2.1770						
	2.1814	2.1857	2.1898	2.1938	2.1977	2.2015
2.2052						
	2.2087	2.2122	2.2157	2.2190	2.2222	2.2254
2.2285						
	2.2316	2.2346	2.2375	2.2404	2.2432	2.2460
2.2487						
	2.2513	2.2540	2.2566	2.2591	2.2616	2.2641
2.2665						
	2.2689	2.2712	2.2735	2.2758	2.2781	2.2803
2.2825						
	2.2847	2.2868	2.2889	2.2910	2.2931	2.2951
2.2971						
	2.2991	2.3011	2.3030	2.3049	2.3068	2.3087
2.3106						
	2.3124	2.3142	2.3160	2.3178	2.3196	2.3213
2.3231						
	2.3248	2.3265	2.3282	2.3298	2.3315	2.3331
2.3348						
	2.3364	2.3380	2.3395	2.3411	2.3427	2.3442

2.3457
 2.3561
 2.3660
 2.3754
 2.3843
 2.3929

2.3473	2.3488	2.3503	2.3517	2.3532	2.3547
2.3576	2.3590	2.3604	2.3618	2.3632	2.3646
2.3673	2.3687	2.3701	2.3714	2.3727	2.3740
2.3767	2.3780	2.3793	2.3805	2.3818	2.3831
2.3856	2.3868	2.3880	2.3893	2.3905	2.3917
2.3941	2.3953	2.3965	2.3976	2.3988	2.4000

COMPUTE NM HYD ID=1 HYD NO=101 AREA=0.007813 SQ MI
 PER A=0 PER B=100 PER C=0 PER D=0
 TP=0.1333 HR MASS RAINFALL=-1

K = .132570HR TP = .133300HR K/TP RATIO = .994525
 SHAPE CONSTANT, N = 3.549967
 UNIT PEAK = 18.988 CFS UNIT VOLUME = .9996 B =
 323.96 P60 = 2.0500
 AREA = .007813 SQ MI IA = .50000 INCHES INF =
 1.25000 INCHES PER HOUR
 RUNOFF COMPUTED BY INITIAL ABSTRACTION/INFILTRATION NUMBER
 METHOD - DT = .033330

PRINT HYD ID=1 CODE=1

PARTIAL HYDROGRAPH 101.00

RUNOFF VOLUME = .81295 INCHES = .3387 ACRE-FEET
 PEAK DISCHARGE RATE = 11.77 CFS AT 1.533 HOURS BASIN
 AREA = .0078 SQ. MI.

*

**DEVELOPED CONDITIONS

COMPUTE NM HYD ID=2 HYD NO=102 AREA=0.007813 SQ MI
 PER A=0 PER B=18.69 PER C=0 PER D=81.31
 TP=0.1333 HR MASS RAINFALL=-1

K = .072649HR TP = .133300HR K/TP RATIO = .545000
 SHAPE CONSTANT, N = 7.106420
 UNIT PEAK = 25.081 CFS UNIT VOLUME = .9989 B =
 526.28 P60 = 2.0500
 AREA = .006353 SQ MI IA = .10000 INCHES INF =
 .04000 INCHES PER HOUR
 RUNOFF COMPUTED BY INITIAL ABSTRACTION/INFILTRATION NUMBER
 METHOD - DT = .033330

K = .132570HR TP = .133300HR K/TP RATIO = .994525
 SHAPE CONSTANT, N = 3.549967
 UNIT PEAK = 3.5488 CFS UNIT VOLUME = .9965 B =
 323.96 P60 = 2.0500
 AREA = .001460 SQ MI IA = .50000 INCHES INF =
 1.25000 INCHES PER HOUR
 RUNOFF COMPUTED BY INITIAL ABSTRACTION/INFILTRATION NUMBER
 METHOD - DT = .033330

5

PRINT HYD

ID=2 CODE=1

PARTIAL HYDROGRAPH 102.00

RUNOFF VOLUME = 1.91234 INCHES = .7969 ACRE-FEET
PEAK DISCHARGE RATE = 21.71 CFS AT 1.500 HOURS BASIN
AREA = .0078 SQ. MI.

*

**OFFSITE BASIN - 50' STRIP OF CHICK'S HARLEY-DAVIDSON TO THE EAST
COMPUTE NM HYD ID=3 HYD NO=103 AREA=0.000879 SQ MI
PER A=100 PER B=0 PER C=0 PER D=0
TP=0.1333 HR MASS RAINFALL=-1

K = .159146HR TP = .133300HR K/TP RATIO = 1.193894
SHAPE CONSTANT, N = 2.975114
UNIT PEAK = 1.8450 CFS UNIT VOLUME = .9919 B =
279.79 P60 = 2.0500
AREA = .000879 SQ MI IA = .65000 INCHES INF =
1.67000 INCHES PER HOUR
RUNOFF COMPUTED BY INITIAL ABSTRACTION/INFILTRATION NUMBER
METHOD - DT = .033330

PRINT HYD

ID=3 CODE=1

PARTIAL HYDROGRAPH 103.00

RUNOFF VOLUME = .56064 INCHES = .0263 ACRE-FEET
PEAK DISCHARGE RATE = .93 CFS AT 1.533 HOURS BASIN
AREA = .0009 SQ. MI.

*

ADD HYD ID=4 HYD NO=104 ID=2 ID=3
PRINT HYD ID=4 CODE=1

PARTIAL HYDROGRAPH 104.00

RUNOFF VOLUME = 1.77560 INCHES = .8231 ACRE-FEET
PEAK DISCHARGE RATE = 22.62 CFS AT 1.500 HOURS BASIN
AREA = .0087 SQ. MI.

*

*ORIFICE = 17"
ROUTE RESERVOIR

ID=5	HYD NO=105	INLOW ID=4	CODE=24
OUTFLOW (CFS)	STORAGE (AC-FT)	ELEVATION	
0.00	0.00	21.15	
4.099	0.000689	22.15	
8.626	0.001377	23.15	
11.489	0.002060	24.15	
12.100	0.002238	24.40	
12.336	0.003019	24.50	

14.483

0.112638

25.50

* * * * *

TIME (HRS)	INFLOW (CFS)	ELEV (FEET)	VOLUME (AC-FT)	OUTFLOW (CFS)
---------------	-----------------	----------------	-------------------	------------------

.00	.00	21.15	.000	.00
.80	.00	21.15	.000	.00
1.60	15.89	25.38	.099	14.22
2.40	.95	21.35	.000	.81
3.20	.20	21.20	.000	.20
4.00	.12	21.18	.000	.12
4.80	.11	21.18	.000	.11
5.60	.13	21.18	.000	.13
6.40	.01	21.15	.000	.01

PEAK DISCHARGE = 14.246 CFS - PEAK OCCURS AT HOUR 1.63

MAXIMUM WATER SURFACE ELEVATION = 25.390

MAXIMUM STORAGE = .1005 AC-FT INCREMENTAL TIME=

.033330HRS

PRINT HYD

ID=5 CODE=1

PARTIAL HYDROGRAPH 105.00

RUNOFF VOLUME = 1.77560 INCHES = .8231 ACRE-FEET

PEAK DISCHARGE RATE = 14.25 CFS AT 1.633 HOURS BASIN

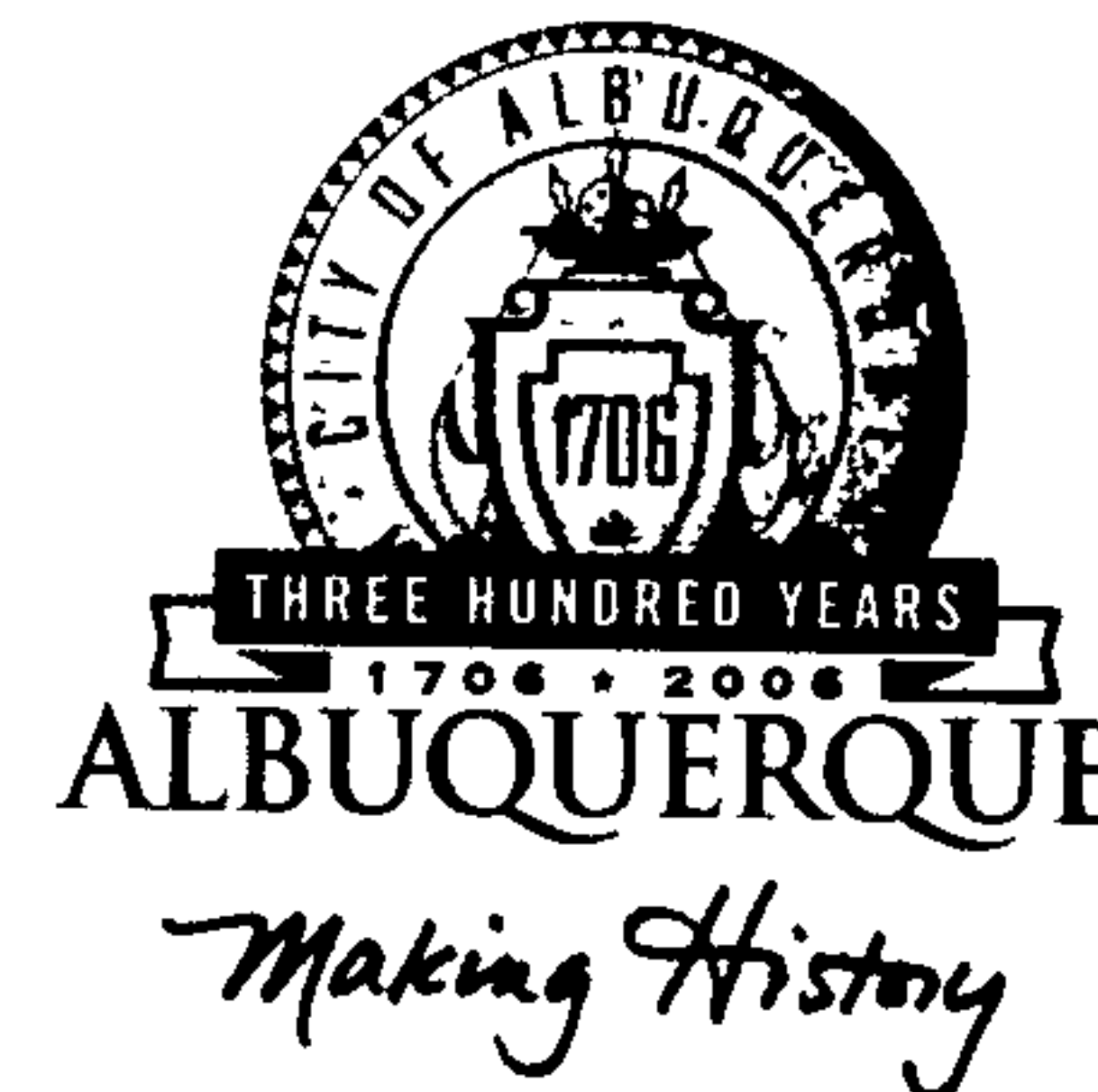
AREA = .0087 SQ. MI.

FINISH

NORMAL PROGRAM FINISH

END TIME (HR:MIN:SEC) = 11:06:26

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

April 14, 2005

Knight Seavey, Registered Architect
57 Rock Point NE
Albuquerque, NM 87122

Re: Certification Submittal for Final Building Certificate of Occupancy for
Otono Plaza Phase 1A, [C-17/D115]
4904 Alameda Blvd NE
Architect's Stamp Dated 04/14/05

Dear Mr. Seavey:

P.O. Box 1293

The TCL / Letter of Certification submitted on April 13, 2005 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Albuquerque

Sincerely,

New Mexico 87103

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

www.cabq.gov

c: Engineer
Hydrology file
CO Clerk

Project: Otono Plaza, Phase 1A - 4904 Alameda Blvd. NE
RE: Traffic Certification

Date: Thursday, April 14, 2005
From: Knight Seavey, AIA, AICP
Distribution: Arlene Portillo – Plan Reviewer
City of Albuquerque Public Works Dept.
Transportation Division
600 2nd Street NW
Albuquerque, NM 87102

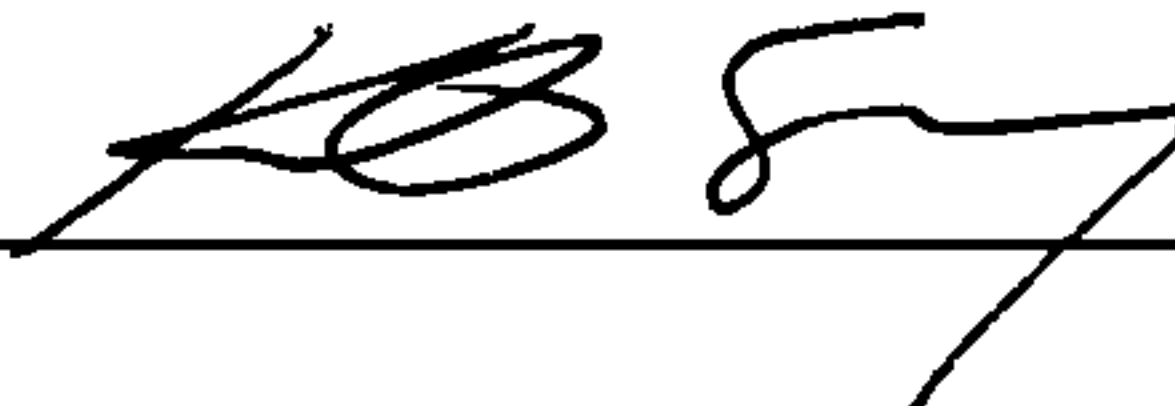
I, Knight Seavey, NMRA, of the firm Insiteworks, hereby certify that the above referenced project is in substantial compliance with and in accordance with the design intent of the approved site development plan dated January 26, 2004. The record information edited onto the original design document has been obtained by Knight Seavey of the firm Insiteworks. I further certify that I have personally visited the project site on April 11, 2005 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy

The record information presented hereon is not necessarily complete and is intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Please call me at 975-0500 if you have any questions.

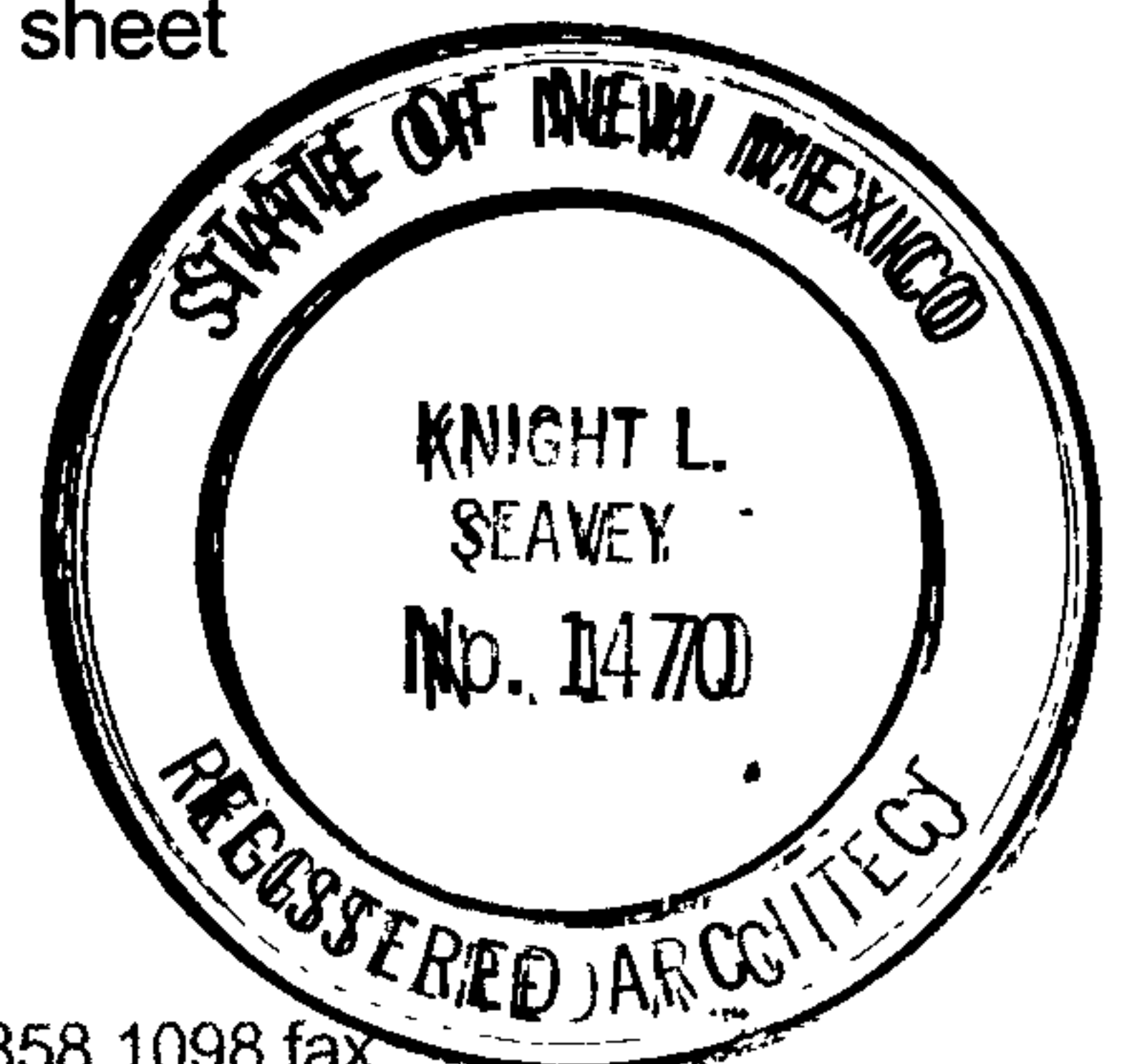
Respectful Submitted,

Knight Seavey, AIA, AICP
Principal



4/14/05
Date

Attachments: DRB approved site development plan, CABQ project information sheet



Here you go!

He needs these
1st thing in the
A.M. ... to Close on Prop 100

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: OTONO PLAZA-PHASE 1A ZONE MAP/DRG. FILE #: C-17/D115
 DRB #: 1000658 EPC#: WORK ORDER#:

LEGAL DESCRIPTION: LOT F1A2, LOOP INDUSTRIAL DISTRICT, UNIT 1
 CITY ADDRESS: 4904 ALAMEDA BLVD, NE

ENGINEERING FIRM: Mark Goodman & Assoc
 ADDRESS: PO BOX 90606
 CITY, STATE: ALBQ, NM

CONTACT: Greg Vrenck
 PHONE: 828-2200
 ZIP CODE: 87199

OWNER: Otono Partners
 ADDRESS: 57 Rock Point Pl. NE
 CITY, STATE: ALBQ, NM

CONTACT: KNIGHT SEANEY
 PHONE: 858-1099
 ZIP CODE: 87122

ARCHITECT: Insiteworks
 ADDRESS: 57 Rock Point Pl. NE
 CITY, STATE: ALBQ, NM

CONTACT: KNIGHT Seanev
 PHONE: 858-1099
 ZIP CODE: 87122

SURVEYOR: Precision Surveys
 ADDRESS: 8414-D. Jefferson NE
 CITY, STATE: ALBQ, NM

CONTACT: Larry Medrano
 PHONE: 856-5700
 ZIP CODE: 87113

CONTRACTOR: Doran Building Contractors
 ADDRESS: 6700-B. JEFFERSON NE
 CITY, STATE: ALBQ, NM

CONTACT: Tom Duncan
 PHONE: 505-610-2800
 ZIP CODE: 87109

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☒ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

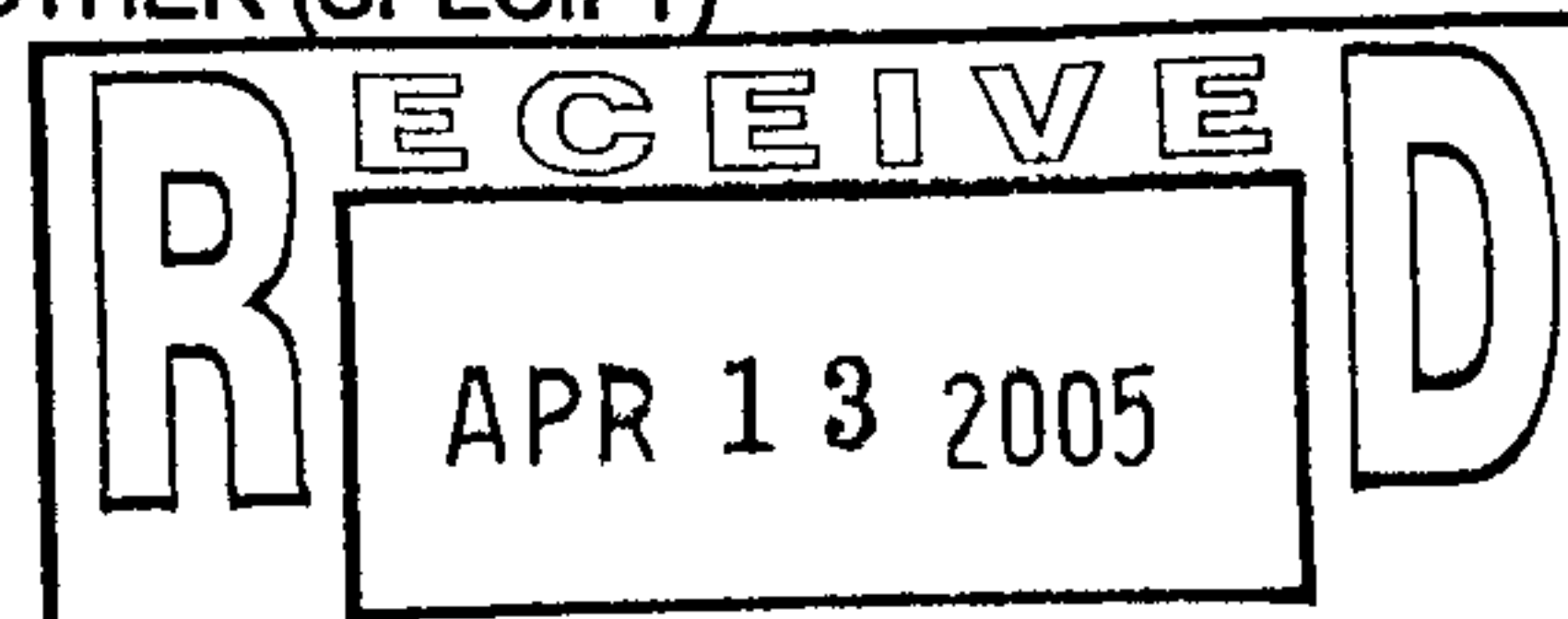
- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☒ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 4/13/05

BY: JUD CERNIAK FOR INSITWORKS



HYDROLOGY SECTION

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

Project: **4904 Alameda Blvd. NE**
RE: **Traffic Improvement Certification**

Date: Tuesday, April 12, 2005
From: Jud Cervenak AIA
Distribution: Mike Zamora – Plan Reviewer
City of Albuquerque Public Works Dept.
Transportation Division
600 2nd Street NW
Albuquerque, NM 87102

The contractor for the above referenced project is seeking a Certificate of Occupancy. Insiteworks has inspected the construction at this project and hereby certifies that the parking and traffic improvements were constructed in substantial conformance with the drawings for this project approved by the City of Albuquerque.

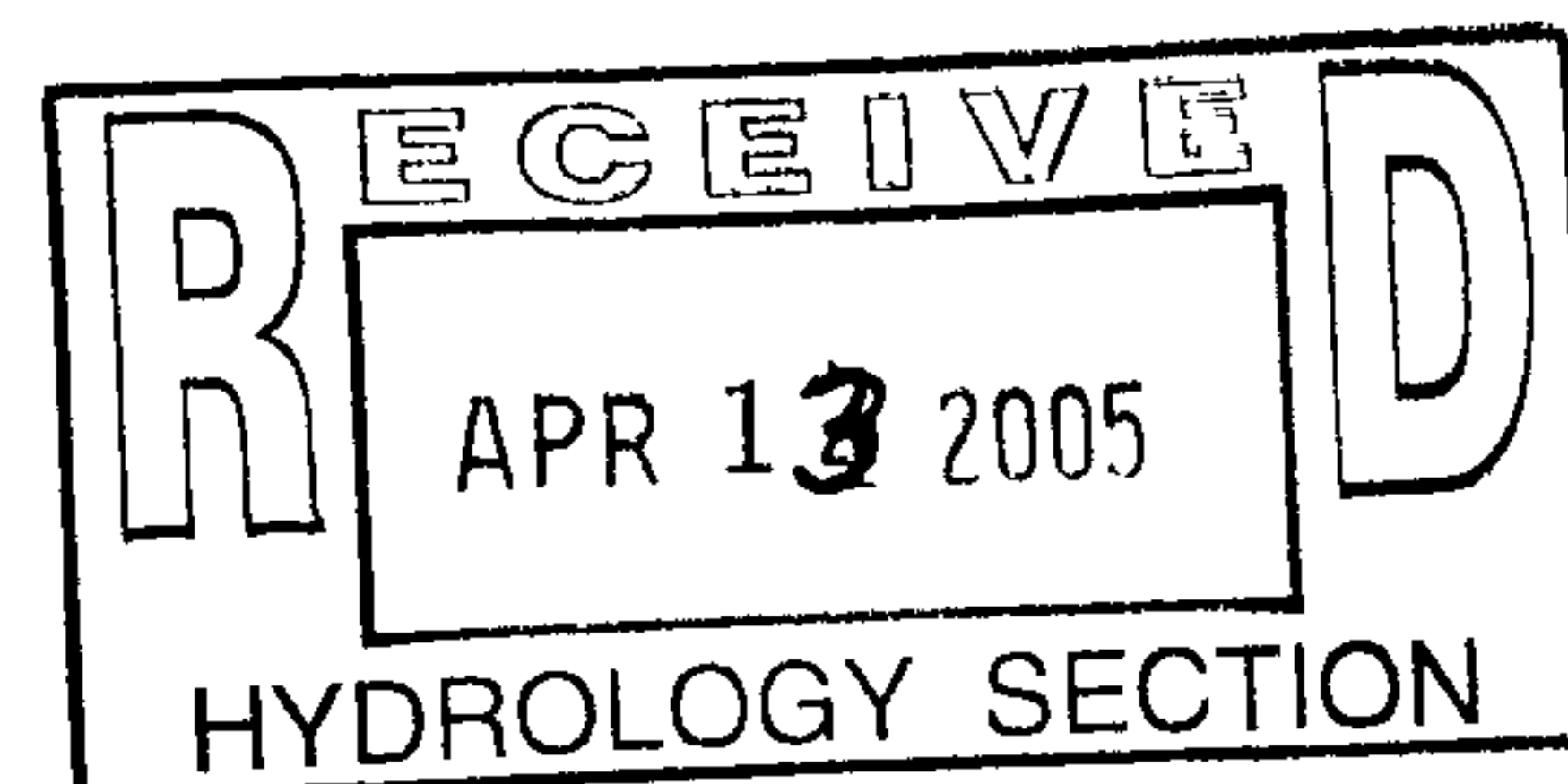
Please find attached a copy of the DRB approved site plan and certification information sheet.

Please call me at (505) 690-5401 (SF number) if you have any questions or need any additional information.

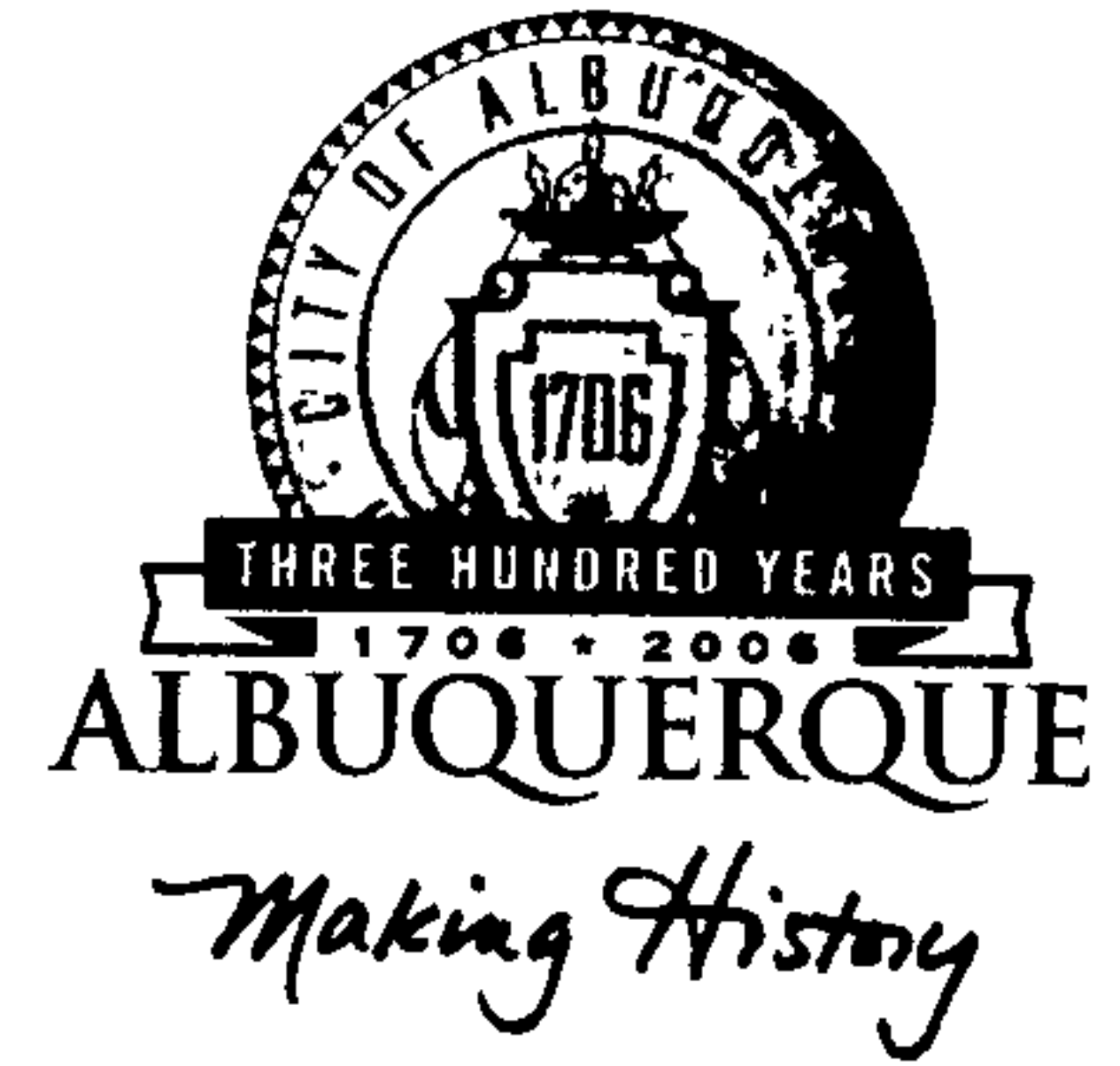
Respectful Submitted,



Jud Cervenak, AIA
Project Architect



CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

July 15, 2004

Knight Seavey, Registered Architect
57 Rock Point Place NE
Albuquerque, NM 87122

Re: Certification Submittal for Final Building Certificate of Occupancy for
Otono Plaza Phase I (Bldg C, D & E), [C-17 / D115]
4906, 4908, 4910 Alameda NE
Architect's Stamp Dated 07/14/04

Dear Mr. Seavey:

P.O. Box 1293

The TCL / Letter of Certification submitted on July 14, 2004 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Albuquerque

Sincerely,

New Mexico 87103

Nilo E. Salgado-Fernández, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

www.cabq.gov

c:Engineer
(Hydrology) file
CO Clerk



ARCHITECTURE
SITE DESIGN DEVELOPMENT

Knight Seavey, AIA

57 Rock Point Place NE | Albuquerque, NM 87122 | 505 975 0500 | knight@insiteworks.com

date		July 14, 2004
project		OTOÑO PLAZA, BLDGS C D & E 4906, 4908 & 4910 Alameda Blvd NE
regarding		Letter of Certification for Transportation Sign-Off for Permanent Final C.O.
distribution		Nilo Salgado @ City of Albuquerque Transportation Department

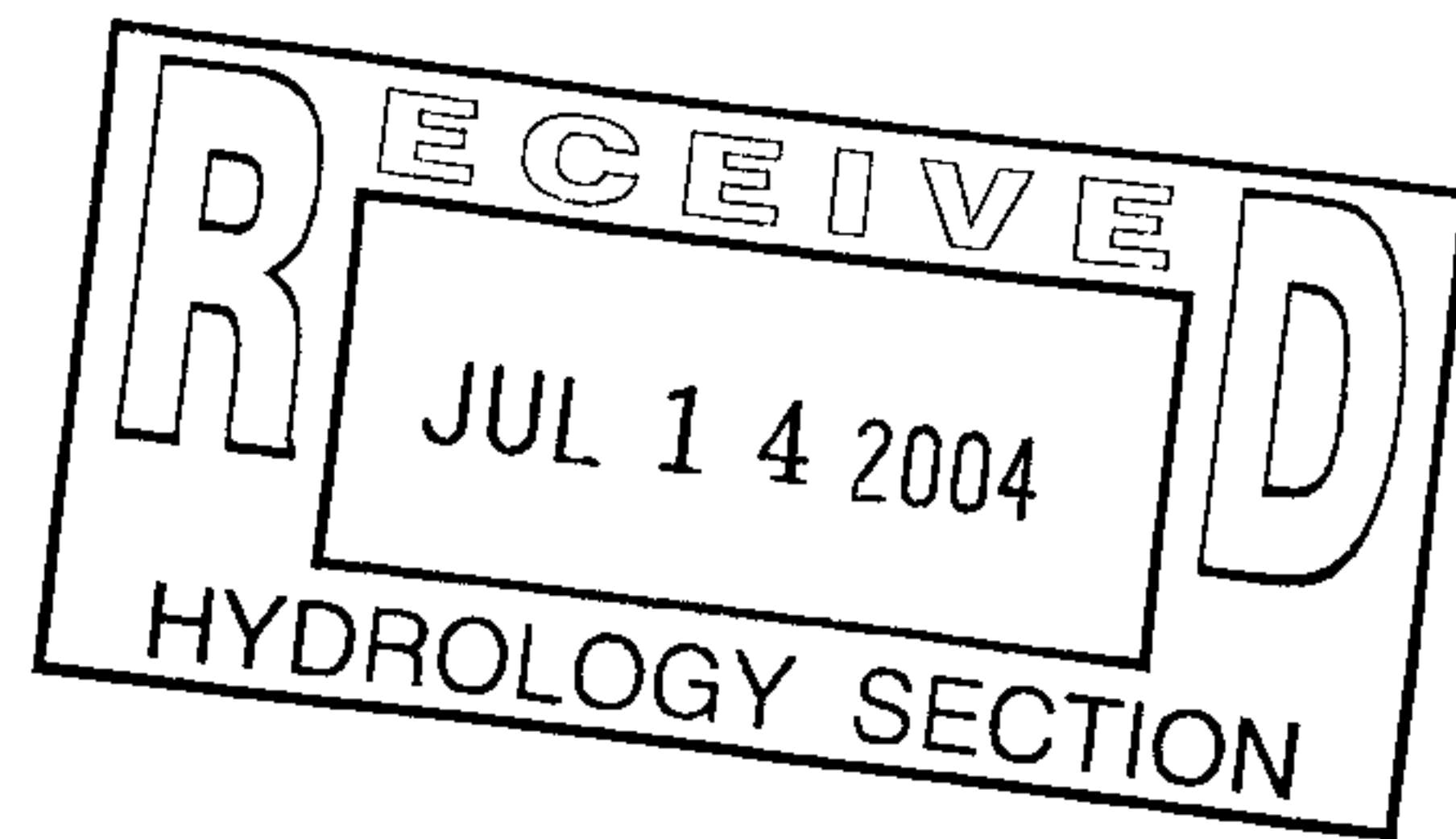
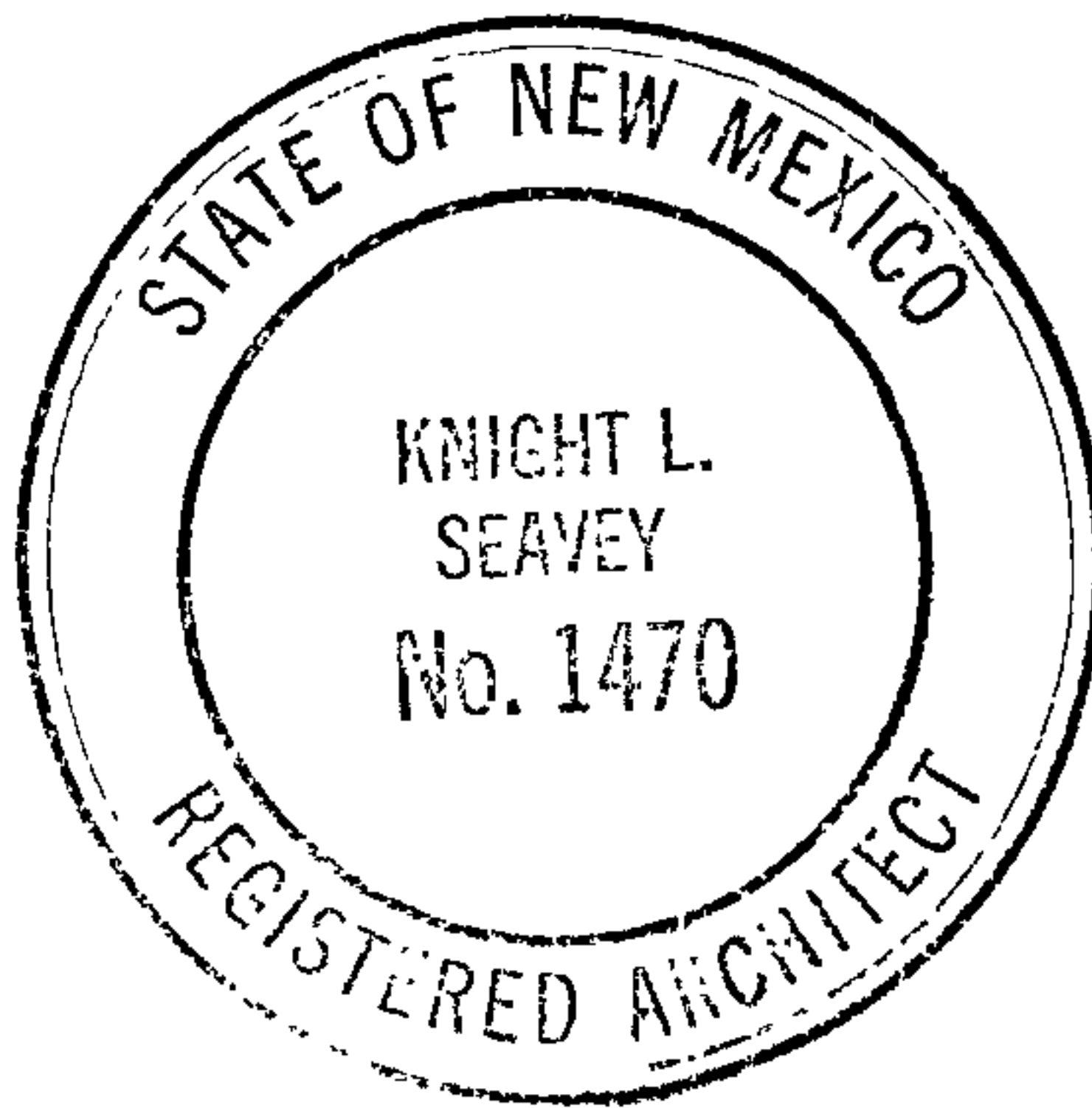
Nilo:

This letter serves to certify that upon inspection of the final improvements made to Buildings C D & E of the Otoño Plaza project located at 4906, 4908 and 4910 Alameda Blvd NE, we find the improvements to be constructed in Substantial Compliance with the DRB approved site plan.

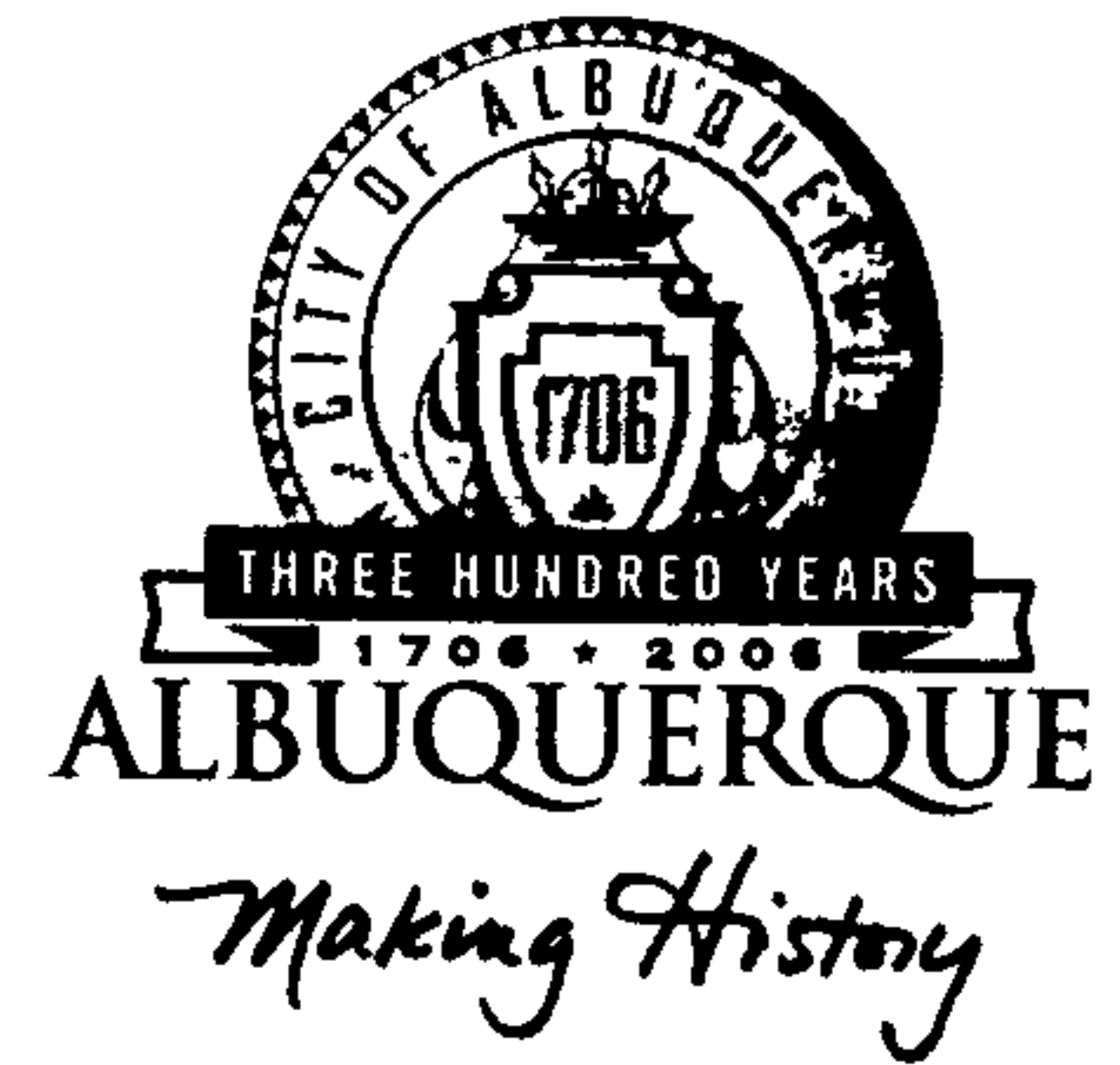
Thank you,

Knight L. Seavey, AIA
President

(Seavey's stamp b-100)



CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

April 14, 2005

Knight Seavey, Registered Architect
57 Rock Point NE
Albuquerque, NM 87122

Re: Certification Submittal for Final Building Certificate of Occupancy for
Otono Plaza Phase 2, [C-17/D115]
4900 & 4902 Alameda Blvd NE
Architect's Stamp Dated 04/14/05

Dear Mr. Seavey:

P.O. Box 1293

The TCL / Letter of Certification submitted on April 13, 2005 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Albuquerque

Sincerely,

New Mexico 87103

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

www.cabq.gov

c: Engineer
Hydrology file
CO Clerk

Project: Otono Plaza, Phase 2 - 4900 & 4902 Alameda Blvd. NE
RE: Traffic Improvement Certification

Date: Thursday, April 14, 2005
From: Knight Seavey, AIA, AICP
Distribution: Arlene Portillo – Plan Reviewer
City of Albuquerque Public Works Dept.
Transportation Division
600 2nd Street NW
Albuquerque, NM 87102


I, Knight Seavey, NMRA, of the firm Insiteworks, hereby certify that the above referenced project is in substantial compliance with and in accordance with the design intent of the approved site development plan dated January 26, 2004 (Rev. 9-23-04). The record information edited onto the original design document has been obtained by Knight Seavey of the firm Insiteworks. I further certify that I have personally visited the project site on April 11, 2005 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy

The record information presented hereon is not necessarily complete and is intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Please call me at 975-0500 if you have any questions.

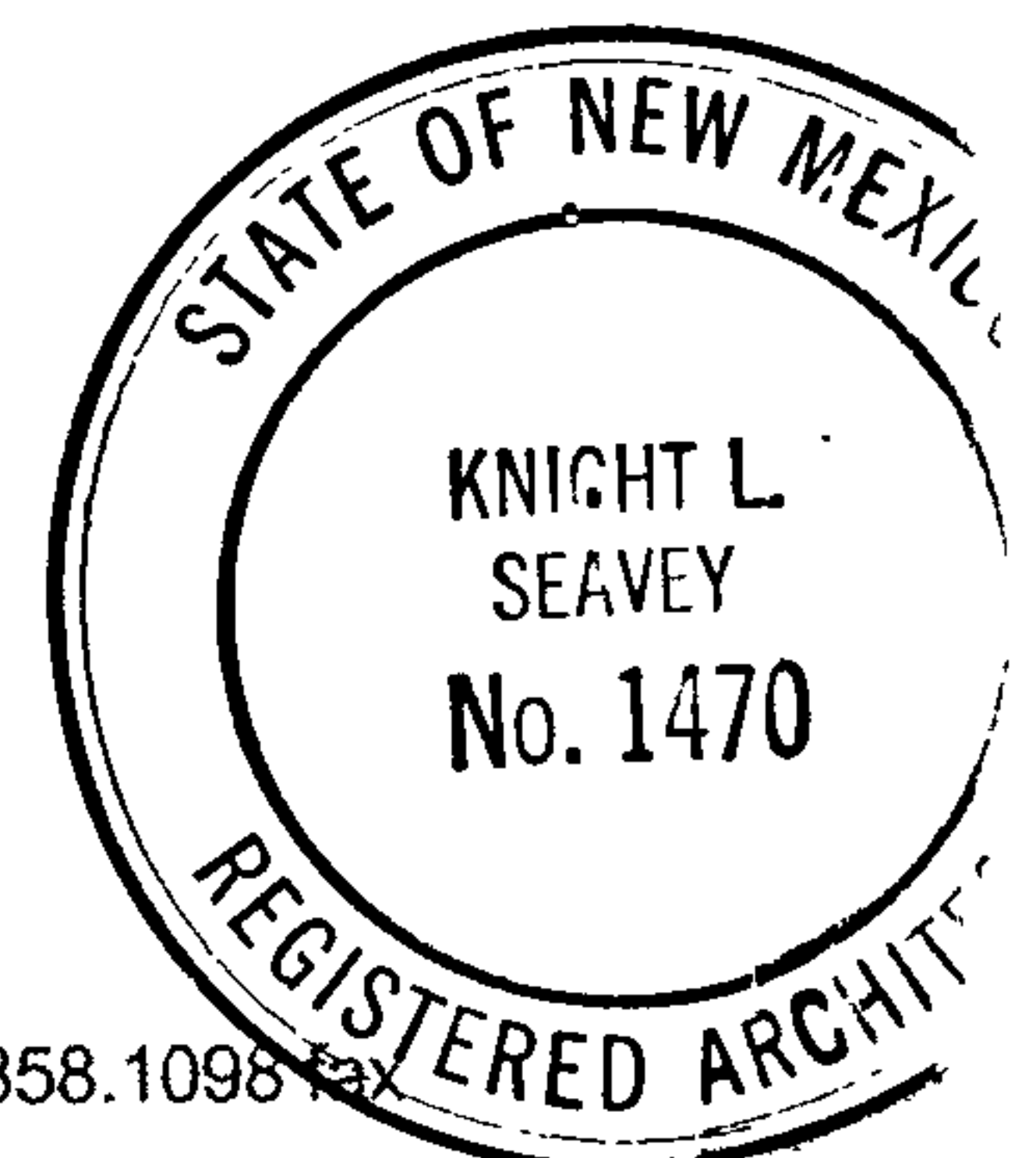
Respectful Submitted,

Knight Seavey, AIA, AICP
Principal



4/14/05
Date

Attachments: DRB approved site development plan, CABQ project information sheet



Project: **4900 & 4902 Alameda Blvd. NE**
RE: **Traffic Improvement Certification**

Date: Tuesday, April 12, 2005
From: Jud Cervenak AIA
Distribution: City of Albuquerque Public Works Dept.
Transportation Division
600 2nd Street NW
Albuquerque, NM 87102

The contractor for the above referenced project is seeking a Certificate of Occupancy. Insiteworks has inspected the construction at this project and hereby certifies that the parking and traffic improvements were constructed in substantial conformance with the drawings for this project approved by the City of Albuquerque.

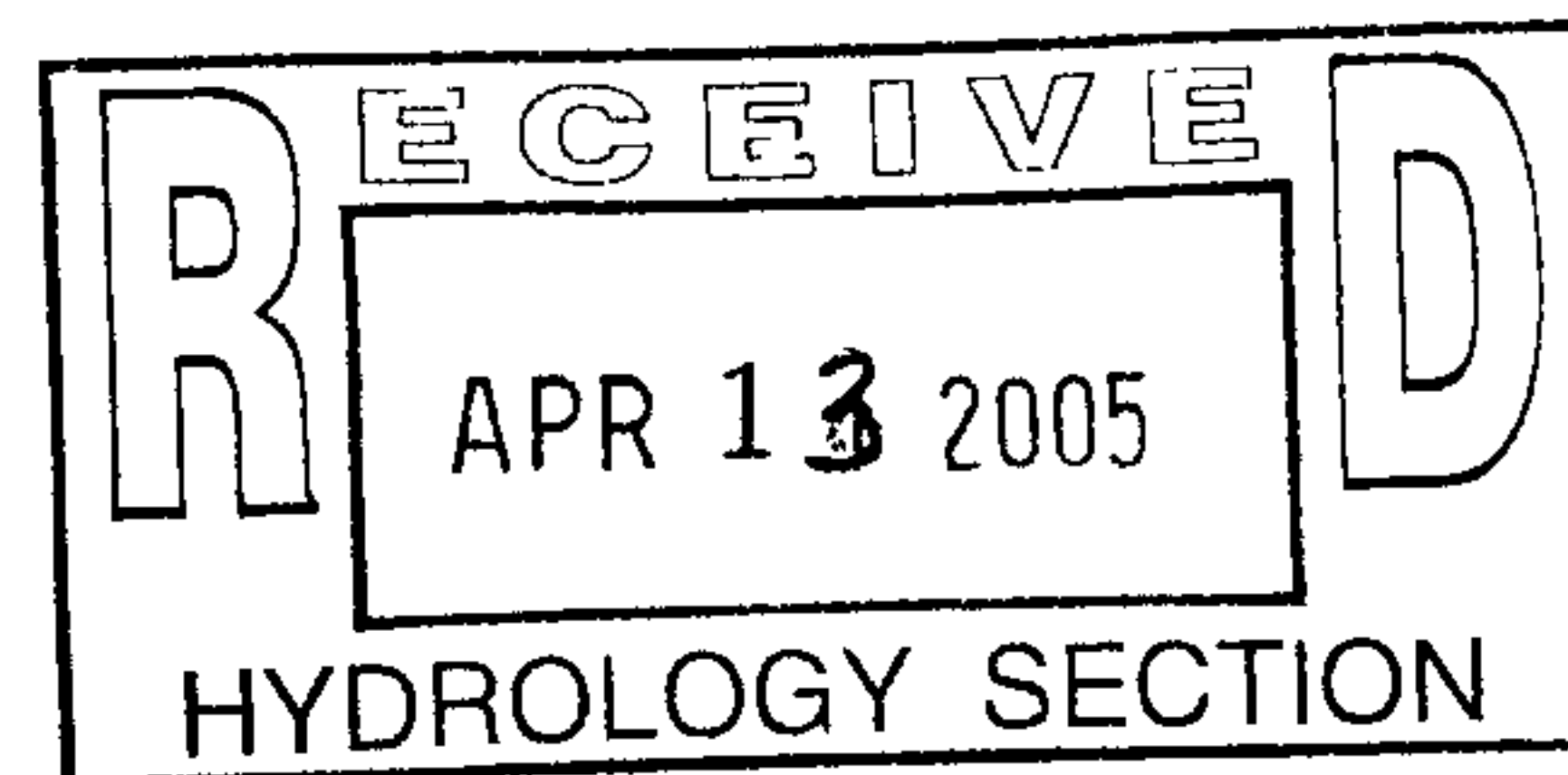
Please find attached a copy of the DRB approved site plan and certification information sheet.

Please call me at (505) 690-5401 (SF number) if you have any questions or need any additional information.

Respectful Submitted,



Jud Cervenak, AIA
Project Architect



DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: OTONO PLAZA-PHASE 2 ZONE MAP/DRG. FILE #: C-17/D115
 DRB #: 1000658 EPC#: WORK ORDER#:

LEGAL DESCRIPTION: LOT F1A1A, LOOP INDUSTRIAL DISTRICT, UNIT 1
 CITY ADDRESS: 4920 & 4902 ALAMEDA BLVD, NE

ENGINEERING FIRM: Mark Goodman & Assoc
 ADDRESS: PO Box 90666
 CITY, STATE: ALBQ, NM

CONTACT: GREG KRENICK
 PHONE: 828-2200
 ZIP CODE: 87199

OWNER: OTONO Partners
 ADDRESS: 57 Rock Point Pl. NE
 CITY, STATE: ALBQ, NM

CONTACT: KNIGHT SEALEY
 PHONE: 850-1099
 ZIP CODE: 87122

ARCHITECT: Insiteworks
 ADDRESS: 57 Rock Point Pl. NE
 CITY, STATE: ALBQ, NM

CONTACT: KNIGHT SEALEY
 PHONE: 850-1099
 ZIP CODE: 87122

SURVEYOR: Peckham Surveys
 ADDRESS: 8414-D Jefferson NE
 CITY, STATE: ALBQ, NM

CONTACT: Larry Medrano
 PHONE: 856-5700
 ZIP CODE: 87113

CONTRACTOR: Duncan Bldg. Contractors
 ADDRESS: 6700-B JEFFERSON NE
 CITY, STATE: ALBQ, NM

CONTACT: Tom Duncan
 PHONE: 505 610 2800
 ZIP CODE: 87109

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☒ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

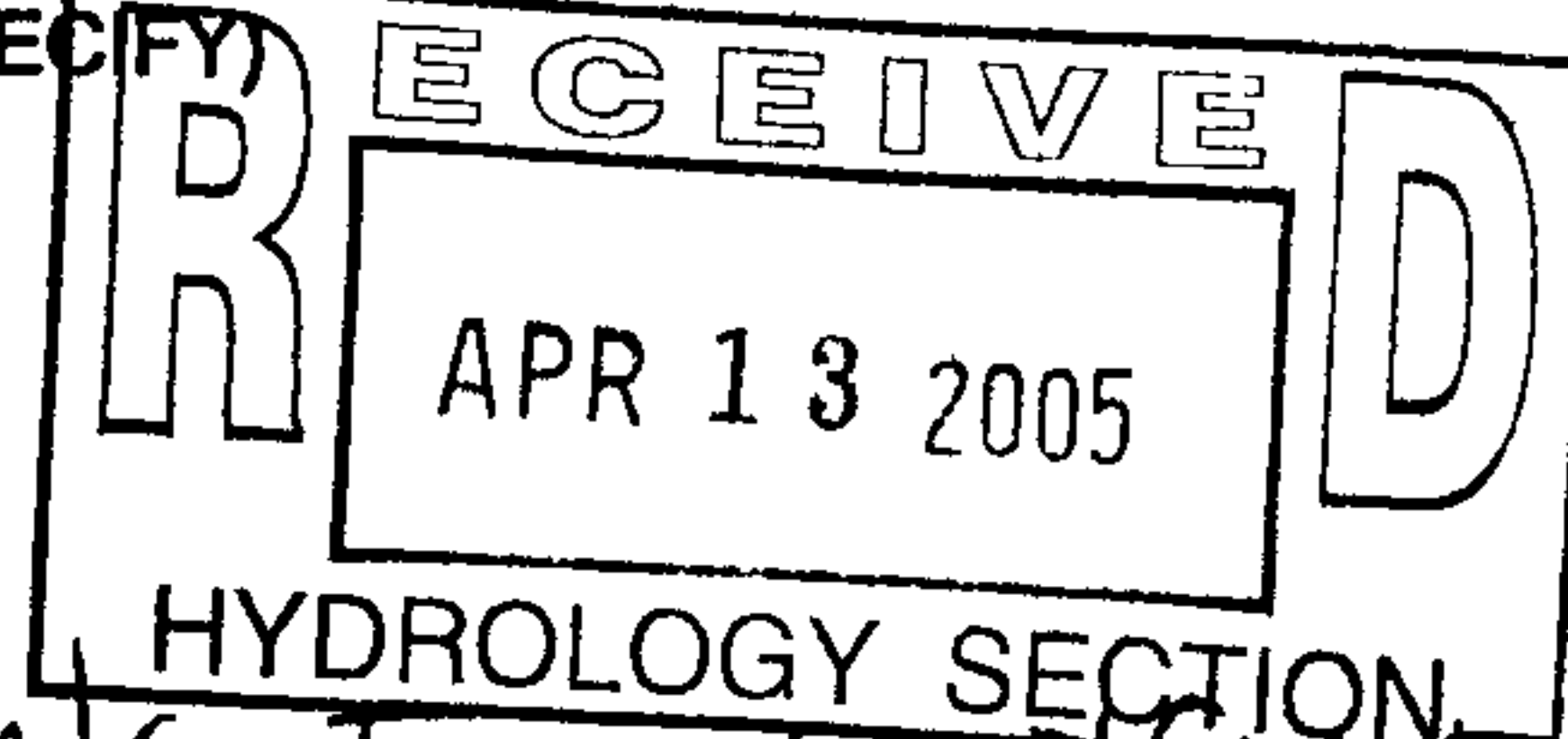
- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☒ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 4/13/05

BY: JUD CERVENAK FOR INSITWORKS



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

Planning Department
Transportation Development Services Section

January 30, 2004

Knight Seavey, Registered Architect
Insite Works
57 Rock Point Place NE
Albuquerque, NM 87122

Re: Approval of Temporary Certificate of Occupancy (C.O.) for
Otono Plaza (Bldg C), [C17 / D115]
4906 Alameda Blvd
Architect's Stamp Dated 01/30/04

*(extended
to 60 days)*

*5/18/04
NSF*

Dear Mr. Seavey:

Based on the information provided on your submittal dated January 30, 2004, the above referenced project is approved for a 30-day Temporary C.O.

A Temporary C.O. has been issued allowing the outstanding Paving (south and east of building C and associated striping and curb markings) and Landscaping issues to be completed within this time period. When these remaining issues have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be issued.

The Certification package for Final C.O. must include an exact copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets—the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead- stamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

If you have any questions, please call me at 924-3630.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO clerk