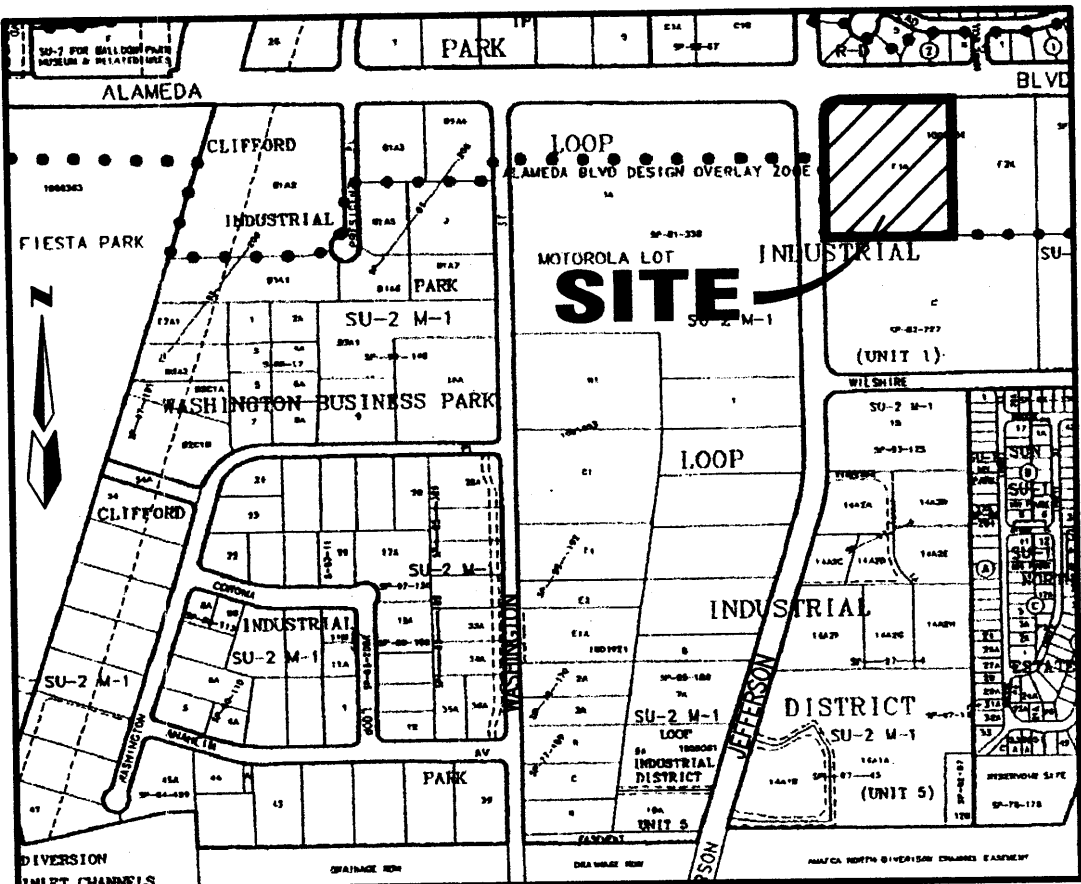


INSITE  WORKS

ADDRESS	57 ROCK POINT PLACE NE ALBUQUERQUE, NM 87122
TELEPHONE	(505) 858-0100
FAX	(505) 858-1088
WEBSITE	www.insiteworks.com
KS email	knight@insiteworks.com
JC email	jul@insiteworks.com
CONTRACTOR	CONTRACTOR
	XXXXXXXXXXXXXXXXXXXX
	XXXXXXXXXXXXXXXXXXXX
TELEPHONE	XXXXXXXXXXXXXXXXXXXX
FAX	XXXXXXXXXXXXXXXXXXXX

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SHALL NOT BE REPRODUCED OR USED IN ANY WAY
WITHOUT EXPRESSED WRITTEN CONSENT

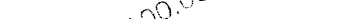
 MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-953

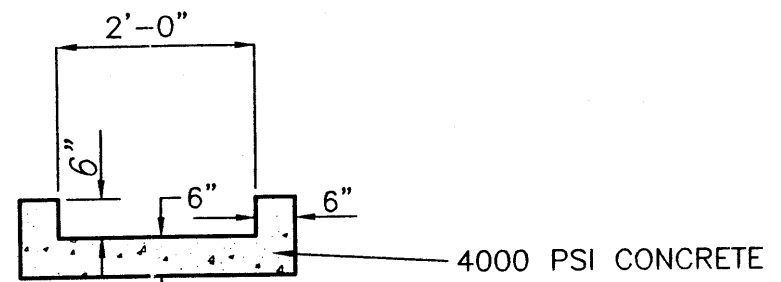
VICINITY MAP ZONE MAP: C17

LEGAL DESCRIPTION

TRACT F-1-A, LOOP INDUSTRIAL DISTRICT, UNIT1.

LEGEND

 5320 EXISTING CONTOUR MAJOR
 5321 EXISTING CONTOUR MINOR
 EXISTING CURB
 EXISTING GROUND ELEVATION
 00.00 BC EXISTING FINISHED SURFACE ELEVATION
 00.00 FL EXISTING BACK OF CURB ELEVATION
 00.00 FL EXISTING FLOWLINE ELEVATION
 00.00 ● PROPOSED SPOT ELEVATION
 25.75 PROPOSED TOP OF CURB ELEVATION
 24.65 PROPOSED FLOWLINE ELEVATION
 PROPOSED HEADER CURB
 EXISTING STEM WALL
 PROPOSED RETAINING WALL
 25 PROPOSED CONTOUR LINE
 PROPOSED WATERBLOCK



CONCRETE SWALE SECTION

N.T.S.

NOTICE TO CONTRACTOR

1. An excavation/ construction permit will be required before beginning any work within City right of way.
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3. Two working days prior to any excavation, Contractor must contact the Line Locating Service, 765-1234, for location of existing utilities.
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5. Backfill compaction shall be according to traffic/street use.
6. Maintenance of these facilities shall be the responsibility of the Owner of the property served.
7. Work on arterial streets shall be performed on a 24 hour basis.

APPROVAL	NAME	DATE
INSPECTOR		

GRADING & DRAINAGE PLAN

SCALE: 1"=30'

SHEET 4 OF 9

C301

DRAINAGE NOTES:

1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
2. CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION SHALL GOVERN ALL WORK.
3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND WETTING THE SOIL TO KEEP IT FROM BLOWING
5. THE EARTHWORK CONTRACTOR SHALL STOCKPILE ENOUGH MATERIAL ADJACENT TO RETAINING WALL LOCATIONS TO BE UTILIZED FOR WALL BACKFILL.
6. SITE DOES NOT LIE IN A 100 YEAR FLOOD ZONE.

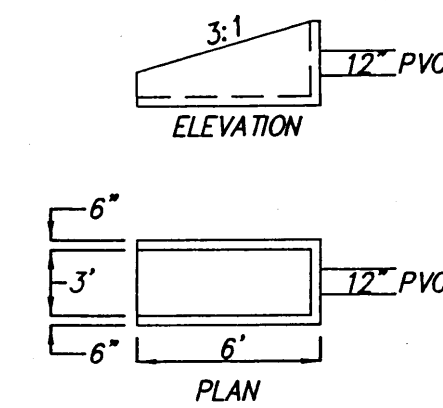
KEYED NOTES

- ① PROPOSED 1' WIDE SIDEWALK CULVERT
- ② PROPOSED 1' WIDE CURB OPENING
- ③ PROPOSED 2-DOUBLE "D" INLETS
GRATE= 26.00
INV.= 22.00

JEFFERSON ST. NE
86' R.O.W.

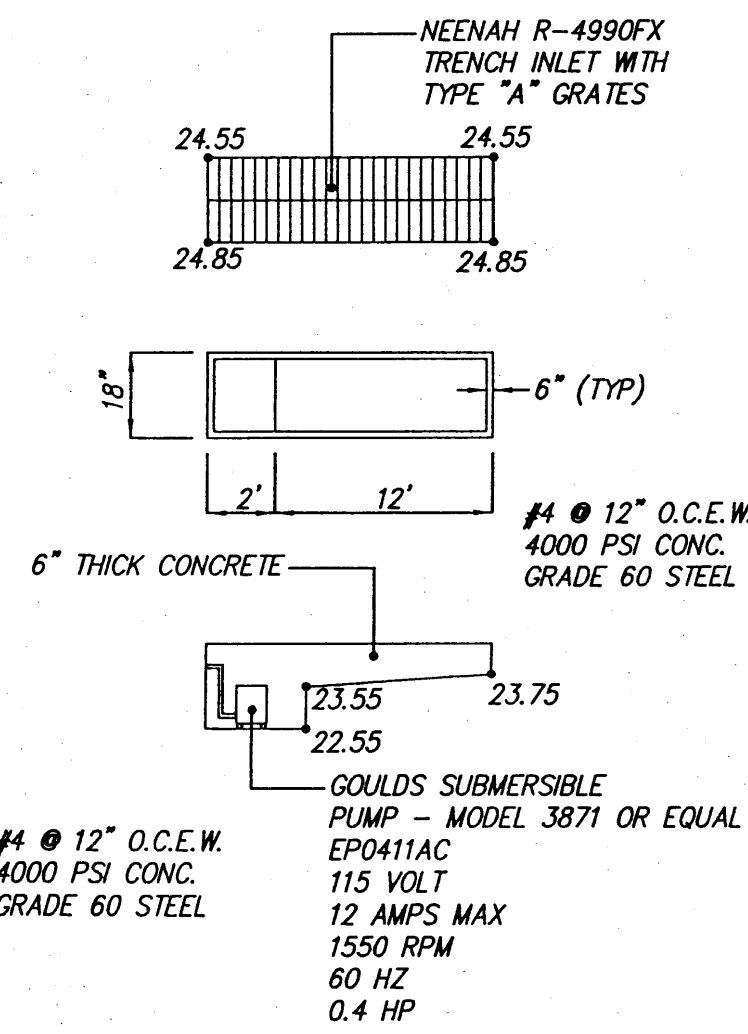
ALAMEDA BLVD. NE
124' R.O.W.

TRACT C
LOOP INDUSTRIAL
DISTRICT UNIT 1
(C20, 35) x 34.1



OUTFALL DETAIL

NTS



SUMP PUMP DETAIL

NTS

DRAINAGE NOTES:

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2. CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION SHALL GOVERN ALL WORK.
3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DISTRICT CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
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6. SITE DOES NOT LIE IN A 100 YEAR FLOOD ZONE.

KEYED NOTES

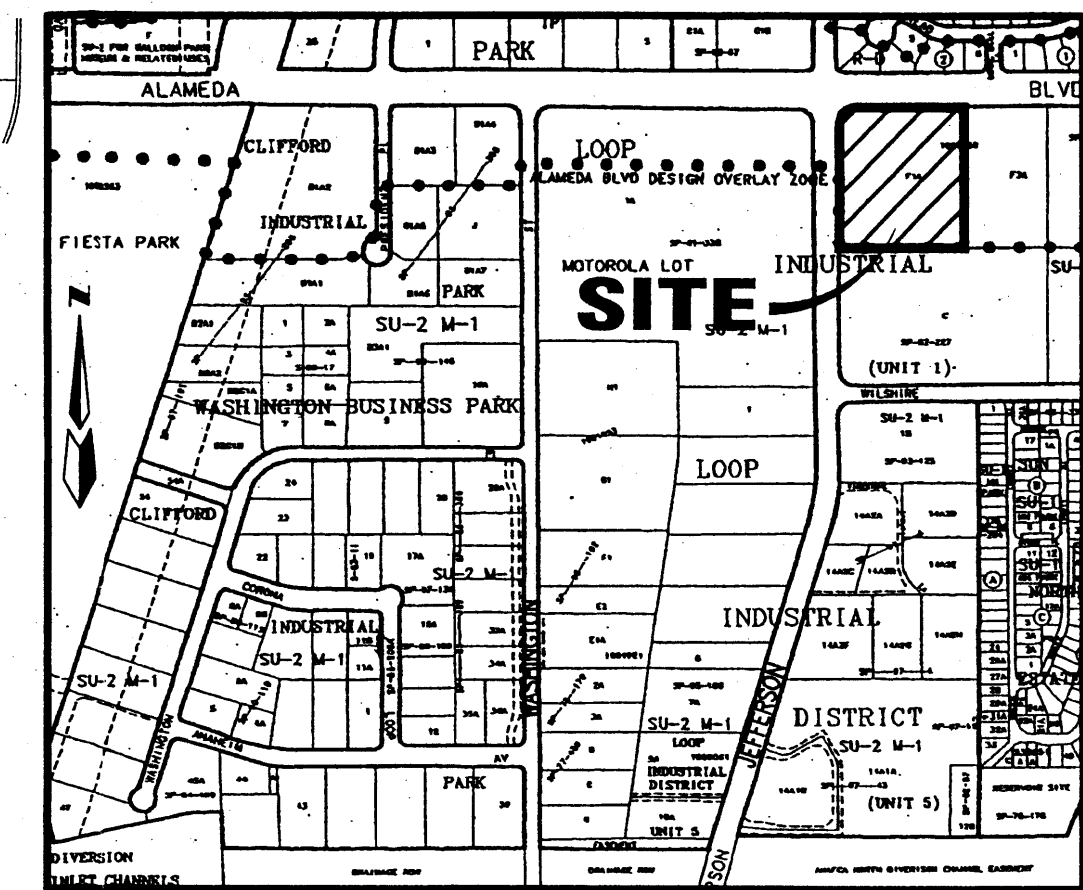
- 2 NEW DBL "D" INLET - PER COA DWG 2206, 2215, 2216 & 2220
GRADE= 30.25 TO 2.0
INV.= 27.25
- 3 NEW 2" DBL "D" INLETS W/17" ORIFICE
PER COA DWG 2206, 2215, 2216 & 2220
GRADE= 24.07 TO 2.435
INV.= 21.806
- 4 NEW 12" SDR 35 PVC, 9.5 LF
OUTFALL= 27.00
- 5 NEW 3" CONCRETE OUTFALL CHANNEL (4000 PSI)
SEE DETAIL THIS SHEET
- 7 NEW 4" CONCRETE CHANNEL (4000 PSI)

ALAMEDA BLVD. NE
124' R.O.W.

I, Gregory J. Krenik, NMPPE 11922, of the firm Mark Goodwin & Associates, hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated June 17, 2004. The record information edited onto the original design document has been obtained by Larry DeWitt, NMPPE 11922, of the firm Precision Surveying, Inc. I further certify that I have personally visited the project site on 4/13/2005 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certification of Occupancy.

The record information presented herein is not necessarily complete and intended only to verify subsequent grading and drainage aspects of this project. The user of this record document is advised to obtain independent verification of the accuracy before using it for any other purpose.

Gregory J. Krenik
NMPPE 11922
4-21-05
(SEAL)



VICINITY MAP

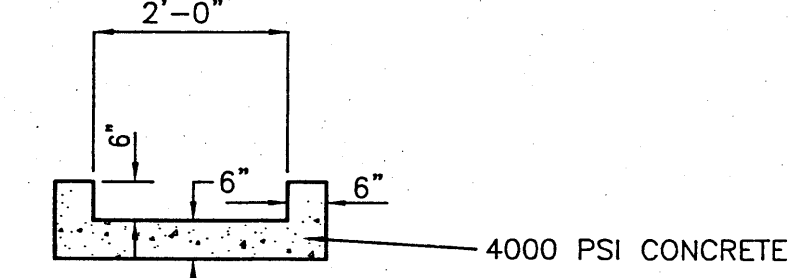
ZONE MAP: C17

LEGAL DESCRIPTION

TRACT F-1-A, LOOP INDUSTRIAL DISTRICT, UNIT 1.

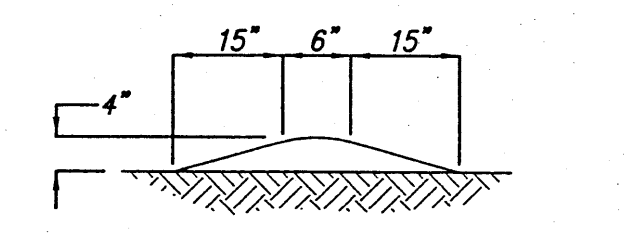
LEGEND

- 5320 EXISTING CONTOUR MAJOR
- 5321 EXISTING CONTOUR MINOR
- EXISTING CURB
- EXISTING GROUND ELEVATION
- EXISTING FINISHED SURFACE ELEVATION
- EXISTING BACK OF CURB ELEVATION
- EXISTING FLOWLINE ELEVATION
- PROPOSED SPOT ELEVATION
- PROPOSED TOP OF CURB ELEVATION
- PROPOSED FLOWLINE ELEVATION
- PROPOSED HEADER CURB
- EXISTING STEM WALL
- PROPOSED RETAINING WALL
- 34 PROPOSED CONTOUR LINE
- PROPOSED WATERBLOCK
- PROPOSED 3:1 SLOPE



CONCRETE SWALE SECTION

N.T.S.



ASPHALT SPEED BUMP/WATER BLOCK

NTS

NOTICE TO CONTRACTOR

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APPROVAL	NAME	DATE
INSPECTOR		

OTONO PLAZA - PHASE 2
GRADING & DRAINAGE PLAN

SCALE: 1"=30'

INSITE WORKS

ADDRESS 57 ROCK POINT PLACE NE
ALBUQUERQUE, NM 87122
TELEPHONE (505) 858-0100
FAX (505) 858-1098
WEBSITE WWW.INSITEWORKS.COM
KS email KNSIGHT@INSITEWORKS.COM
JC email JUB@INSITEWORKS.COM
CONTRACTOR

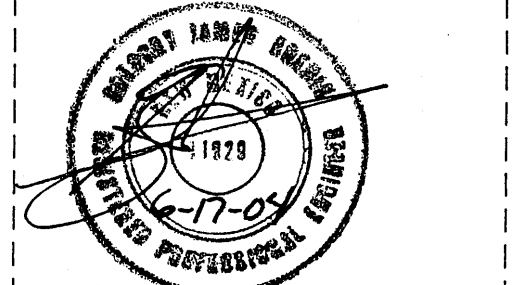
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THIS DRAWING SET IS FOR PERMITTING AND BID ONLY. CONSTRUCTION SETS WILL BE ISSUED AT COMPLETION OF THE BID AND PERMITTING PROCESS.

MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 9000
ALBUQUERQUE, NEW MEXICO 87109
(505) 263-2200 FAX (505) 263-2539

OTONO PLAZA - BUILDING A, B & F
4900, 4902, 4904 ALAMEDA BLVD. NE
ALBUQUERQUE, NM 87113

DATE ISSUED 6/18/04
REVISION DATE
EDITION BIM/PERMIT
PROJECT ID OTONO PLAZA - PHASE 1A & 2
FILE A3047.dwg-Phase 2A.dwg
FILE PATH A3047.dwg-Phase 2A.dwg
CREATED BY UER, ACH, GJR
SCALE 1" = 30'
DISCIPLINE CIVIL
CONSULTANT INSITEWORKS



SHEET TITLE
R APR 21 2005
HYDROLOGY SECTION

JEFFERSON ST. NE
86' R.O.W.

ALAMEDA BLVD. NE
124' R.O.W.

PHASE 2

TRACT C
LOOP INDUSTRIAL
DISTRICT UNIT 1
(C20, 35)

SITE PLAN - PHASE 1

SCALE: 1" = 30'

SITE TOTALS (PHASES 1 & 2)
SITE AREA: 217,800 SF (5.00 ACRES)

PHASE 1 TOTALS
SITE AREA: 129,673 SF
LANDSCAPE AREA: 22,891 (17%)
BUILDING AREA: 30,367 SF (23%)
PAVING & SIDEWALK AREA: 78,659 SF (61%)
R.O.W. LANDSCAPING: 0 SF

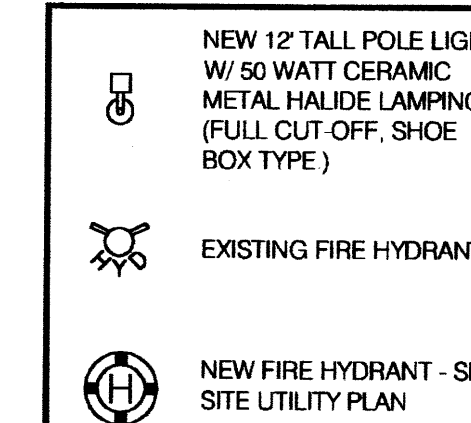
BUILDING B
USE: OFFICE/RETAIL
SITE AREA: 35,553 SF
LANDSCAPE AREA: 8489 SF (23%)
GROSS BUILDING AREA: 6,214 SF (17%)
NET LEASABLE AREA: 5,903 SF
PAVING & SIDEWALK AREA: 22,850 SF (60%)
R.O.W. LANDSCAPING: 0 SF
PARKING SPACES REQUIRED: 5,903/200 = 30
PARKING SPACES PROVIDED: 37 + 2 VAN ACCESSIBLE HC = 39
BIKE RACK SPACES PROVIDED: 3

BUILDING C
USE: OFFICE
SITE AREA: 39,990 SF
LANDSCAPE AREA: 4,644 SF (12%)
GROSS BUILDING AREA: 10,137 SF (25%)
NET LEASABLE AREA: 9,725 SF
PAVING & SIDEWALK AREA: 25,253 SF (63%)
R.O.W. LANDSCAPING: 0 SF
PARKING SPACES REQUIRED: 9,725/200 = 49
PARKING SPACES PROVIDED: 48 + 3 HC (2 VAN ACCESSIBLE) = 51
BIKE RACK SPACES PROVIDED: 3

BUILDING D
USE: OFFICE
SITE AREA: 25,361 SF
LANDSCAPE AREA: 4,645 SF (18%)
GROSS BUILDING AREA: 7,008 SF (28%)
NET LEASABLE AREA: 6,627 SF
PAVING & SIDEWALK AREA: 13,708 SF (54%)
R.O.W. LANDSCAPING: 0 SF
PARKING SPACES REQUIRED: 6,627/200 = 34
PARKING SPACES PROVIDED: 32 + 2 VAN ACCESSIBLE HC = 34
BIKE RACK SPACES PROVIDED: 3

BUILDING E
USE: OFFICE
SITE AREA: 28,769 SF
LANDSCAPE AREA: 4,913 SF (17%)
GROSS BUILDING AREA: 7,008 SF (24%)
NET LEASABLE AREA: 6,627 SF
PAVING & SIDEWALK AREA: 16,848 SF (59%)
R.O.W. LANDSCAPING: 0 SF
PARKING REQUIRED: 6,627/200 = 34
PARKING PROVIDED: 32 SPACES + 2 VAN ACCESSIBLE HC = 34
BIKE RACK SPACES PROVIDED: 3

LEGEND



CURB RADIUS DATA

HT	R1 = 1'-0"
G	R2 = 2'-0"
	R3 = 3'-0"
	R4 = 5'-0"
T	R5 = 8'-0"
	R6 = 15'-0"
	R7 = 20'-0"
	R8 = 30'-0"
EE	R9 = 35'-0"
	R10 = 50'-0"
RADIUS MEASURED TO OUTSIDE FACE OF CURB	

PROJECT NUMBER: 1000658

APPLICATION NUMBER: 04-00103

IS AND INFRASTRUCTURE LIST REQUIRED? () YES () NO. IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS

DRB SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION
DATE 4-14-04
UTILITIES DEVELOPMENT
DATE 2-4-04
CHRISTINA SANDORAL
DATE 2/14/04
PARKS AND RECREATION DEPARTMENT
BRADY L. BYLA
DATE 2/14/04
CITY ENGINEER
N/A
ENVIRONMENTAL HEALTH DEPARTMENT (conditional)
DATE
MICHAEL HOLTEN
DATE 2-4-04
SOLID WASTE MANAGEMENT
SHAWN MATSON
DATE 2/14/04
DRB CHAIRPERSON, PLANNING DEPARTMENT

APPROVED
DATE 2/14/04
BY
DATE 2/14/04

LEGAL DESCRIPTION:
TRACT F-1-A OF LOOP INDUSTRIAL DISTRICT UNIT 1, WITHIN THE ELENA GALLEGOS GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE RE-PLAT OF TRACTS F-1 AND F-2 OF SAID SUBDIVISION FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JULY 21, 2000 IN BOOK 2000C, PAGE 189

LEGAL NOTES:
1. CITY OF ALBUQUERQUE UPC NO. 1-017-0164-398-340-1-16-20
2. SUBJECT PROPERTY IS LOCATED WITHIN FLOOD ZONE X, DESIGNATING AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN ACCORDING TO THE FLOOD INSURANCE RATE MAP, BERNALILLO COUNTY, NEW MEXICO AND INCORPORATED AREAS PER MAP NO. 35001002137D, EFFECTIVE DATE, SEPTEMBER 20, 1986

GENERAL NOTES:
(C1) 1) ALL STANDARD PARKING SPACES SHALL BE 8'-6" W X 20'-0" D
(C1) 2) ALL HANDICAP PARKING SPACES SHALL BE 8'-0" W X 20'-0" D WITH ADJACENT 5' W STRIPPED ACCESSIBLE (1) VAN ACCESSIBLE SPACE PER PROPERTY SHALL HAVE AN 8' WIDE ACCESSIBLE (1) ALL SPACES SHALL HAVE POLE SIGN AND HANDICAP SYMBOL PAVEMENT MARKINGS.
(C1) 3) ALL PARKING SPACES, HANDICAP SYMBOLS AND CROSS-HATCHED ACCESSIBLE SPACES SHALL BE MARKED ON PAVEMENT WITH WHITE ALKYD STIPING PAINT, TYP.

(C1) 4) ALL DRIVE ASILES AND DUMPSTER ENCLOSURES SHALL BE DESIGNATED AS CROSS ACCESS AND DRAINAGE EASEMENTS BETWEEN ALL PROPERTIES SUBDIVIDED FROM TRACT F-1-A
(C1) 5) ALL PARKING SPACES ADJUTING A SIDEWALK SHALL BE PROVIDED WITH A BUMPER LOCATED 2'-0" OFF THE SIDEWALK

KEYED NOTES

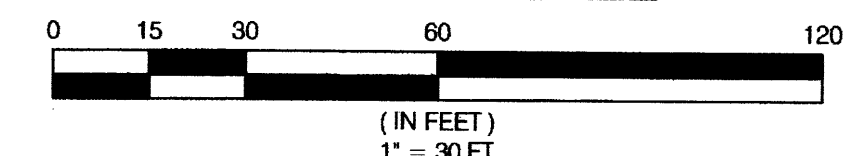
- [1] ASPHALT PAVED SURFACE - SEE DETAIL 1/C1.1
- [2] CONCRETE CURB & GUTTER - SEE DETAILS 2/C1.1 - SEE GRADING PLAN FOR SPECIFIC CURB TYPE LOCATIONS
- [3] CONCRETE SIDEWALK - SEE DETAIL 3/C1.1 - TYPICAL SIDEWALK WIDTH SHALL BE 6'-0" UNLESS NOTED OTHERWISE
- [4] SIDEWALK RAMP - SEE DETAIL 4/C1.1
- [5] CONCRETE PEDESTRIAN CROSSWALK - SEE DETAIL 6/C1.1
- [6] HANDICAP ACCESS RAMP - SEE DETAIL 8/C1.1
- [7] CAST IN PLACE CONCRETE DUMPSTER ENCLOSURE W/ GATES - SEE DETAIL 9&10/C1.1
- [8] PRECAST CONCRETE BIKE RACK - SEE DETAIL 7/C1.1
- [9] HANDICAP PARKING SPACE SIGN - ONE SIGN PER HANDICAP PARKING SPACE, TYP. - SEE DETAIL 5/C1.1
- [10] MODIFY EXISTING CURB CUT AND SIDEWALK ACCESS RAMP PER CITY OF ALBUQUERQUE STANDARDS
- [11] EXISTING CURB CUT
- [12] EXISTING MEDIAN CUT
- [13] EXISTING 6' WIDE CONCRETE PUBLIC SIDEWALK
- [14] EDGE OF ASPHALT - EXTEND ASPHALT 12" BEYOND DIMENSIONED WIDTH
- [15] COLORED CONCRETE MONUMENT SIGN WITH INDIVIDUALLY RAISED LETTERS - SEE DETAIL 15 & 16/C1.1
- [16] CAST IN PLACE CONCRETE PATIO WALL - SEE DETAIL 14/C1.1
- [17] CAST IN PLACE CONCRETE RETAINING WALL - SEE DETAIL 13/C1.1
- [18] REMOVE EXISTING ASPHALT AND CONCRETE CURBING AS NECESSARY TO CONSTRUCT NEW IMPROVEMENTS
- [19] DRIVE-THRU CANOPY - SEE SHEET A2.0DRB1a FOR ELEVATIONS

SITE DEVELOPMENT PLAN APPROVAL NOTE
THIS PLAN IS CONFORMS WITH THE COMMENTS RENDERED BY THE DEVELOPMENT REVIEW BOARD ON AS REFLECTED IN DRB CASE # _____ UNDER APPLICATION # _____

VICINITY MAP/AERIAL PG. C-17 1"=1000'



GRAPHIC SCALE



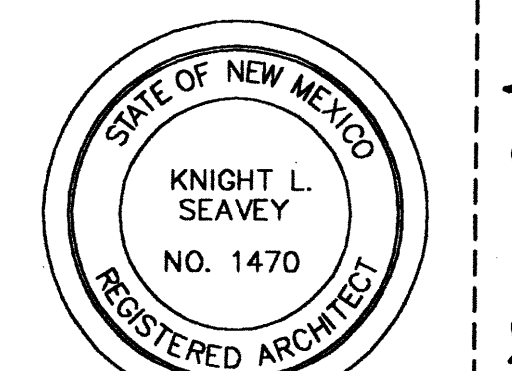
INSITE WORKS

ADDRESS 57 ROCK POINT PLACE NE
ALBUQUERQUE, NM 87122
TELEPHONE (505) 858-0100
FAX (505) 858-1080
WEBSITE www.insiteworks.com
KS email ks@insiteworks.com
JC email jc@insiteworks.com
CONTRACTOR DUNCAN BUILDING CONTRACTORS
6700 JEFFERSON, NE, BLDG. 2
ALBUQUERQUE, NM 87109
TELEPHONE (505) 468-0822
FAX (505) 468-0852

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SITE DEVELOPMENT PLAN FOR
BUILDING PERMIT -
PHASE 1 AMENDMENT

TITLE	SITE PLAN
DATE ISSUED	1/28/04
UPDATED	06/06/06
EXTION	DRB SUBMITTAL - PHASE 1A
PROJECT ID	07090
FILE	070-0001A-C1.0.DWG
FILE PATH	C:\ACTIVE\PROJECTS\
CREATED BY	JWC
SCALE	1" = 30'
DISCIPLINE	CIVIL
CONSULTANT	INSITEWORKS



C1.0DRB1a

TRAFFIC CERTIFICATION SUBMITTAL