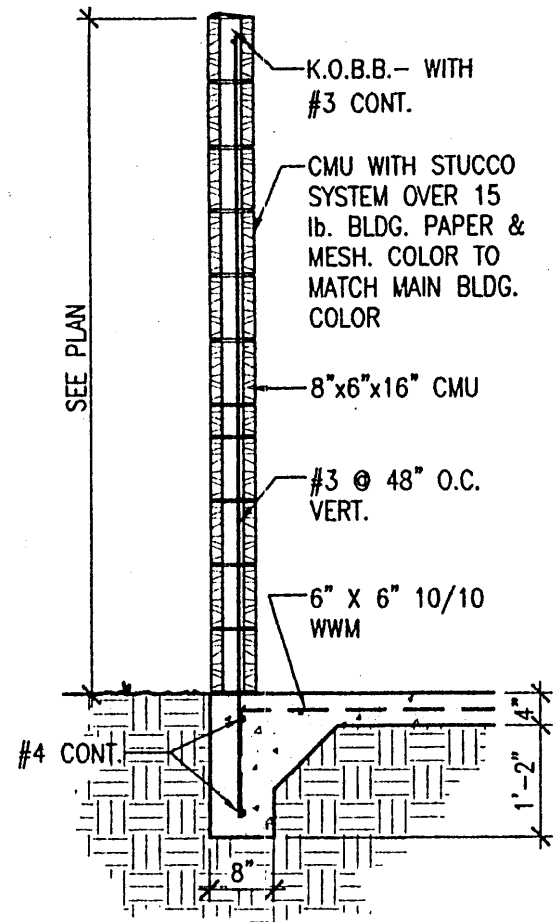
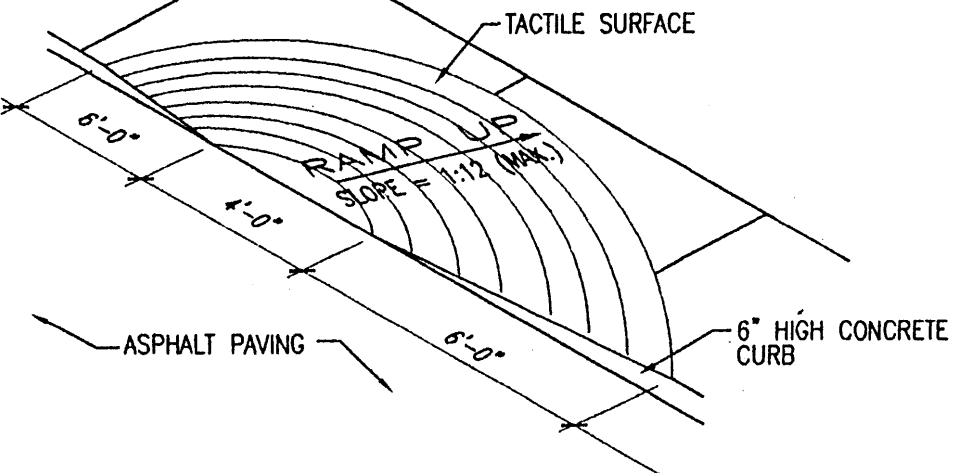


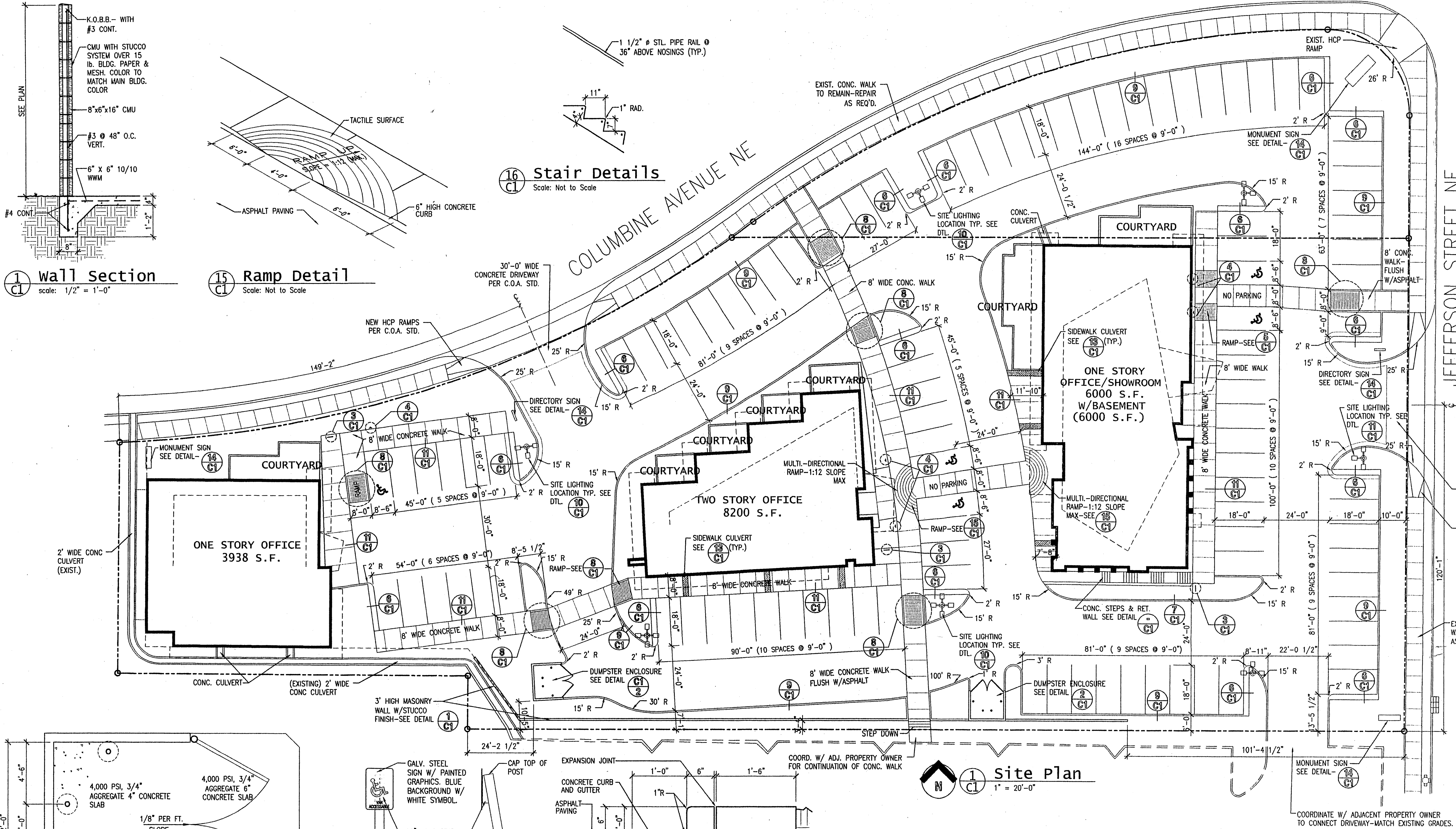


**1 Wall Section**  
scale: 1/2" = 1'-0"

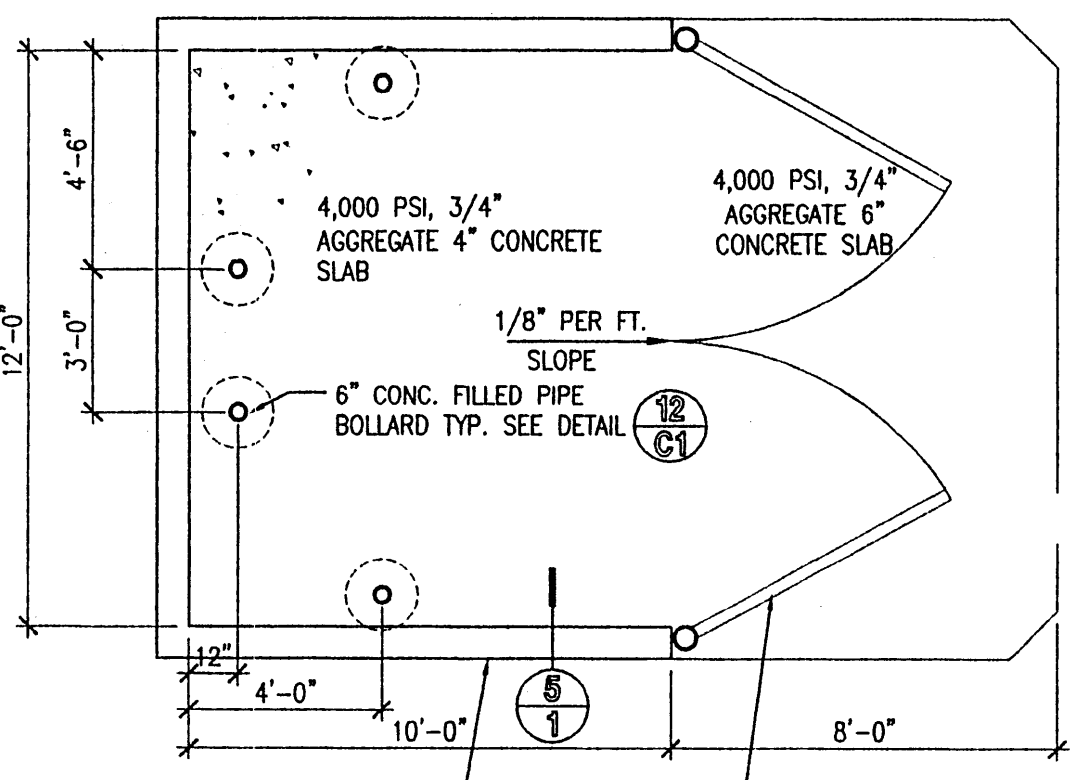


**15 Ramp Detail**  
Scale: Not to Scale

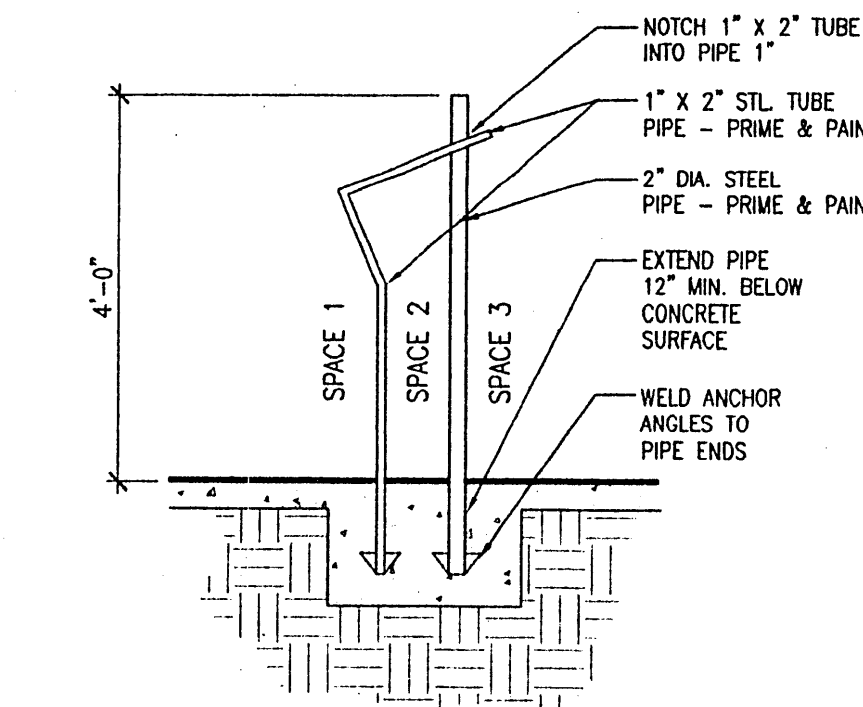
**16 Stair Details**  
Scale: Not to Scale



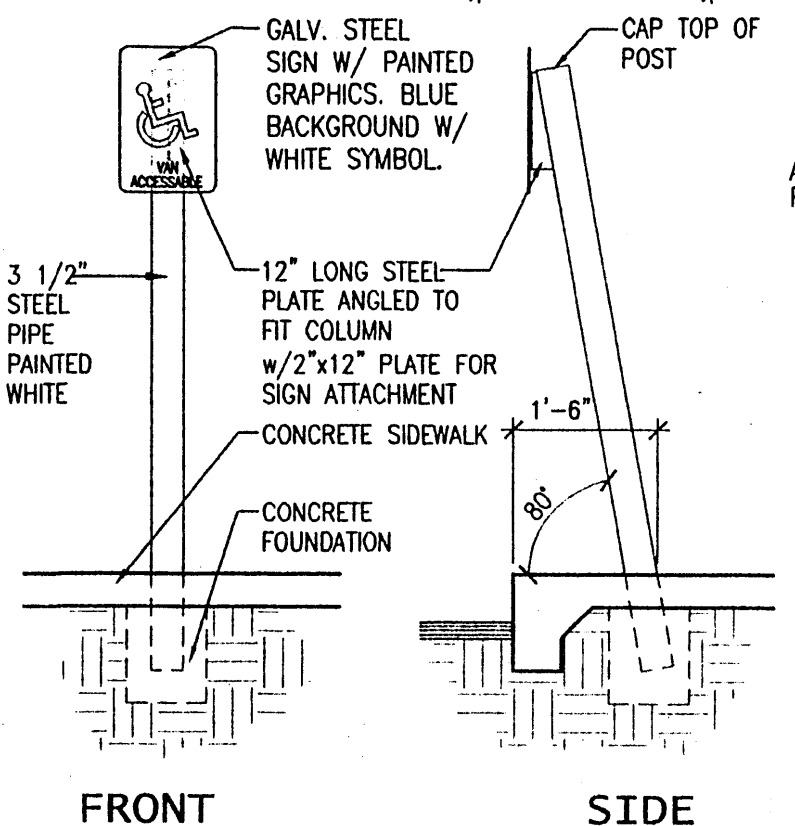
**1 Site Plan**  
1" = 20'-0"



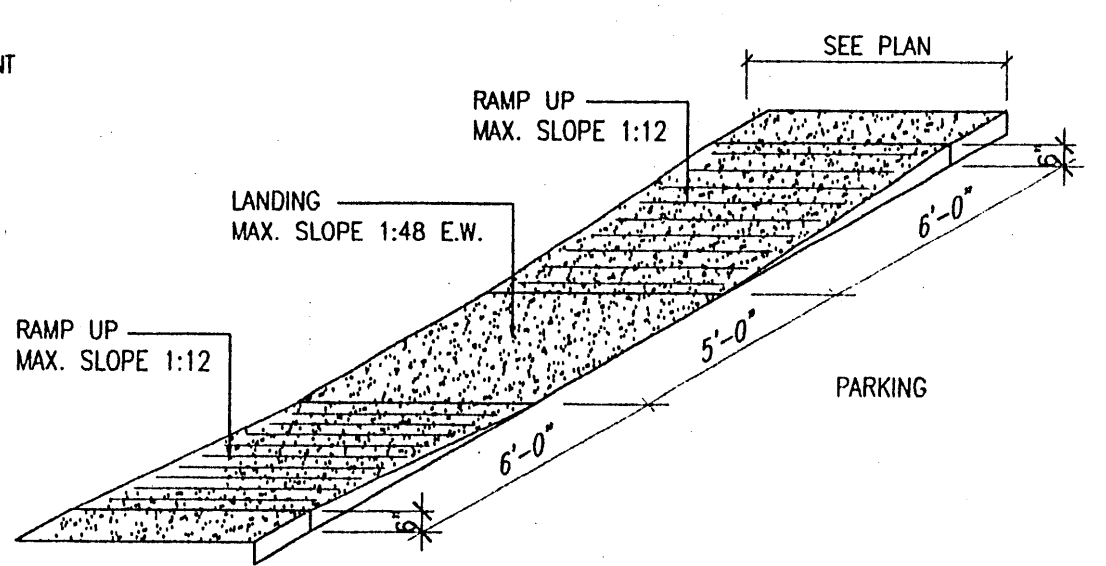
**2 Dumpster Enclosure**  
1/4" = 1'-0"



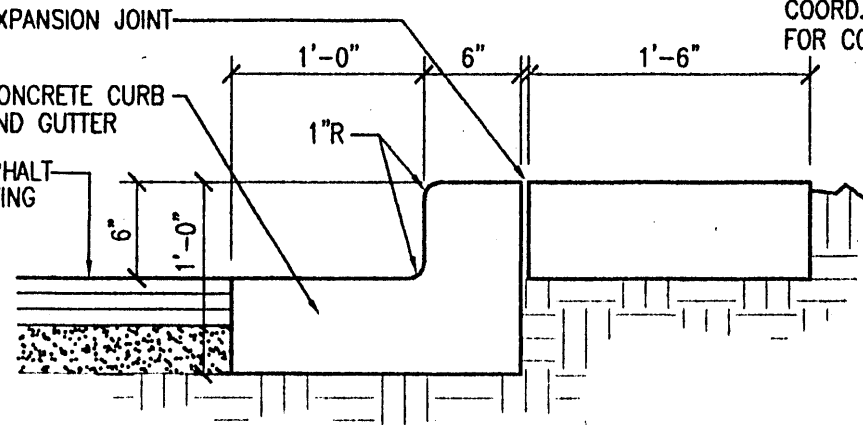
**3 Bike Rack**  
1/2" = 1'-0"



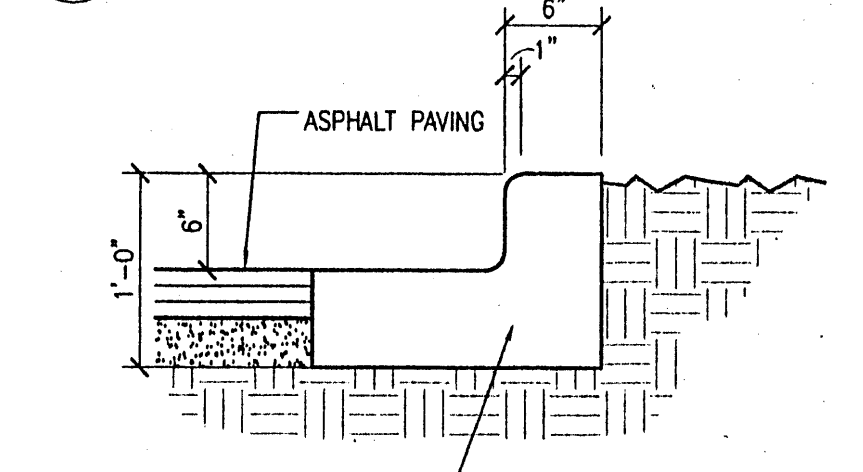
**4 H.C. Parking Sign**  
1/2" = 1'-0"



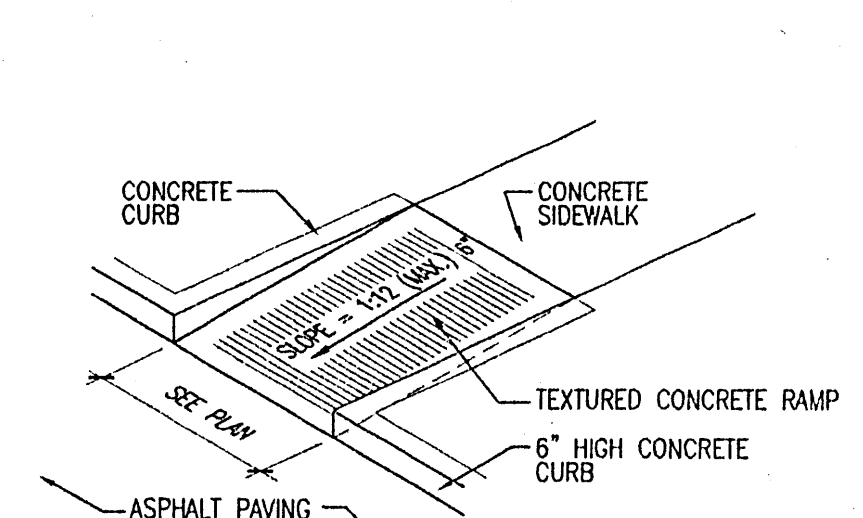
**5 H.C. Ramp**  
ISOMETRIC N.T.S.



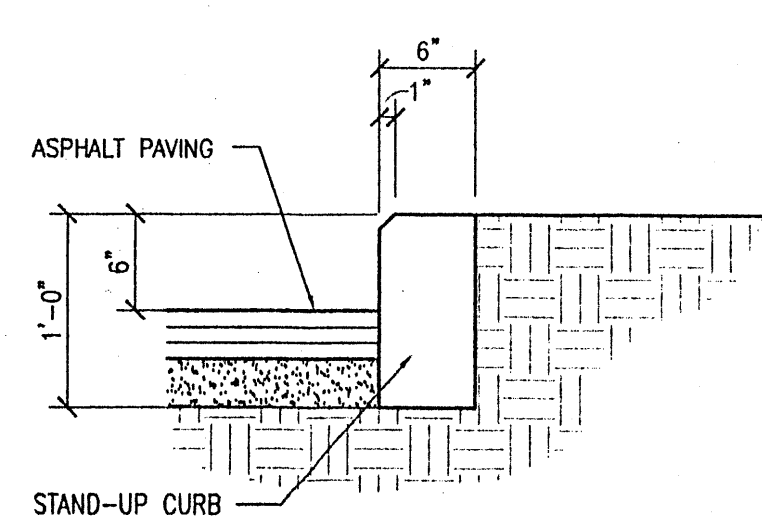
**6 Curb & Gutter w/walkway**  
1" = 1'-0"



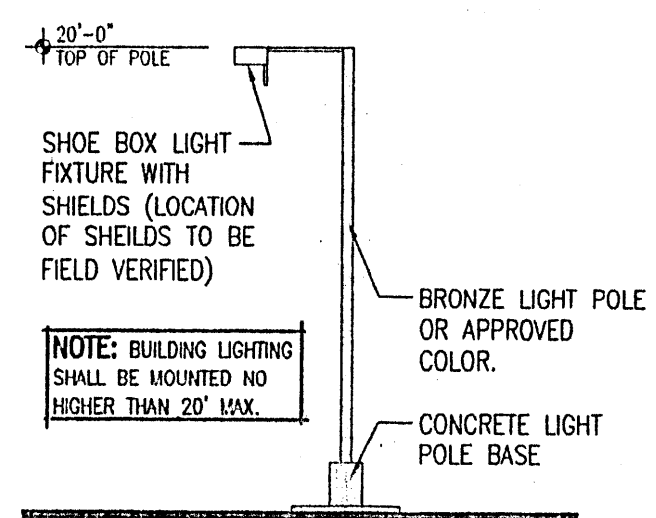
**7 Curb and gutter**  
scale: 1" = 1'-0"



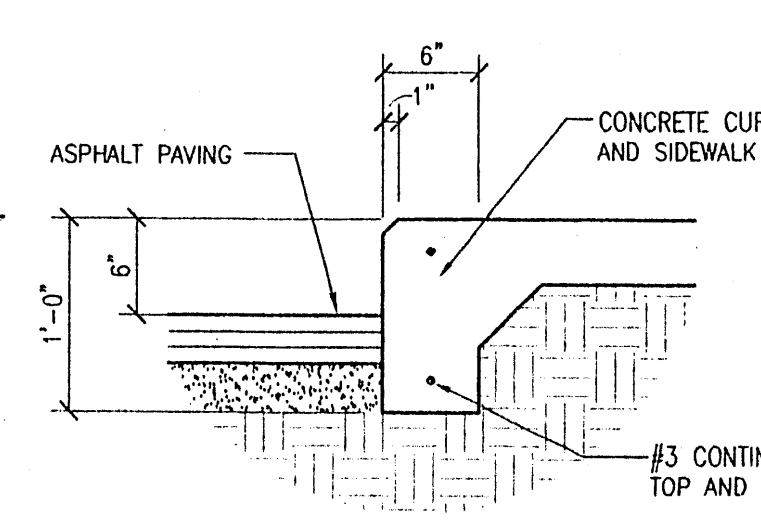
**8 H.C. Ramp**  
Scale: Not to Scale



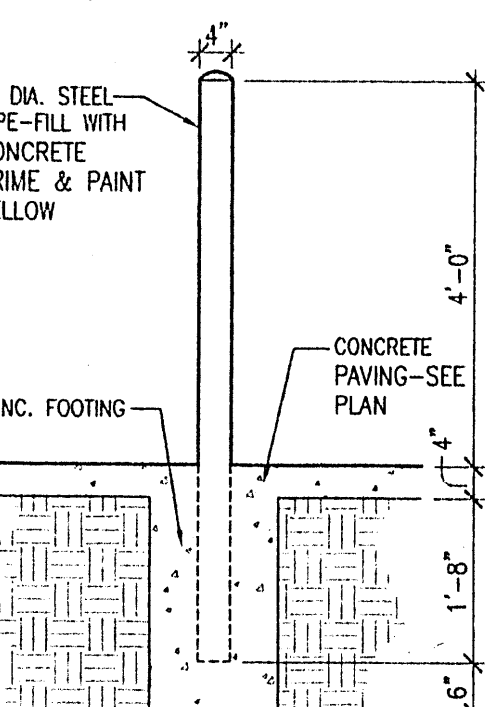
**9 Stand-Up Curb**  
scale: 1" = 1'-0"



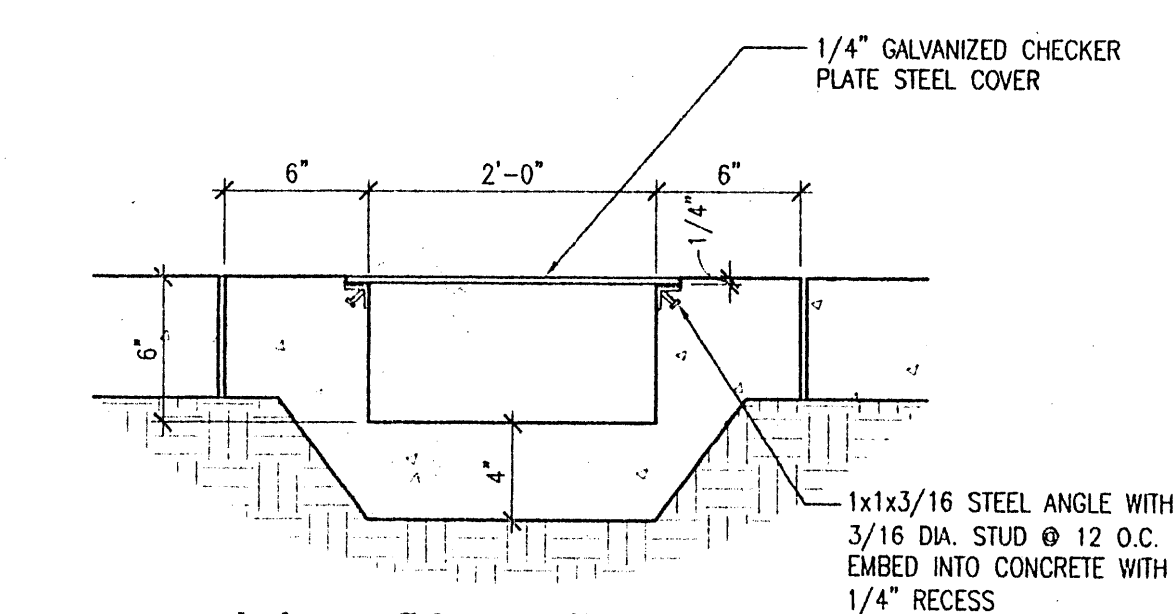
**10 Site Lighting Dtl.**  
not to scale



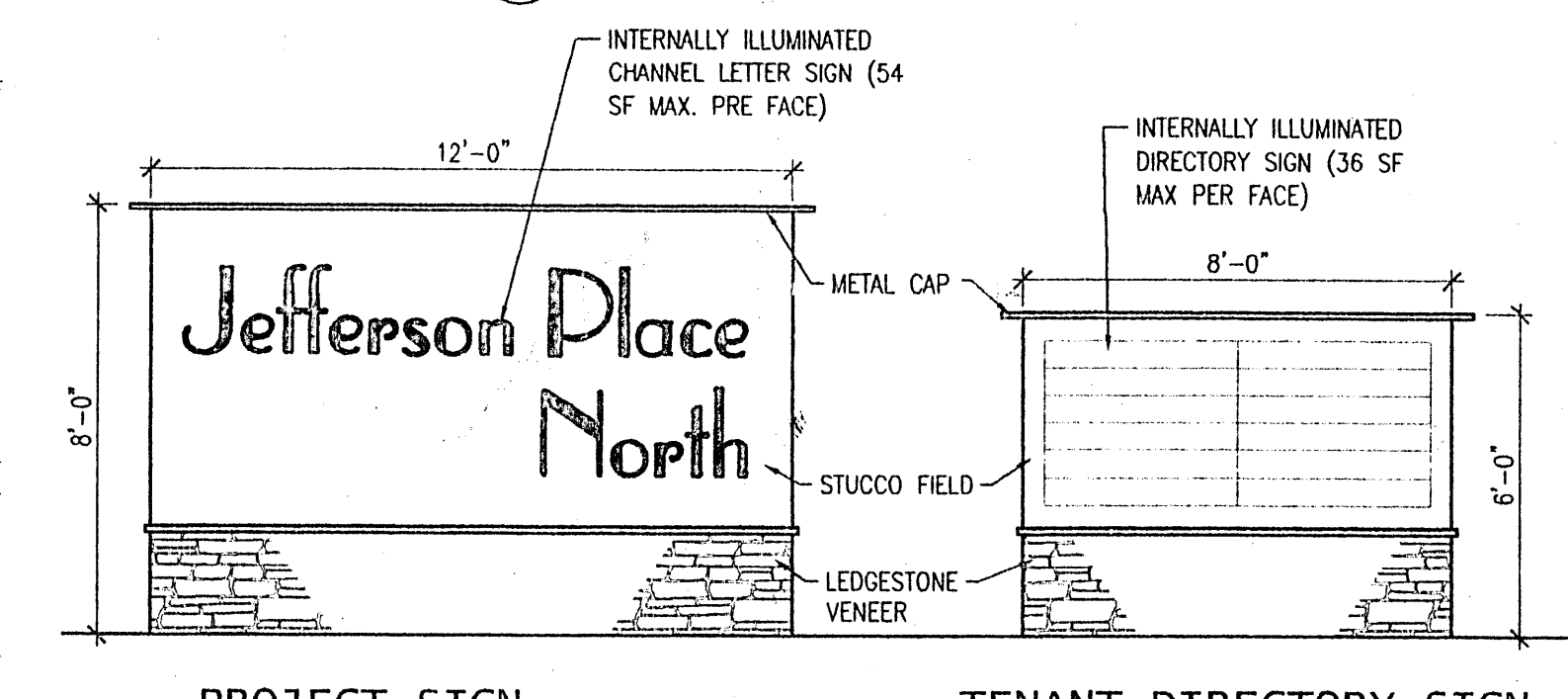
**11 Sidewalk Turn-Down**  
scale: 1" = 1'-0"



**12 Pipe Bollard**  
1/2" = 1'-0"



**13 Sidewalk culvert**  
1 1/2" = 1'-0"



**14 Monument Sign Details**  
not to scale

**GENERAL NOTES**

1. VERIFY ALL EXISTING SITE UTILITY ROUTING AND NEW UTILITY CONNECTIONS WITH UTILITY PROVIDERS. ALL EXISTING STOD-OUTS TO BE USED AND TIED INTO NEW LINES FOR BUILDING.
  2. CURBS DIMENSIONED TO FACE OF CURB U.N.O.
  3. PATCH & REPAIR OR REPLACE EXISTING CURB & GUTTER ALONG STREET FRONTS AS NECESSARY IN COORDINATION WITH DRIVEWAY CONSTRUCTION
- DRIVE LINES & TRUCK DOCKING AREAS  
3" ASPHALT PAVING OVER 6" COMPACTED BASE COURSE
- CAR PARKING LOT PARKING AREA  
2" ASPHALT PAVING OVER 4" COMPACTED BASE COURSE
- VERIFY ALL NEW DRIVEWAY REQUIREMENTS WITH CITY OF ALBUQUERQUE STANDARDS

**PARKING REQUIREMENTS**

|                                  |                            |
|----------------------------------|----------------------------|
| <b>BUILDING ONE:</b>             |                            |
| 1ST. FLR. (OFFICE/SHOWROOM)      | 6000 S.F. @ 1:200 = 30 SP. |
| BASEMENT (OFFICE)                | 4000 S.F. @ 1:300 = 13 SP. |
| (STORAGE)                        | 2000 S.F. @ 1:200 = 1 SP.  |
| <b>BUILDING TWO:</b>             |                            |
| 1ST. FLR. (OFFICE)               | 4200 S.F. @ 1:200 = 21 SP. |
| 2ND. FLR. (OFFICE)               | 4000 S.F. @ 1:300 = 13 SP. |
| <b>BUILDING THREE:</b>           |                            |
| (OFFICE)                         | 3938 S.F. @ 1:200 = 20 SP. |
| <b>TOTAL PARKING REQUIRED</b>    |                            |
| = 98 SPACES                      |                            |
| <b>LESS 10% BUS DISCOUNT</b>     |                            |
| = 88 SPACES                      |                            |
| <b>PARKING PROVIDED:</b>         |                            |
| = 100 SPACES                     |                            |
| <b>REQUIRED H.C. PARKING:</b>    |                            |
| 4 SPACES                         |                            |
| <b>H.C. PARKING PROVIDED:</b>    |                            |
| 5 SPACES                         |                            |
| <b>BICYCLE PARKING PROVIDED:</b> |                            |
| 9 SPACES                         |                            |

**SITE DATA**

|                                       |  |                                                                                                 |
|---------------------------------------|--|-------------------------------------------------------------------------------------------------|
| <b>LOCATION:</b>                      |  | 8801 Jefferson NE<br>ALBUQUERQUE, NM                                                            |
| <b>OWNER:</b>                         |  | CLEARBROOK INVESTMENT, LLC<br>8901 ADAMS NE, SUITE A 87113<br>ALBUQUERQUE, NM<br>(505) 858-1800 |
| <b>ARCHITECTS:</b>                    |  | JLS ARCHITECTS<br>1600 RIO GRANDE BLVD. NW<br>ALBUQUERQUE, NM<br>(505) 246-0870                 |
| <b>LEGAL DESCRIPTION:</b>             |  | TRACT C1-C AND C1-D<br>RICHFIELD PARK<br>ALBUQUERQUE, NM                                        |
| <b>CURRENT ZONING:</b>                |  | SU-1/C-1                                                                                        |
| <b>ZONE ATLAS PAGE:</b>               |  | C-17-Z                                                                                          |
| <b>APPLICABLE CODE:</b>               |  | 2003 IBC                                                                                        |
| <b>CONSTRUCTION TYPE:</b>             |  | 5B SPRINKLED                                                                                    |
| <b>LOT AREA:</b>                      |  | TRACT C1-C-- 71,438 S.F.<br>(1.64 AC.)                                                          |
| <b>TRACT C1-D--</b>                   |  | 13,068 S.F.<br>(.30 AC.)                                                                        |
| <b>TOTAL LOT AREA:</b>                |  | 84,506 S.F.<br>(1.94 AC.)                                                                       |
| <b>TOTAL BUILDING AREA:</b>           |  | 24,138 S.F.                                                                                     |
| <b>NET LOT AREA:</b>                  |  | 70,195 S.F.                                                                                     |
| <b>PAVED AREA:</b>                    |  | 44,604 S.F.                                                                                     |
| <b>LANDSCAPE AREA:</b>                |  | 20,251 S.F.<br>(1,709 SF.-OFF SITE LANDSCAPING)                                                 |
| <b>% OF NET LOT AREA LANDSCAPED:</b>  |  | 28.8 %<br>(% WITHOUT OFF SITE LANDSCAPING)                                                      |
| <b>LANDSCAPE TO PAVED AREA RATIO:</b> |  | 45 %                                                                                            |

**ADMINISTRATIVE AMENDMENT**  
File #04-01318, Project # 1000492  
Site Plan Revisions  
  
APPROVED BY Bob Paul DATE 10/5/04

# Jefferson Place North

8801 Jefferson NE  
Albuquerque NM

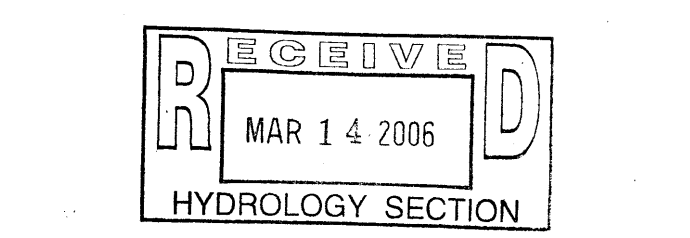
**ARCHITECTS**

1600 rio grande nw  
albuquerque  
new mexico 87104  
505 246 0870  
fax 505 246 0437

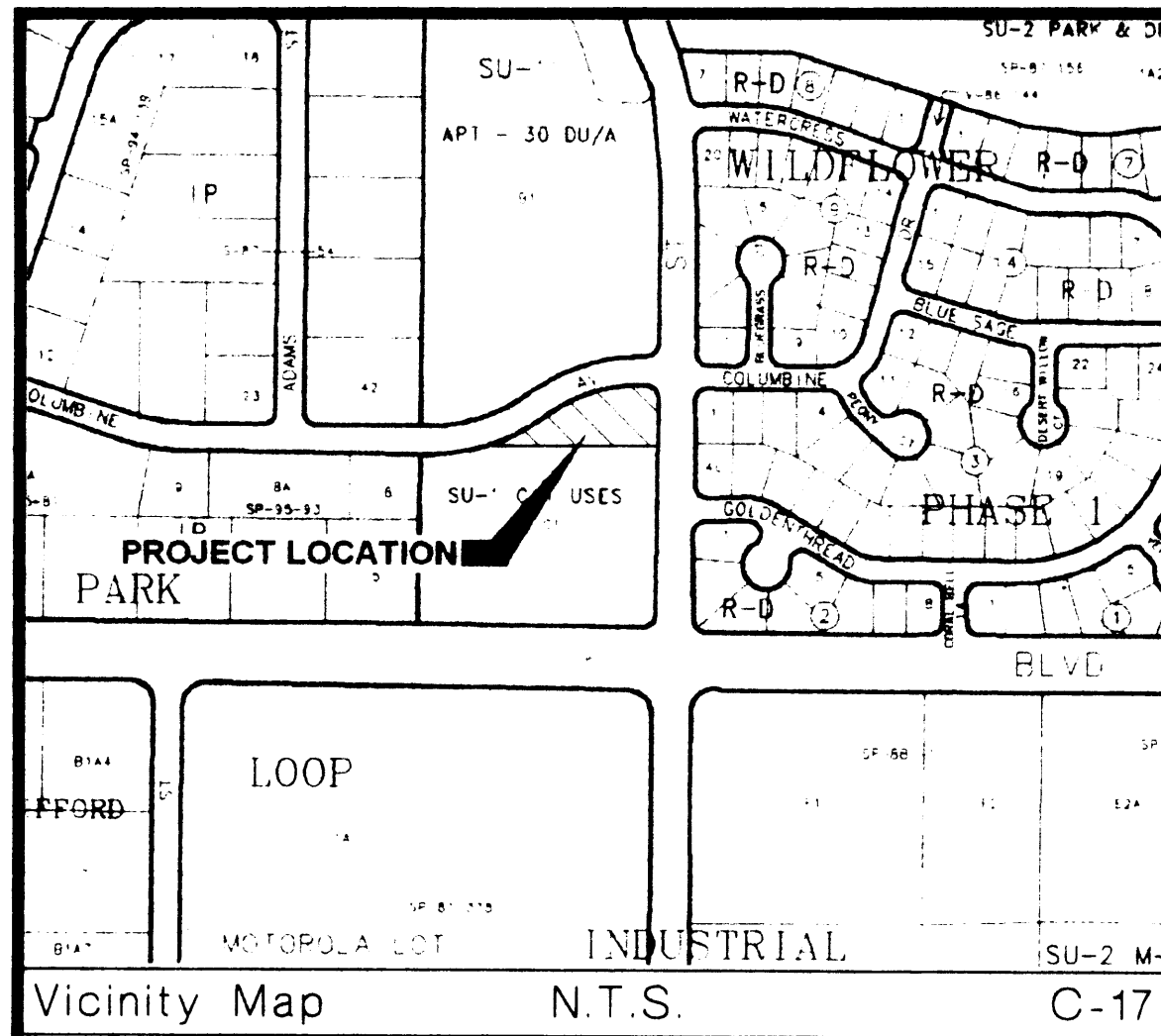
## Site Plan and Site Details

**REVISIONS:**

ARCHITECT: ENGINEER:

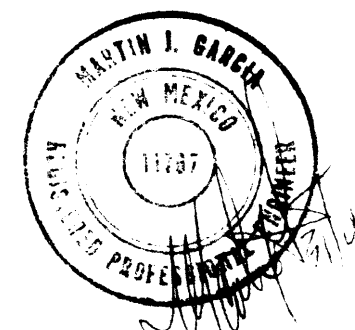


DATE: 9-22-04 SHEET: C1 of 2



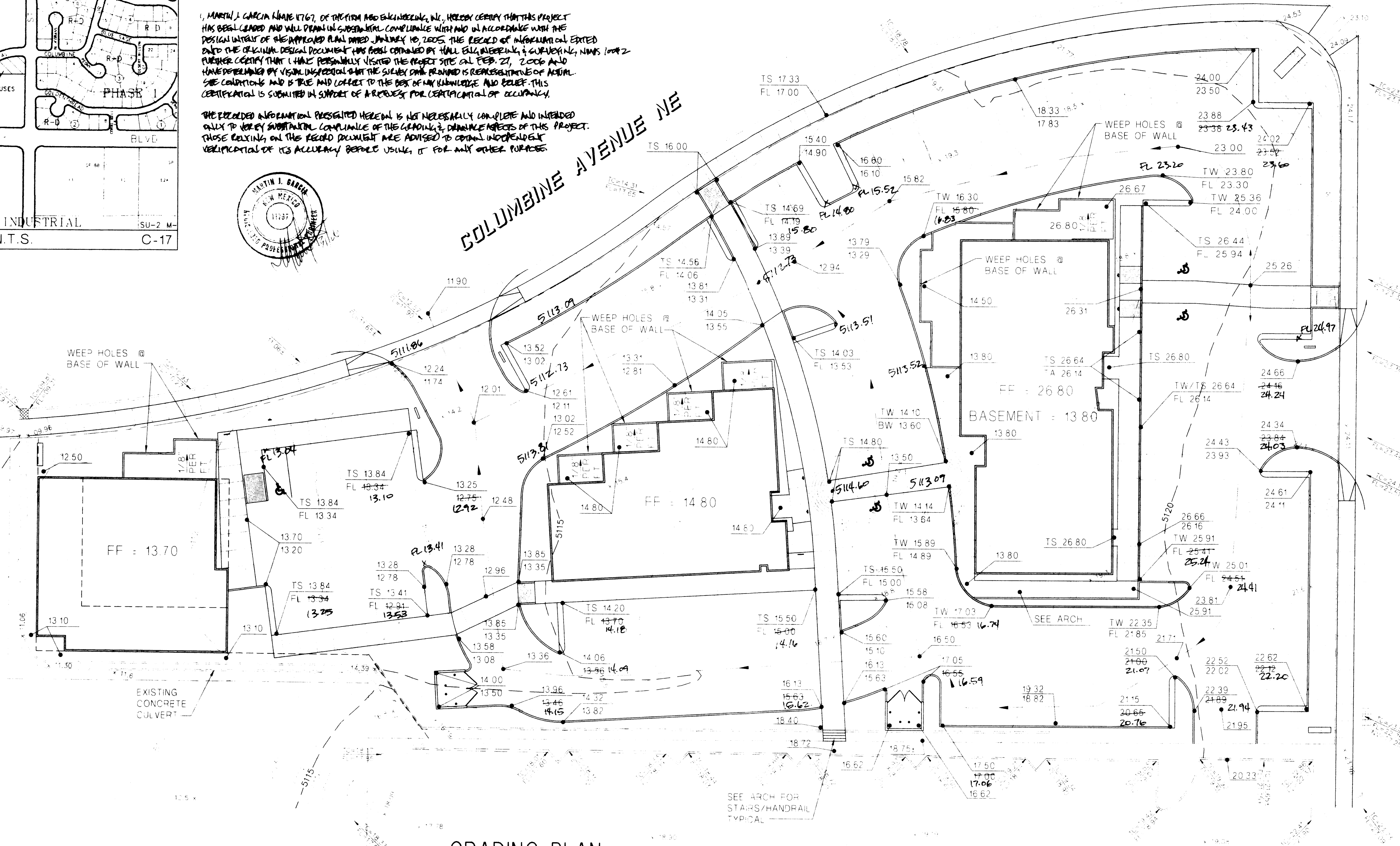
I, MARTIN J. GARCIA, ENGINEER, OF THE FIRM ABO ENGINEERING, INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN DESIGNED AND WILL BE CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED JANUARY 18, 2005. THE RECORD OF INFORMATION ENTERED INTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ABO ENGINEERING, INC. SURVEYING, NIMS 10022. I HAVE PERSONALLY VISITED THE PROJECT SITE ON FEB. 27, 2006 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATION OF OCCUPANCY.

THE RECORDED INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING & DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSES.



COLUMBINE AVENUE NE

JEFFERSON STREET NE



# GRADING PLAN

SCALE: 1" = 20'



NORTH

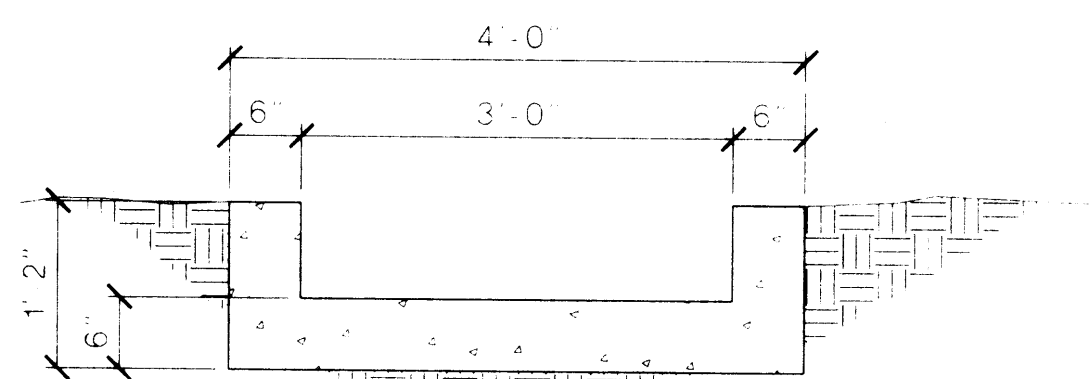
## Hydrology Calculations

DPM - Section 22.2  
Volume 2, January 1993

| Treatment Area               | A    | B    | C    | D    |
|------------------------------|------|------|------|------|
| Excess Precipitation Factors | 0.66 | 0.92 | 1.29 | 2.36 |
| Peak Discharge Factors       | 1.87 | 2.60 | 3.45 | 5.02 |

|                            |       |          |           |          |
|----------------------------|-------|----------|-----------|----------|
| Land Treatment Area        | Acres | Existing | Allowable | Proposed |
| Type "D" (Roof)            |       | 0        | 0.27      | 1.45     |
| Type "C" (Unpaved Roadway) |       | 0        | 0.32      | 0.04     |
| Type "B" (Irrigated Lawns) |       | 0        | 0.32      | 0.15     |
| Type "A" (Undeveloped)     |       | 1.64     | 0.73      | 0.00     |
| Total (Acres)              |       | 1.64     | 1.64      | 1.64     |

|                          |         |         |          |
|--------------------------|---------|---------|----------|
| Excess Precipitation(in) | 0.66    | 1.12    | 2.20     |
| Volume (100), cf         | 3929.11 | 6677.75 | 13110.11 |
| Volume (10), cf          | 2632.51 | 4474.09 | 8783.77  |
| Q (100), cfs             | 3.07    | 4.61    | 7.81     |
| Q (10), cfs              | 2.05    | 3.09    | 5.23     |



## CONCRETE CULVERT DETAIL (EXISTING)

SCALE: 3/4" = 1'-0"

1  
C-101

## Design Narrative

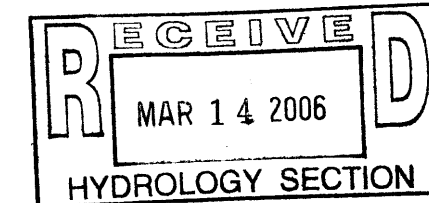
THIS DRAINAGE PLAN IS FOR JOURNAL CENTER II OFFICEWAREHOUSE COMPRISING OF TRACT C1-D RICHFIELD PARK SUBDIVISION AT THE SOUTHWEST CORNER OF JEFFERSON STREET AND COLUMBINE STREET IN THE NORTH VALLEY AREA. THE GRADING FOR THE SITE WAS INCLUDED IN THE GRADING AND DRAINAGE PLAN SUBMITTED BY MARK GOODWIN AND ASSOCIATES IN 2000. THIS PLAN MODIFIES THE APPROVED PLAN BY PROVIDING FOR THE CONSTRUCTION OF THREE BUILDINGS ON THE SITE VERSUS ONE LARGE BUILDING AS WAS SHOWN IN THE PREVIOUS PLAN.

IN ADDITION, THE POND THAT WAS PROVIDED IN THE PREVIOUS PLAN IS BEING ELIMINATED WITH THIS PLAN AND FREE DISCHARGE ONTO COLUMBINE IS BEING UTILIZED. THIS CHANGE IS ALLOWED DUE TO THE COMPLETION OF STORM DRAINAGE INFRASTRUCTURE DOWNSTREAM FROM THIS SITE IN THE AREA OF THE BALLOON FIESTA PARK. THE 100YR FLOWS BEING DISCHARGED ONTO COLUMBINE FROM THIS DEVELOPMENT ARE 7.81 CFS AS SHOWN IN THE HYDROLOGY CALCULATIONS CHART. THERE ARE MINIMAL OFF-SITE FLOWS TO THIS SITE FROM THE AREA BEHIND THE CURB ON THE ADJACENT SITE TO THE SOUTH. THE OFF-SITE FLOWS ARE NEGLIGIBLE AND CAN EASILY BE ACCEPTED WITH THE GRADING SCHEME SHOWN ON THIS PLAN.

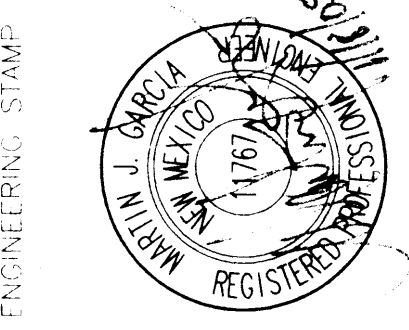
THIS SITE IS NOT LOCATED WITHIN A 100 YEAR FLOOD ZONE.

## Legend

|            |                        |
|------------|------------------------|
| 21.31      | EXISTING CONTOUR       |
| 20.81      | TOP OF CURB            |
|            | FLOW LINE              |
| FF = 25.00 | FINISH FLOOR ELEVATION |
| TS         | TOP OF SIDEWALK        |
| FL         | FLOW LINE              |
| TW         | TOP OF WALL            |
| BW         | BOTTOM OF WALL         |



**ABQ**  
ENGINEERING, INC.  
6739 ACADEMY RD. NE  
ALBUQUERQUE, NM 87109  
505-255-7802  
Engineers • Planners  
Construction Services



COLUMBINE OFFICE DEVELOPMENT  
ALBUQUERQUE, NEW MEXICO

|                |             |      |                  |
|----------------|-------------|------|------------------|
| PROJECT NUMBER | 24093       | DATE | JANUARY 18, 2005 |
| DESIGNED BY    | M. GARCIA   |      |                  |
| DRAWN BY       | F. PHILLIPS |      |                  |
| CHECKED BY     | M. GARCIA   |      |                  |
| CAD FILE NAME  | 093GRAD.DWG |      |                  |

## GRADING PLAN

C-101

SHEET