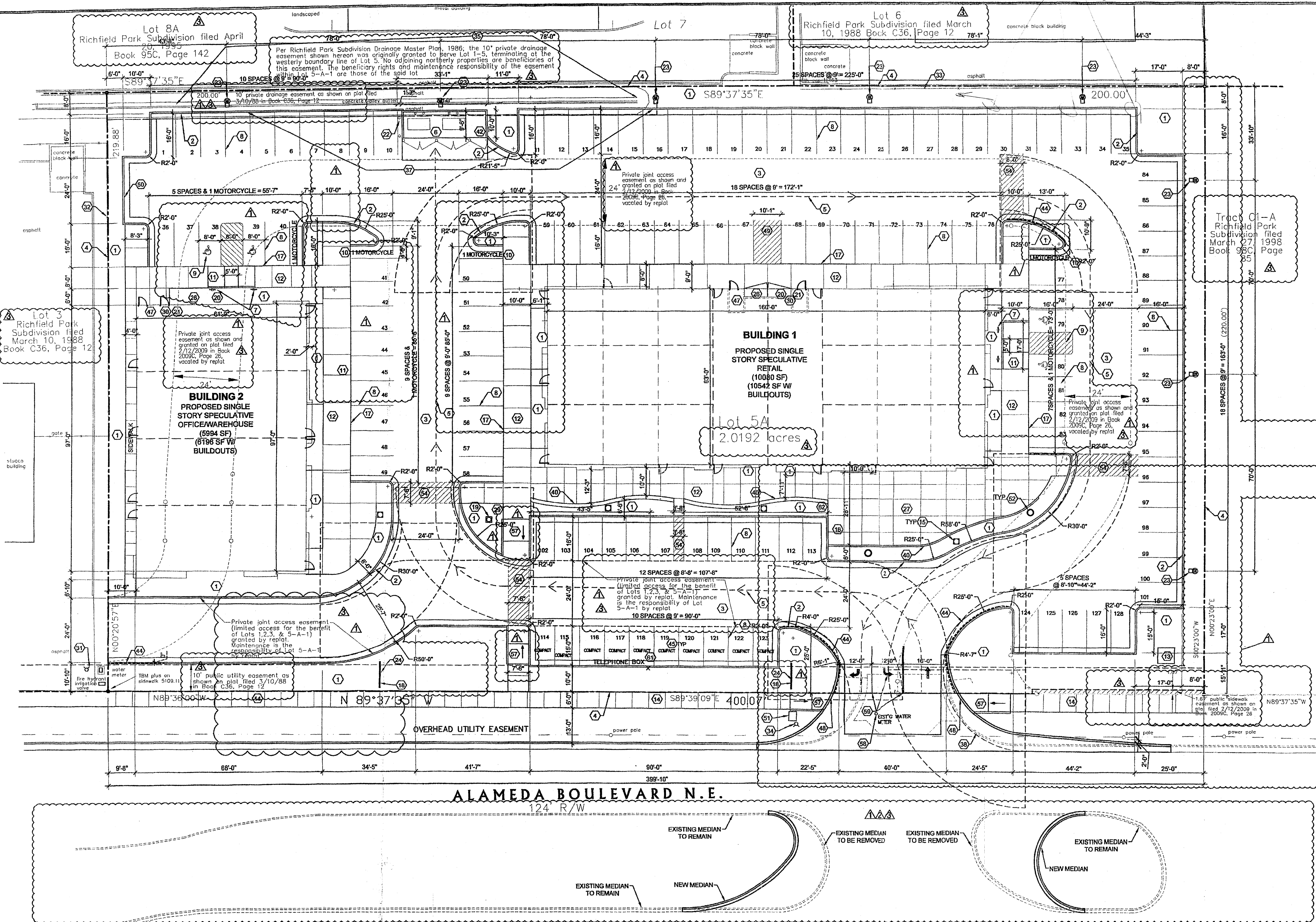




KEYED NOTES:

1. LANDSCAPED AREA REFER TO LANDSCAPE PLAN L1.1.
2. STANDARD CURB & GUTTER PER CITY OF ALBUQUERQUE STANDARD DETAIL.
3. ASPHALT PAVING @ DRIVEWAYS AND AT PARKING STALLS.
4. PROPERTY LINE.
5. WASTE COLLECTION ROUTE.
6. REFUSE PAD, APRON, AND ENCLOSURE WITH RECYCLING AREA, WITH GREASE TRAP & FROST PROOF VARD POST HYDRANT, PER CITY OF ALBUQUERQUE STANDARDS. SEE DETAILS BS1.2 THROUGH BS1.5.
7. POLE MOUNTED HANDICAP PARKING SIGN PER CITY OF ALBUQUERQUE STANDARDS. SEE NS1.2.
8. PARKING STALL STRIPING, TYPICAL.
9. PAINTED HANDICAP PARKING SYMBOL.
10. MOTORCYCLE/MOPED PARKING AREA.
11. HANDICAP PARKING PER CITY STANDARDS. 1:12 MAX. SLOPE.
12. NEW CONCRETE SIDEWALK, WIDTH AS NOTED. MINIMUM UNOBSTRUCTED WIDTH SHALL BE 6'-0".
13. TRANSFORMER LOCATION PAD MOUNTED, PER PNM SPECIFICATIONS.
14. EXISTING 6'-0" CITY SIDEWALK.
15. DECORATIVE POLE LIGHTING OR LIGHT BOLLARDS ALONG SOUTHFRONT OF BUILDING ALONG THE SIDEWALK NOT EXCEEDING 16 FT. HT. SEE DETAIL GS1.2.
16. BIKE RACK, SEE DETAIL LS1.2.
17. TURNDOWN SIDEWALK.
18. MONUMENT SIGN, SEE DETAIL KS1.2.
19. FLAGPOLE, 25' HIGH POLE W/BRUSHED ALUMINUM FINISH.
20. GAS METER LOCATIONS, (12 TOTAL - 8 AT BLDG 1, 4 AT BLDG 2).
21. ROOF ACCESS HATCH & LADDER LOCATION.
22. 6" STEEL BOLLARDS, FILLED W/ CONCRETE. SEE DETAIL FS1.2.
23. POLE LIGHT SEE DETAIL GS1.2. ADDITIONAL LIGHTING TO BE WALL PACKS ATTACHED ON BUILDING.
24. ALL LIGHTING ILLUMINATION TO MEET ALL APPLICABLE CRITERIA.
25. DIRECTIONAL SIGNAGE, SEE DETAIL SS1.2.
26. ELECTRICAL METERS LOCATION.
27. TENANT SHARED OUTDOOR DINING AREA.
28. EXISTING HANDICAP RAMPS PER CITY STANDARDS. 1:12 MAX. SLOPE.
29. MAIL BOX LOCATION.
30. TELEPHONE DEMARCATION PANEL ROOM.
31. EXISTING FIRE HYDRANT.
32. EXISTING CHAIN LINK FENCE TO REMAIN - ON ADJACENT PROPERTY.
33. EXISTING WOOD FENCE TO REMAIN - ON ADJACENT PROPERTY.
34. NEW PUBLIC FIRE HYDRANT.
35. DRAINAGE SWALE, REPLACE WITH LANDSCAPING.
36. NOT USED.
37. CURB CUTS AT 15' TO 20' TO PASS FLOW TO PONDING AREA. SEE GRADING AND DRAINAGE PLAN.
38. EXISTING DRIVE CUT.
39. NOT USED.
40. 3'-4" HIGH SCREEN WALL, STUCCO COLOR TO MATCH BUILDING.
41. SEATING WALL, TOP OF WALL AT 20' ABOVE GROUND LEVEL, WALL DEPTH 16". STUCCO COLOR TO MATCH BUILDING.
42. NEW HANDICAP RAMP PER CITY STANDARDS. 1:12 MAX. SLOPE.
43. NO PARKING, FIRE LANE. CURB TO BE PAINTED/DENOTED AS SUCH (LOCATION DENOTED BY DASHED LINE ON PLAN).
44. ALL COMPACT SPACES TO BE STAMPED WITH THE WORD "COMPACT" ON THE PAVEMENT.
45. FIRE SPRINKLER RISER AND POTABLE WATER BACKFLOW PREVENTER ROOM.
46. RELOCATED ENTRY DRIVE.
47. STAMP PAVEMENT "NO PARKING" FIRE DEPARTMENT ACCESS TO FIRE RISER ROOM.
48. NO PARKING, CURB TO BE PAINTED YELLOW TO DESIGNATE AS SUCH.
49. NEW WATER METER, 1" SERVICE, 3/4" METER.
50. LIGHTING BOLLARD.
51. NOT USED.
52. PAINT STRIPING ON PAVEMENT FOR PEDESTRIAN CROSSWALK.
53. NOT USED.
54. NEW HANDICAP RAMP PER CITY STANDARDS. 1:12 MAX. SLOPE. ALL RAMPS LOCATED WITHIN CITY RIGHT OF WAY TO HAVE TRUNCATED DOMES.
55. CAP OFF EXISTING WATER METER. SEE CONCEPTUAL SITE UTILITY PLAN.
56. NEW LINE STRIPING AND DIRECTIONAL ARROWS AT ACCESS POINT PER C.O.A. STANDARDS.
57. NOT USED.
58. RELOCATE EXISTING TELEPHONE BOX.
59. EXISTING LOCKERS FOR BIKE HELMETS, GEAR, ETC.

SHEET
S1.1
OF: X

REVISIONS:

- 4-3-12 DRB 3-21-12 COMMENTS & EASEMENT REVISIONS
- 5-11-12 ENTRY DRIVE RELOCATION & ASSOCIATED REVISIONS
- 6-13-12 MEDIAN CLARIFICATIONS, DRAINAGE EASEMENT, MAINTENANCE & BENEFICIARIES - CLARIFICATION, REPLAT, COORDINATION
- 6-18-12 DRB COMMENTS - ZONING & BOLLARD DETAIL

SCALE:

1" = 20'-0"
PLAN DATE:
FEB 23, 2012

FILENAME:

SITE
DRAWN BY:
L. KUENN

PROPOSED RETAIL/OFFICE BUILDINGS
LOT 5A RICHFIELD PARK SUBDIVISION
4545 ALAMEDA BLVD NE
ALBUQUERQUE, NEW MEXICO 87113

PROJECT DESCRIPTION:

ADDRESS: 4545 ALAMEDA BOULEVARD NE
ALBUQUERQUE, NM 87113
LEGAL DESCRIPTION: LOT 5-A BEING A REPLAT OF LOTS 4 AND 5, RICHFIELD PARK SUBDIVISION JOHN E & CYNTHIA A MECHENBER 101706430039011104
OWNER: C-17
UPC: SU-2 NC
ZONE MAP: 88,004 SF
ZONING: 88,004 SF
TOTAL SITE AREA: 88,004 SF
DEVELOPED AREA: 88,004 SF

CONSTRUCTION TYPE: II-B (NON COMBUSTIBLE, AUTOMATIC SPRINKLER SYSTEM)

OCCUPANCY GROUPS: M RETAIL
B OFFICE
GROSS BUILDING AREA (INCLUDES OVERHANGS & POPOUTS): 16,738 SF
NET FLOOR AREA: 16,074 SF
NET LOT AREA: 88,004 SF
LESS BUILDING FOOTPRINT AREA: 16,738 SF
NET LOT AREA: 71,226 SF
TOTAL LANDSCAPE PROVIDED: 15,103 SF
LANDSCAPE % NET LOT AREA: 21.2%

BUILDING USAGE & OCCUPANCY AREAS:
THE BUILDING WILL BE USED PRIMARILY FOR RETAIL WITH POSSIBLE OFFICE OR MEDICAL USE IN SOME OF THE SPACE. IT IS ESTIMATED THAT APPROXIMATELY 10,080 S.F. SHALL BE RETAIL SPACE (M OCCUPANCY), AND APPROXIMATELY 5,994 S.F. OF THE TOTAL SQUARE FOOTAGE SHALL BE OFFICE/MEDICAL SPACE (B OCCUPANCY).

TRAFFIC CIRCULATION:
TRAFFIC ENTRY TO THE PROPERTY SHALL BE VIA EAST & WEST-BOUND ALAMEDA BLVD. AT THE EAST END OF THE PROPERTY AND VIA THE SHARED ACCESS EASEMENT WITH LOT 3 RICHFIELD PARK SUBDIVISION AT THE WEST END OF THE PROPERTY. ON-SITE TRAFFIC FLOW IS TWO-WAY THROUGHOUT.

REQUIRED PARKING:

RETAIL (M)	10,080/200	=	51
BUSINESS (B)	5,994/200	=	30
TOTAL PARKING REQUIRED		=	81
TOTAL PARKING PROVIDED:		=	128
COMPACT SPACES ALLOWED (33% OF 128):		=	42
COMPACT SPACES PROVIDED:		=	10
TOTAL HANDICAP REQUIRED PER 2003 IBC TABLE 1106.1:		=	4
TOTAL HANDICAP PROVIDED:		=	4
TOTAL MOTORCYCLE/MOPED REQUIRED:		=	3
TOTAL MOTORCYCLE/MOPED PROVIDED:		=	4
TOTAL BIKE SPACES REQUIRED: 81/20		=	4
TOTAL BIKE SPACES PROVIDED		=	6

PATIO/OUTDOOR DINING AREA: 938 S.F.

EXTERIOR BENCH SEATING:		=	9
TOTAL SEATING REQUIRED (213 LIN FT/ 25 FT)		=	16
EXTERIOR DINING SEATING (MIN.)		=	52
BENCH HIGH WALL SEATING (104 LIN FT/24)		=	68
TOTAL SEATING PROVIDED		=	

A MINIMUM OF 25% OF SEATING TO BE SHADED

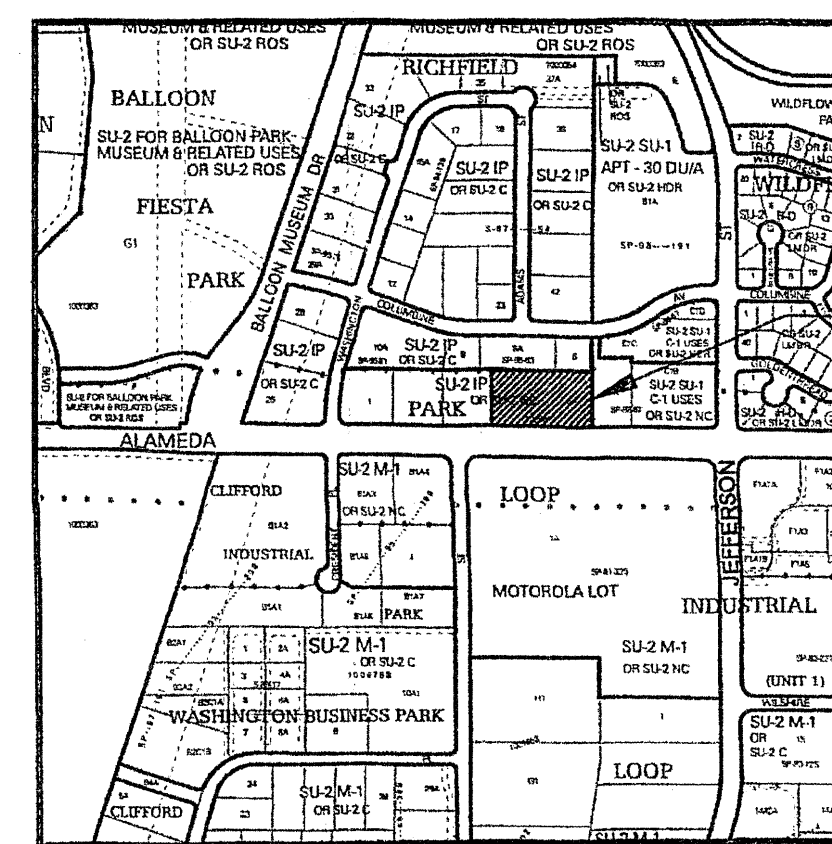
PROJECT NUMBER: 1005410

APPLICATION NUMBER: 12DRB-70062

IS AN INFRASTRUCTURE LIST REQUIRED () YES () NO. IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	06-20-12	DATE
WATER UTILITY DEPARTMENT	06/20/12	DATE
PARKS AND RECREATION DEPARTMENT	6-20-12	DATE
CITY ENGINEER	8-28-12	DATE
*ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	8-28-12	DATE
SOLID WASTE MANAGEMENT	6-20-2012	DATE
DIRECTOR, PLANNING DEPARTMENT		DATE
*ENVIRONMENTAL HEALTH, IF NECESSARY		



VICINITY MAP: C-17-Z

SITE PLAN FOR BUILDING PERMIT



MECHENBER
CONSTRUCTION INC.
8800 WASHINGTON ST. NE SUITE A-5
ALBUQUERQUE, NM 87113
TEL: (505) 314-7790
FAX: (505) 314-7791
WWW.MECHENBER.COM

REVISIONS:

- 4-13-12 DRB 3-21-12 COMMENTS & EASEMENT REVISIONS
- 5-11-12 ENTRY DRIVE RELOCATION & ASSOCIATED REVISIONS
- 6-13-12 MEDIAN CLARIFICATIONS, DRAINAGE EASEMENT MAINTENANCE & BENEFICIARIES COORDINATION, REPEAT
- 6-18-12 DRB COMMENTS - ZONING & BOLLARD DETAIL

SCALE:

1" = 20'-0"

PLAN DATE:

FEB 23, 2012

FILE NAME:

SITE

DRAWN BY:

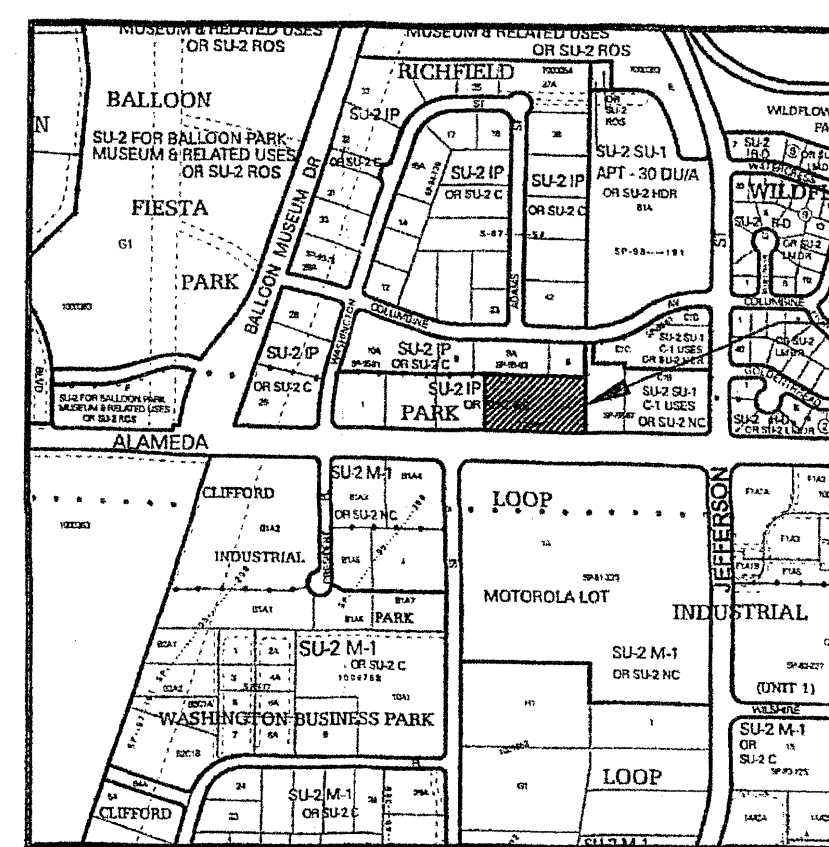
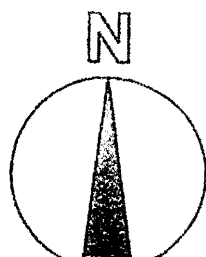
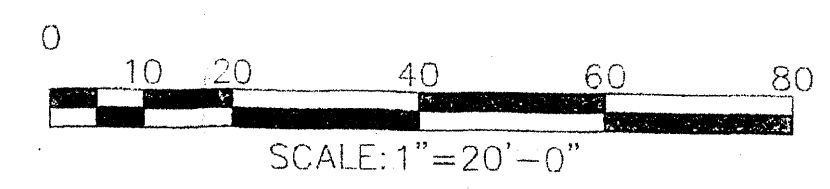
L. KUENN

PROPOSED RETAIL/OFFICE BUILDINGS
LOT 5A RICHFIELD PARK SUBDIVISION
4545 ALAMEDA BLVD NE
ALBUQUERQUE, NEW MEXICO 87113

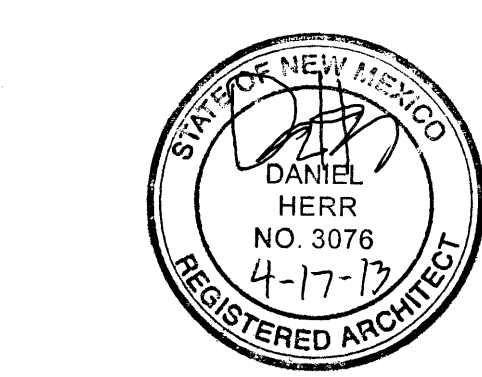
MECHENBER
CONSTRUCTION INC.
OFFICE: 603 342720
FAX: 505 342774
WWW.MECHENBER.COM

KEYED NOTES:

1. LANDSCAPED AREA REFER TO LANDSCAPE PLAN L1.1.
2. STANDARD CURB & GUTTER PER CITY OF ALBUQUERQUE STANDARD DETAIL.
3. ASPHALT PAVING @ DRIVEWAYS AND AT PARKING STALLS.
4. PROPERTY LINE.
5. WASTE COLLECTION ROUTE.
6. REFUSE PAD, APRON AND ENCLOSURE WITH RECYCLING AREA, WITH GREASE TRAP & FROST PROOF YARD POST HYDRANT, PER CITY OF ALBUQUERQUE STANDARDS. SEE DETAILS B1S1.2 THROUGH B1S1.2.
7. POLE MOUNTED HANDICAP PARKING SIGN PER CITY OF ALBUQUERQUE STANDARDS. SEE DETAIL B1S1.2.
8. PARKING STALL STRIPING, TYPICAL.
9. PAINTED HANDICAP PARKING SYMBOL.
10. MOTORCYCLE/MOPED PARKING AREA.
11. HANDICAP RAMP PER CITY STANDARDS. 1:12 MAX. SLOPE.
12. NEW CONCRETE SIDEWALK. WIDTH AS DENOTED. MINIMUM UNOBSTRUCTED WIDTH SHALL BE 6'-0".
13. TRANSFORMER LOCATION PAD MOUNTED, PER PIN SPECIFICATIONS.
14. EXISTING 6" CITY SIDEWALK.
15. DECORATIVE POLE LIGHTING OR LIGHT BOLLARDS ALONG SOUTHWEST FRONT OF BUILDING ALONG THE SIDEWALK NOT EXCEEDING 18 FT. HT. SEE DETAIL G1S1.2.
16. BIKE RACK. SEE DETAIL L1S1.2.
17. TURNDOWN SIDEWALK.
18. MONUMENT SIGN. SEE DETAIL K1S1.2.
19. FLAGPOLE. 20' HIGH POLE WRAPPED ALUMINUM FINISH.
20. GAS METER LOCATIONS. (12 TOTAL. 8 AT BLDG 1, 4 AT BLDG 2).
21. ROOF ACCESS HATCH & LADDER LOCATION.
22. 6" STEEL BOLLARDS. FILLED W/ CONCRETE. SEE DETAIL F1S1.2.
23. POLE LIGHT SEE DETAIL G1S1.2. ADDITIONAL LIGHTING TO BE WALL PACKS ATTACHED ON BUILDING.
24. ALL LIGHTING ILLUMINATION TO MEET ALL APPLICABLE ORDINANCES.
25. MONUMENT SIGN DOWN LIGHTING MOUNTED ON TOP OF MONUMENT SIGN.
26. DIRECTIONAL SIGNAGE. SEE DETAIL M1S1.2.
27. ELECTRICAL METERS LOCATION.
28. TENANT SHARED OUTDOOR DINING AREA.
29. EXISTING HANDICAP RAMP PER CITY STANDARDS. 1:12 MAX. SLOPE.
30. MAIL BOX LOCATION.
31. TELEPHONE DEMARCATION PANEL ROOM.
32. EXISTING FIRE HYDRANT.
33. EXISTING CHAIN LINK FENCE TO REMAIN - ON ADJACENT PROPERTY.
34. EXISTING WOOD FENCE TO REMAIN - ON ADJACENT PROPERTY.
35. NEW PUBLIC FIRE HYDRANT.
36. LANDSCAPE SWALE. REPLACE WITH LANDSCAPING.
37. CROCKETS AT 15' O.C. TO PASS FLOW TO PONDING AREA. SEE GRADING AND DRAINAGE PLAN.
38. EXISTING DRIVE CUT.
39. NOT USED.
40. 3/4" HIGH SCREEN WALL. STUCCO COLOR TO MATCH BUILDING.
41. SEATING WALL. TOP OF WALL AT 20' ABOVE GROUND LEVEL. WALL DEPTH 16". STUCCO COLOR TO MATCH BUILDING.
42. NOT USED.
43. NEW HANDICAP RAMP PER CITY STANDARDS. 1:12 MAX. SLOPE.
44. NO PARKING. FIRE LANE. CURB TO BE PAINTED/DENOTED AS SUCH (LOCATION DENOTED BY DASHED LINE ON PLAN).
45. ALL COMPACT SPACES TO BE STAMPED WITH THE WORD "COMPACT" ON THE PAVEMENT.
46. NOT USED.
47. FIRE SPRINKLER RISER AND POTABLE WATER BACKFLOW PREVENTER ROOM.
48. RELOCATED ENTRY DRIVE.
49. STAMP PAVEMENT "NO PARKING" FIRE DEPARTMENT ACCESS TO FIRE RISER ROOM.
50. NO PARKING. CURB TO BE PAINTED YELLOW TO DESIGNATE AS SUCH.
51. NEW WATER METER. 1" SERVICE. 3/4" METER.
52. LIGHTING BOLLARD.
53. NOT USED.
54. DASH STRIPING ON PAVEMENT FOR PEDESTRIAN CROSSWALK.
55. NOT USED.
56. NOT USED.
57. NEW HANDICAP RAMP PER CITY STANDARDS. 1:12 MAX. SLOPE. ALL RAMP LOCATED IN WITHIN CITY RIGHT OF WAY TO HAVE TRUNCATED CONES.
58. CAP OFF EXISTING WATER METER. SEE CONCEPTUAL SITE UTILITY PLAN.
59. NEW LADE STRABING AND DIRECTIONAL ARROWS AT ACCESS POINT PER C.O.A. STANDARDS.
60. NOT USED.
61. RELOCATE EXISTING TELEPHONE BOX.
62. EXTERIOR LOCKERS FOR BIKE HELMETS, GEAR, ETC.

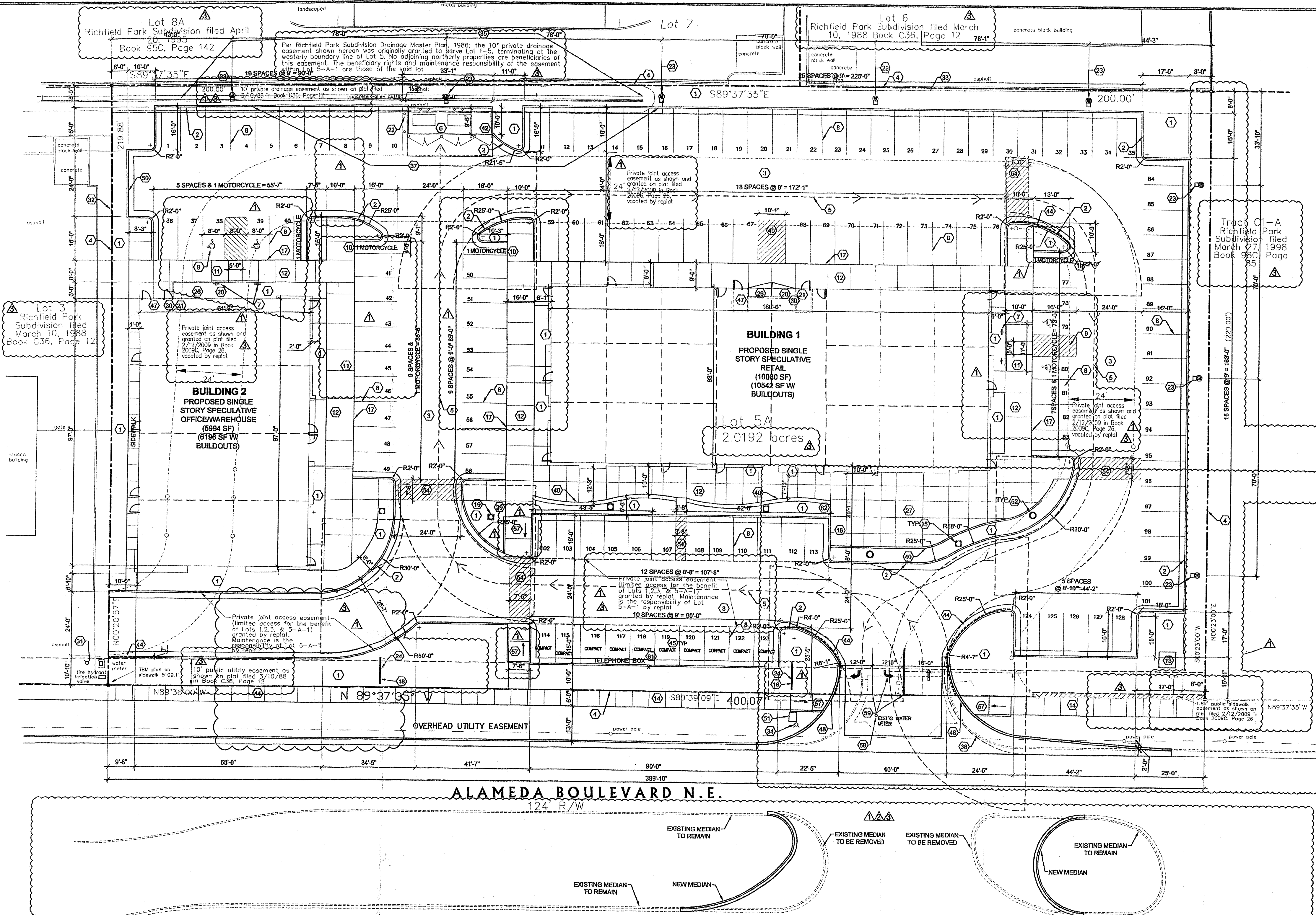


VICINITY MAP: C-17-Z



1005410

SITE PLAN FOR BUILDING PERMIT



PROJECT DESCRIPTION:

ADDRESS: 4545 ALAMEDA BOULEVARD NE
ALBUQUERQUE, NM 87113
LEGAL DESCRIPTION: LOT 5-A BEING A REPLAT OF LOTS 4 AND 5, RICHFIELD PARK SUBDIVISION JOHN E & CYNTHIA A MECHENBER 101706430039011104
OWNER: C-17
UPC: SU-2 NC
ZONE MAP: SU-2 NC
TOTAL SITE AREA: 88,004 SF
DEVELOPED AREA: 88,004 SF

CONSTRUCTION TYPE: II-B (NON COMBUSTIBLE, AUTOMATIC SPRINKLER SYSTEM)

OCCUPANCY GROUPS: M RETAIL
B OFFICE
GROSS BUILDING AREA (INCLUDES OVERHANGS & POPOUTS): 16,738 SF
NET FLOOR AREA: 16,074 SF
NET LOT AREA: 88,004 SF
LESS BUILDING FOOTPRINT AREA: 16,738 SF
NET LOT AREA: 71,226 SF
TOTAL LANDSCAPE PROVIDED: 15,103 SF
LANDSCAPE % NET LOT AREA: 21.2 %

BUILDING USAGE & OCCUPANCY AREAS:
THE BUILDING WILL BE USED PRIMARILY FOR RETAIL WITH POSSIBLE OFFICE OR MEDICAL USE IN SOME OF THE SPACE. IT IS ESTIMATED THAT APPROXIMATELY 10,080 S.F. SHALL BE RETAIL SPACE (M OCCUPANCY), AND APPROXIMATELY 5,994 S.F. OF THE TOTAL SQUARE FOOTAGE SHALL BE OFFICE/MEDICAL SPACE (B OCCUPANCY).

TRAFFIC CIRCULATION:
TRAFFIC ENTRY TO THE PROPERTY SHALL BE VIA EAST & WEST-BOUND ALAMEDA BLVD. AT THE EAST END OF THE PROPERTY AND VIA THE SHARED ACCESS EASEMENT WITH LOT 3 RICHFIELD PARK SUBDIVISION AT THE WEST END OF THE PROPERTY. ON-SITE TRAFFIC FLOW IS TWO-WAY THROUGHOUT.

REQUIRED PARKING:

RETAIL (M)	10,080/200	=	51
BUSINESS (B)	5,994/200	=	30
TOTAL PARKING REQUIRED			81

TOTAL PARKING PROVIDED: = 128

COMPACT SPACES ALLOWED (33% OF 128): = 42
COMPACT SPACES PROVIDED: = 10

TOTAL HANDICAP REQUIRED PER 2003 IBC TABLE 1106.1: = 4
TOTAL HANDICAP PROVIDED: = 4

TOTAL MOTORCYCLE/MOPED REQUIRED: = 3
TOTAL MOTORCYCLE/MOPED PROVIDED: = 4

TOTAL BIKE SPACES REQUIRED: 81/20 = 4
TOTAL BIKE SPACES PROVIDED: = 6

PATIO/OUTDOOR DINING AREA: 938 S.F.

EXTERIOR BENCH SEATING:			
TOTAL SEATING REQUIRED (213 LIN FT/25 FT)	=		9
EXTERIOR DINING SEATING (MIN.)	=		16
BENCH HIGH WALL SEATING (104 LIN FT/24)	=		52
TOTAL SEATING PROVIDED			68

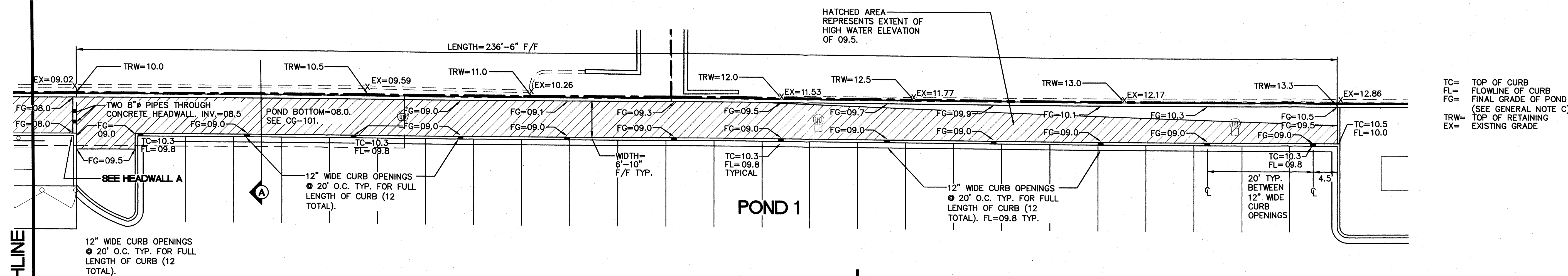
A MINIMUM OF 25% OF SEATING TO BE SHADED

PROJECT NUMBER: 1005410

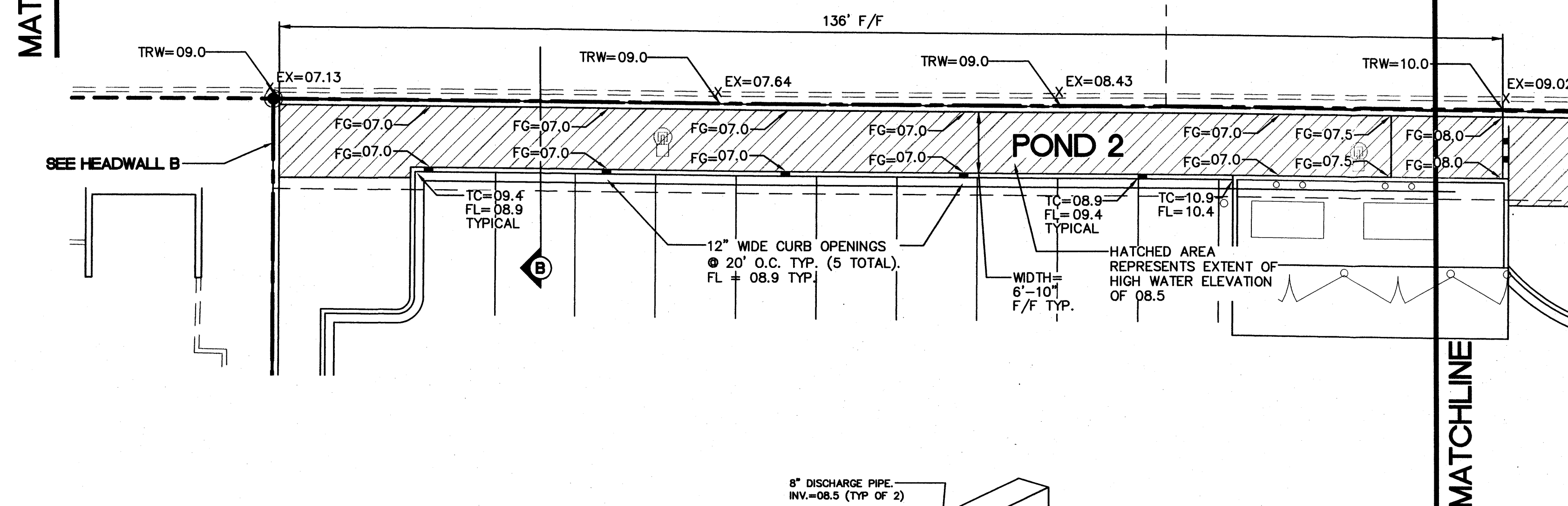
APPLICATION NUMBER: 12DRB-70062
IS AN INFRASTRUCTURE LIST REQUIRED () YES () NO. IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	06-20-12	DATE
WATER UTILITY DEPARTMENT	06/20/12	DATE
PARKS AND RECREATION DEPARTMENT	6-20-12	DATE
CITY ENGINEER	8-28-12	DATE
*ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	8-28-12	DATE
*ENVIRONMENTAL HEALTH, IF NECESSARY	6-20-2012	DATE



TC= TOP OF CURB
FL= FLOWLINE OF CURB
FG= FINAL GRADE OF POND
(SEE GENERAL NOTE C)
TRW= TOP OF RETAINING
EX= EXISTING GRADE

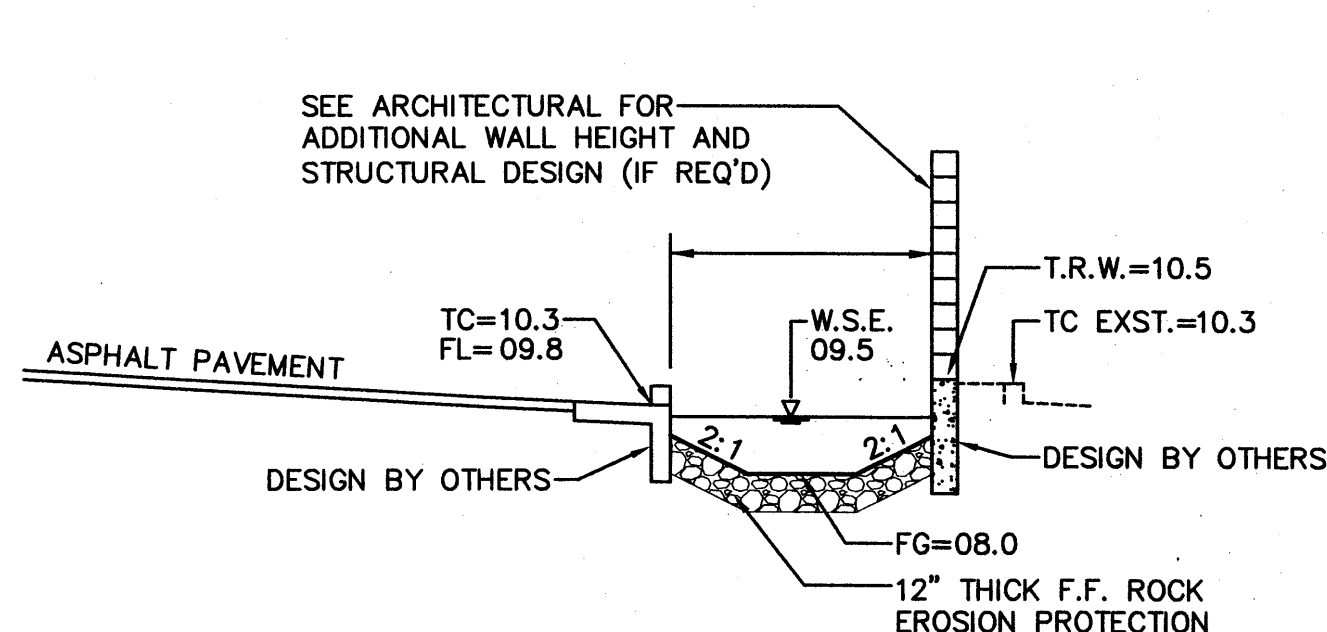


NOTICE TO CONTRACTOR:

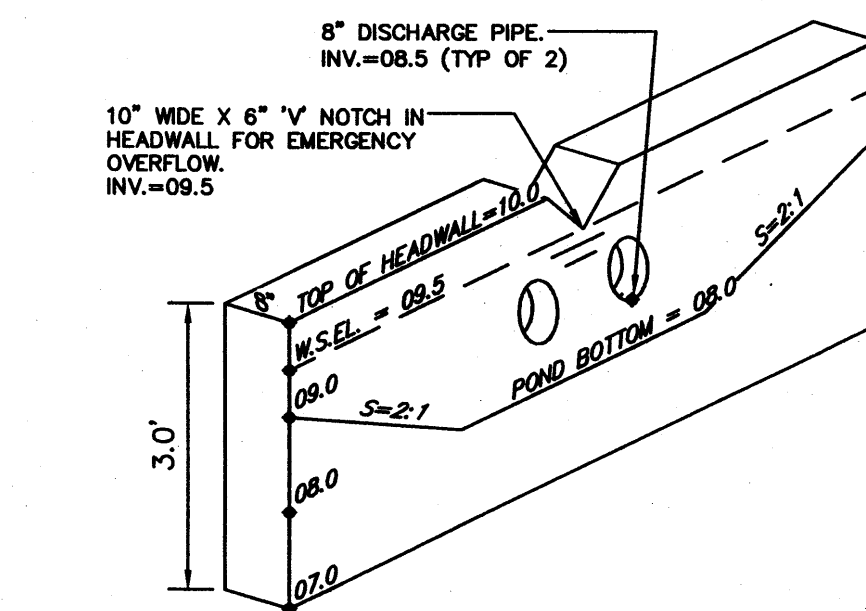
PONDS 1 AND 2, INCLUDING LENGTH, WIDTH, ELEVATIONS, OUTLET SIZE INVERT ELEVATIONS, ETC. HAVE BEEN SPECIFICALLY DESIGNED TO LIMIT DISCHARGE TO THE MAXIMUM ALLOWABLE DISCHARGE RATE OF 4.22 CFS. THESE PONDS MUST BE CONSTRUCTED PER PLANS IN ORDER TO RECEIVE ENGINEER'S CERTIFICATION FOR CERTIFICATE OF OCCUPANCY.

GENERAL NOTES

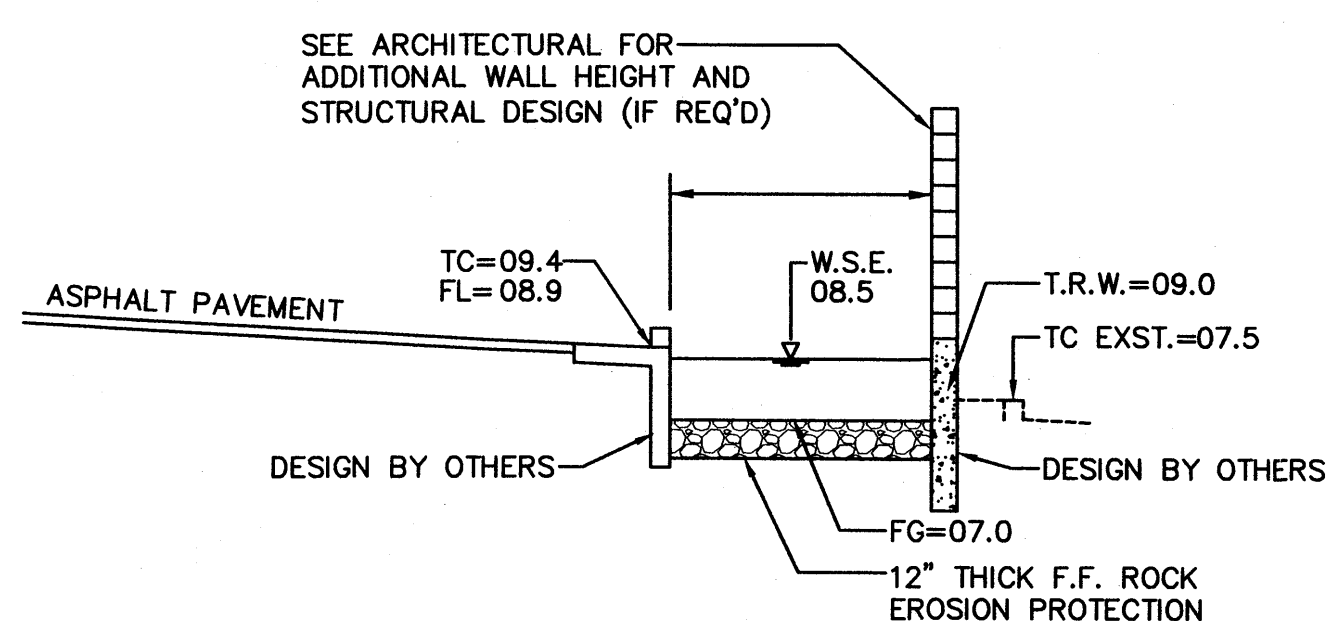
- COORDINATE WORK WITH SITE PLAN AND UTILITY PLAN.
- ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OF OFFSITE.
- FINAL GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS FINISH MATERIAL THICKNESSES.
- MINIMUM SLOPES SHALL BE 1% UNLESS OTHERWISE NOTED.
- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- THE ENVIRONMENTAL PROTECTION AGENCY REQUIRES A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR PROJECTS WHERE CONSTRUCTION ACTIVITIES (INCLUDING OTHER LAND-DISTURBING ACTIVITIES) DISTURB ONE ACRE OR MORE.
- ADJUST RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES, TYPICAL.
- WHERE NEW GRADES ARE SHOWN AS 'MATCH' OR '±', TRANSITIONS TO EXISTING INFRASTRUCTURE SHALL BE SMOOTH, SHALL ALLOW FOR POSITIVE DRAINAGE AS INTENDED ON PLAN AND SHALL MEET ADA REQUIREMENTS.
- ALL PERMANENT EROSION PROTECTION TO BE 12" DEPTH OF 6" AVG. DIA. FRACTURED FACED ROCK (F.F. ROCK) OVER GEOTEX 50 NON-WOVEN GEOTEXTILE. OVEREXCAVATE AS REQ'D SO THAT TOP OF EROSION PROTECTION = PROPOSED GRADE (SEE GENERAL NOTE C).
- OWNER SHALL MAINTAIN EROSION PROTECTION ELEMENTS. ENGINEER RECOMMENDS THAT OWNER INSPECT SITE YEARLY AND AFTER EACH RAINFALL TO MAINTAIN GRADES, IDENTIFY NEW AREAS OF EROSION AND INSTALL ADDITIONAL EROSION PROTECTION AS NEEDED BASED ON ACTUAL OCCURRENCES.
- LANDSCAPED AREAS SHALL BE DEPRESSED TO RETAIN MOISTURE THAT FALLS ON THEM FOR INFILTRATION. DO NOT DEPRESS LANDSCAPING WITHIN 10' OF BUILDING.



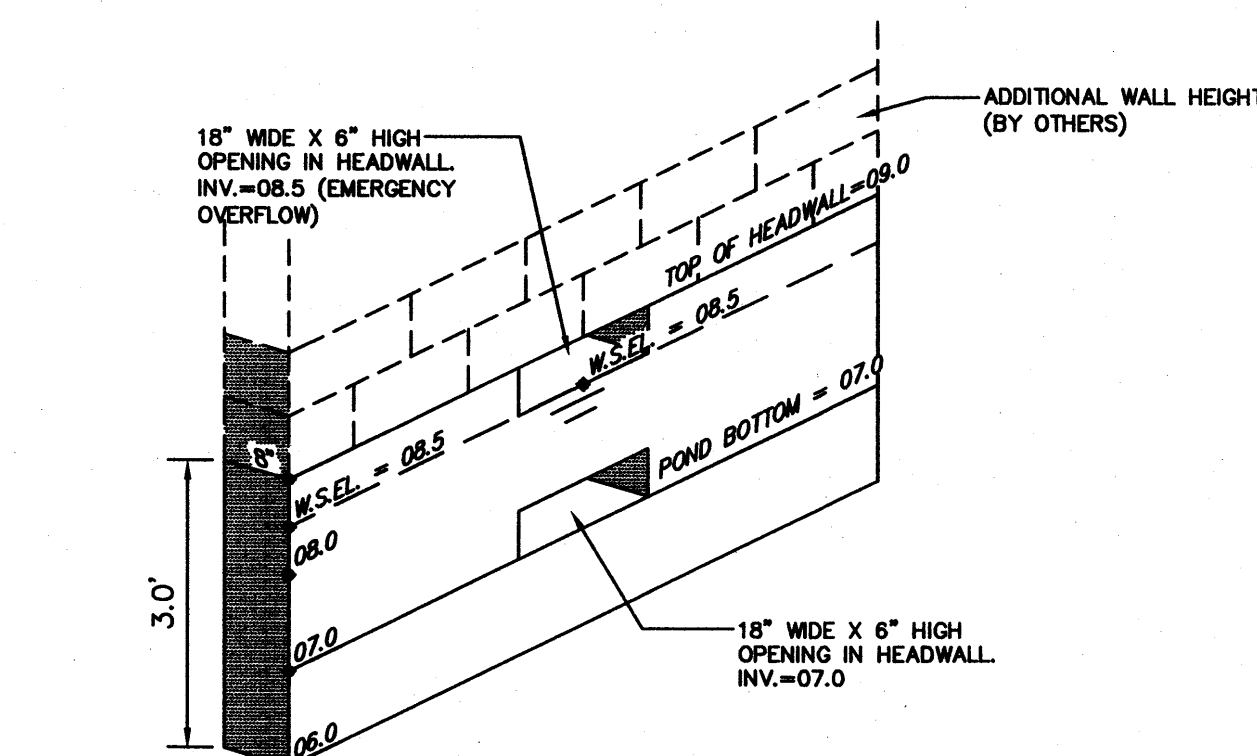
POND 1 SECTION A



HEADWALL A: BETWEEN PONDS 1 AND 2



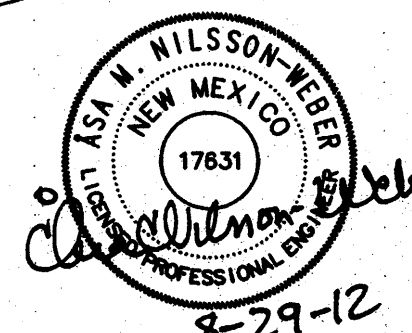
POND 2 SECTION B



HEADWALL B: BETWEEN PONDS 1 AND 2

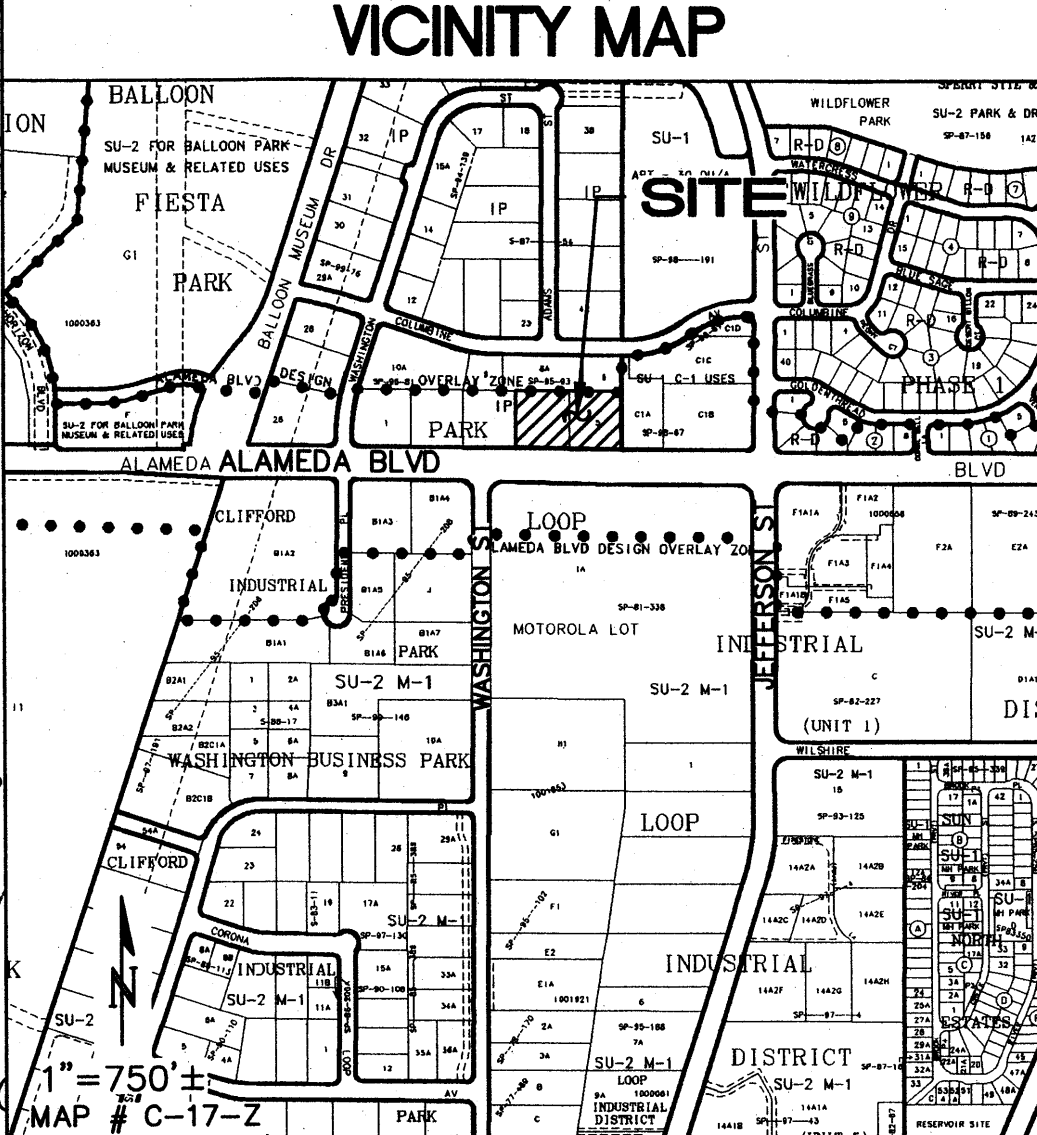
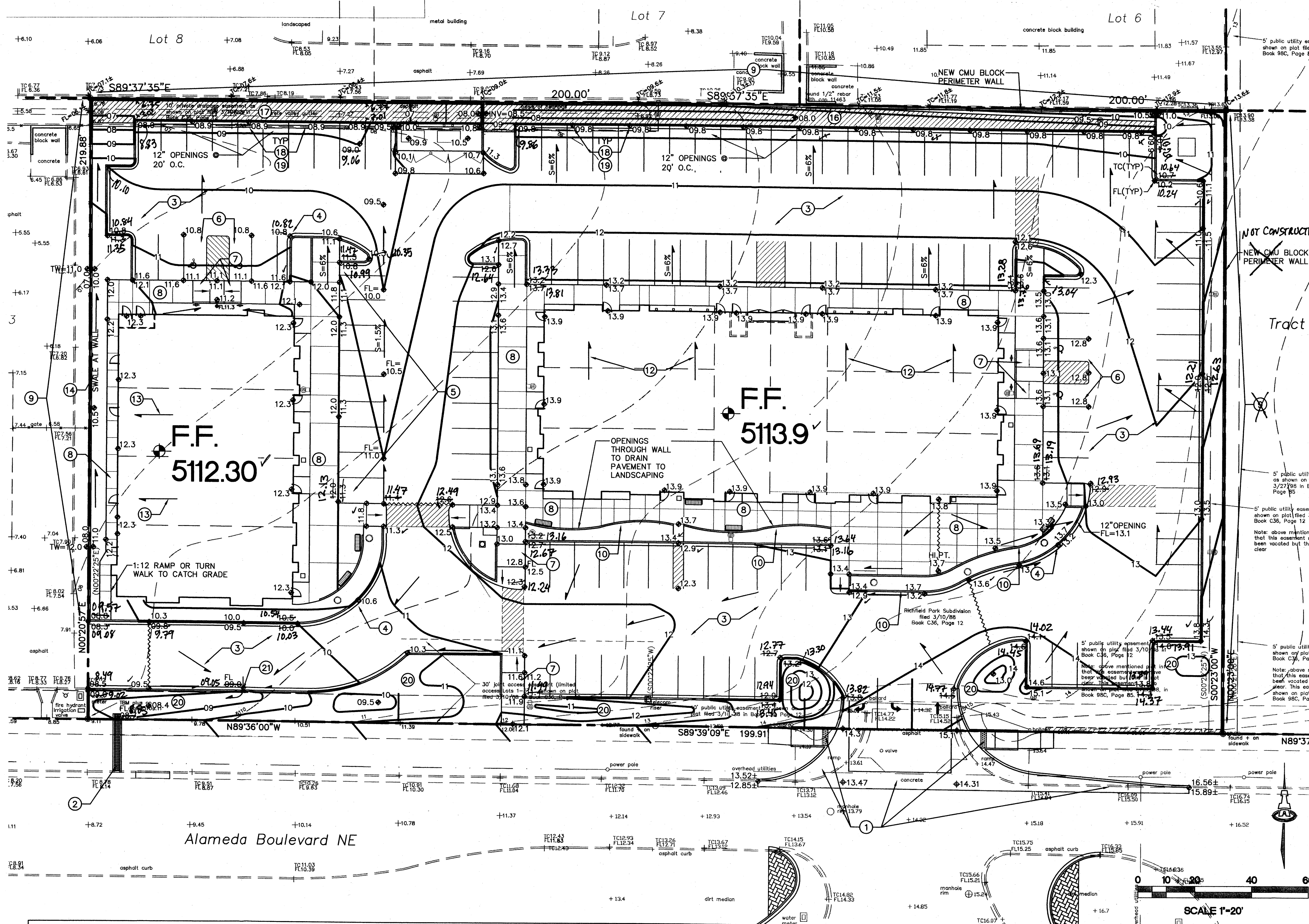
AHYMO PROGRAM SUMMARY TABLE (AHYMO-54) - Ver. S4.01a, Rel: 01a RUN DATE (MON/DAY/YR) = 08/01/2012									
INPUT FILE = M:\PROJECT DOCUMENTS\1900-1999\1918\CALCS\1918p.DAT USER NO. = AHYMO_Temp_User:20122010									
***** RICHFIELD PARK, LOT 5A *****									
***** DEVELOPED CONDITIONS *****									
***** 100-YR. 6-HR STORM *****									
***** 1918P.DAT *****									
***** JULY 2012 *****									
***** BY GENNY DONART *****									
***** ISAACSON & ARFMAN, P.A. *****									
***** START *****									
***** RAINFALL TYPE= 1 NOAA 14 *****									
***** TIME= 0.00 *****									
***** RAINF= 2.370 *****									
***** PAGE = 1 *****									
***** NOTATION *****									
COMMAND	HYDROGRAPH	FROM	TO	AREA	PEAK	RUNOFF	TIME TO	CFS	
	IDENTIFICATION	ID	ID	(SQ MI)	DISCHARGE	VOLUME	(HOURS)	PER	
		NO.	NO.		(CFS)	(AC-FT)		ACRE	
B2	*S BASIN B2	B2	-	1	0.00048	1.28	0.050	1.97645	4.195 PER IMP= 88.00
	COMPUTE NM HYD								
B3	*S BASIN B3	B3	-	2	0.00093	2.50	0.100	2.01991	4.216 PER IMP= 92.00
	COMPUTE NM HYD								
B4	*S BASIN B4	B4	-	3	0.00081	2.19	0.087	1.99822	4.195 PER IMP= 90.00
	COMPUTE NM HYD								
	*S ADD LANDSCAPE AREA 7 & B3								
	ADD HYD	B3.1	1 & 2	11	0.00140	3.78	0.150	2.00482	4.209
POND 1	*S POND 1 (BASIN B3)								
	ADD HYD	B4.1	20 & 3	21	0.00222	4.78	0.236	1.99754	1.570 3.368
POND 2	*S POND 2 (BASIN B4)								
	*****AP1*****								
	ROUTE RESERVOIR	B4.2	21	30	0.00222	4.09 *	0.236	1.99754	1.670 2.880 AC-FT= 0.023
B1	*S BASIN B1	B1	-	4	0.00070	1.87 **	0.074	1.97645	4.175 PER IMP= 88.00
	COMPUTE NM HYD								
LA1	*S BASIN LA1	LA1	-	5	0.00008	0.16	0.004	0.98469	1.540 3.090 PER IMP= 0.00
	COMPUTE NM HYD								
LA2	*S BASIN LA2	LA2	-	6	0.00005	0.10	0.003	0.98469	1.540 3.216 PER IMP= 0.00
	COMPUTE NM HYD								
LA3	*S BASIN LA3	LA3	-	7	0.00008	0.16	0.004	0.98469	1.540 3.090 PER IMP= 0.00
	COMPUTE NM HYD								
O1	*S BASIN O1	O1	-	8	0.00003	0.09	0.003	1.80983	1.530 4.414 PER IMP= 72.00
	COMPUTE NM HYD								

* POND 1 PEAK DISCHARGE TO DRAINAGE EASEMENT (4.22 CFS ALLOWED)
** BASIN B1 PEAK DISCHARGE TO ALAMEDA BLVD.



SHEET NAME
GRADING AND DRAINAGE DETAILS





KEYED NOTES

1. NEW SITE ACCESS, ADA RAMP, ETC. WITHIN R.O.W. TO BE CONSTRUCTED BY PUBLIC WORK ORDER.
2. NEW COVERED SIDEWALK CULVERT (24" WIDE BOTTOM WIDTH) WITHIN R.O.W. TO BE CONSTRUCTED BY PUBLIC WORK ORDER.
3. CONSTRUCT NEW PAVING AT ELEVATIONS SHOWN. PROVIDE SMOOTH TRANSITION WHEN MATCHING EXISTING PAVEMENT.
4. SPOT ELEVATIONS WITHIN GUTTER AREA REPRESENT FLOWLINE. ADD 0.5' TYPICAL FOR TOP OF ADJACENT CURB OR WALK ELEVATIONS. SEE KEYED NOTE (4) FOR EXCEPTION.
5. CONSTRUCT 8" HIGH TURNED-DOWN WALK THIS AREA TO ACHIEVE GRADES SHOWN.
6. CONSTRUCT HANDICAP PARKING AREA AT ELEVATIONS SHOWN. SLOPE WITHIN HANDICAP PARKING AREA TO MEET ADA REQUIREMENTS. MAX. SLOPE = 2% IN ANY DIRECTION.
7. CONSTRUCT 1:12 (MAX.) SIDEWALK RAMP TO ADA STANDARDS. SEE ARCHITECTURAL FOR DETAILS.
8. CONSTRUCT CONCRETE PEDESTRIAN WALKS AND PATIOS AT ELEVATIONS SHOWN.
9. CONSTRUCT PERIMETER CMU WALL (MAXIMUM RETAINING = 30") WITHIN PROPERTY TO ACHIEVE GRADES SHOWN. TOP OF RETAINING PORTION OF WALL SHOWN ON PLAN. TOP OF PRIVACY WALL VARIES (MAXIMUM HEIGHT = 6' ABOVE HIGH-SIDE GRADE). SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION.
10. CONSTRUCT GARDEN WALL / HIGH CURB (MAXIMUM RETAINING = 12") TO ACHIEVE GRADES SHOWN. SLOPE PAVEMENT TO DRAIN TO SIDES OR TO 4" DIA. PIPES PLACED THROUGH WALL/CURB AT LOW POINTS.
11. NOT USED
12. EAST BUILDING ROOF TO DISCHARGE NORTH THROUGH WALK DIRECTLY TO ASPHALT PAVEMENT. OWNER'S OPTION TO UTILIZE EITHER PIPES OR SIDEWALK TRENCH DRAINS. SEE ARCHITECTURAL AND PLUMBING PLAN(S) FOR ROOF DRAIN LOCATIONS AND SIZES.
13. WEST BUILDING ROOF TO BE COLLECTED WITHIN A DRAIN SYSTEM AND RELEASED TO THE WEST SWALE. SEE ARCHITECTURAL AND PLUMBING PLAN(S) FOR ROOF DRAIN LOCATIONS AND SIZES.
14. CONSTRUCT 4' WIDE X 12" DEEP X 6" DEPRESSED SHALLOW F.F. ROCK SWALE WITHIN LANDSCAPING THIS AREA TO DIRECT ROOF FLOW TO POND 2. SEE GENERAL NOTE 1.
15. CONSTRUCT 25 LF OF 18" WIDE (BOTTOM WIDTH) 'U' SHAPED CONCRETE CHANNEL TO PASS CONCENTRATED FLOW TO POND 'A'.
16. DETENTION POND 1. SEE SHEET CG-501 FOR DETAIL.
17. DETENTION POND 2. SEE SHEET CG-501 FOR DETAIL.
18. PROVIDE 12" WIDE OPENING(S) IN CURB.
19. CONSTRUCT 3.0' X 3.0' X 12" DEEP F.F. ROCK EROSION PROTECTION AT EACH CURB OPENING. SEE GENERAL NOTE '1' ON SHEET CG-501.
20. DEPRESS LANDSCAPING TO ELEVATIONS SHOWN TO PROVIDE SHALLOW WATER HARVESTING AREA TO COLLECT MINOR FLOW. UTILIZE FOR LANDSCAPING AND RELEASE EXCESS TO PAVEMENT.
21. PROVIDE 24" WIDE OPENING IN CURB AT LOW POINT.

PROJECT NOTES

PROPERTY: THE PROPERTY, APPROXIMATELY 2.0 ACRES, IS AN UNDEVELOPED COMMERCIAL PROPERTY LOCATED IN ALBUQUERQUE (ZONE ATLAS PAGE C-17-2) ON THE NORTH SIDE OF ALAMEDA BLVD., WEST OF WASHINGTON ST. NE. ALAMEDA BLVD. BORDERS THE PROPERTY TO THE SOUTH, DEVELOPED COMMERCIAL PROPERTY BORDERS THE PROPERTY TO THE NORTH AND WEST, UNDEVELOPED PROPERTY BORDERS THE PROPERTY TO THE EAST. THE PROPERTY, WHICH SLOPES TO THE NORTHWEST AT APPROX. 2%, IS SPARSELY COVERED WITH NATIVE VEGETATION.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS CONSIST OF TWO COMMERCIAL BUILDINGS WITH ASSOCIATED PAVED PARKING AND LANDSCAPING.

LEGAL: LOTS 5A, RICHFIELD PARK SUBDIVISION, ALBUQUERQUE, NEW MEXICO.
ADDRESS: 4545 ALAMEDA BLVD. NE
ZONE MAP: C-17
FLOOD ZONE: PER BERNALILLO COUNTY FIRM MAP #35001C0136G DATED SEPTEMBER 26, 2008, THE SITE IS LOCATED WITHIN FLOODZONE 'X' DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2-PERCENT-ANNUAL-CHANCE FLOODPLAIN.

BENCHMARK: CITY OF ALBUQUERQUE 12-C17, AN ALUMINUM DISK LOCATED AT THE NNW QUADRANT OF THE INTERSECTION OF WASHINGTON ST. AND WASHINGTON PL. NE ELEVATION: 5110.62 NAVD 1988.

OFF-SITE: NO OFF-SITE DRAINAGE AFFECTS THIS PROPERTY.

DRAINAGE - EXISTING:
CURRENTLY, UNDEVELOPED FLOW DRAINS AS SHEETFLOW TO THE

NORTHWEST CORNER AND PASSES INTO THE ADJACENT DEVELOPED PROPERTY VIA AN EXISTING ASPHALT DRAINAGE CHANNEL WITH CONCRETE VALLEY GUTTER (DRAINAGE EASEMENT). FLOW IS THEN DIRECTED WEST TO OUTLET TO WASHINGTON STREET AND PASSES INTO EXISTING IMPROVED CHANNELS WHICH DIRECT FLOW TO AN AMAFCA CHANNEL.

DRAINAGE - PROPOSED:
PER THE MASTER DRAINAGE PLAN FOR THE RICHFIELD PARK SUBDIVISION PREPARED BY ESPEY, HUSTON & ASSOC. (1986), LOTS ARE TO FREE DISCHARGE INTO THE PUBLIC STREET SYSTEM WHICH CONVEYS RUNOFF TO THE EXISTING AMAFCA CHANNEL LOCATED ALONG THE WEST BOUNDARY OF RICHFIELD PARK, TRACT D-1. AN EXCEPTION TO THE FREE DISCHARGE LIMITS THE PEAK DISCHARGE FOR LOTS 4 AND 5 TO 2.11 CFS PER ACRE (4.22 CFS TOTAL ALLOWABLE DISCHARGE FOR THIS PROPERTY) DUE TO THE CAPACITY LIMITATIONS OF THE EXISTING DRAINAGE CHANNEL AT THE NORTHWEST CORNER OF THE PROPERTY.

AS SHOWN ON THE BASIN EXHIBIT, THE PROPERTY WILL BE DIVIDED INTO THE FOLLOWING SUB-BASINS:

SUB-BASINS LA1, LA2 AND LA3 ARE LANDSCAPED AREAS WITH WATER HARVESTING PROVIDED TO ACCOMMODATE THE 100-YEAR STORM FOR EACH AREA.

SUB-BASIN 01 WILL GENERATE 0.1 CFS TO PASS TO THE ADJACENT PROPERTY TO THE WEST TO FOLLOW HISTORIC FLOWPATHS.

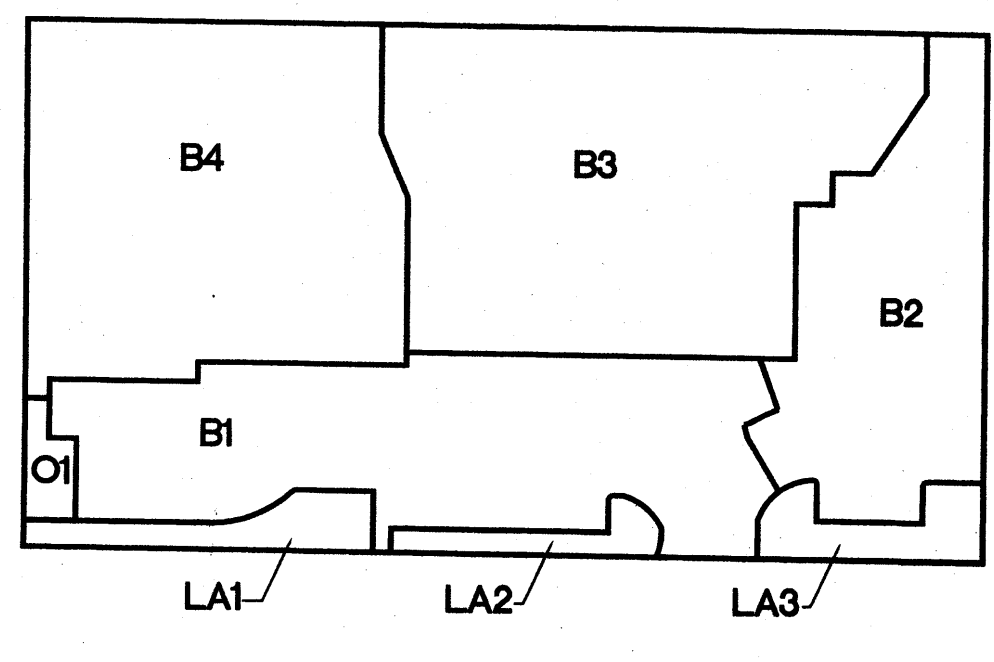
SUB-BASIN B1 WILL DISCHARGE APPROXIMATELY 1.9 CFS TO ALAMEDA BLVD. AS APPROVED BY COA (SEE CONCEPTUAL

GRADING PLAN LETTER OF APPROVAL DATED JUNE 5, 2012).

SUB-BASINS B2 AND B3 WILL BE ROUTED THROUGH DETENTION POND 1 WHICH WILL DISCHARGE AT A PEAK RATE OF 2.9 CFS TO POND 2.

SUB-BASIN B4 WILL JOIN WITH THE DISCHARGE FROM POND 2 TO DISCHARGE AT A PEAK RATE OF 4.0 CFS TO THE EXISTING DRAINAGE EASEMENT (4.22 ALLOWABLE). SEE SHEET CG-501 FOR AHYMO SUMMARY.

PROPOSED BASINS



LEGEND

- +8.63 EXISTING SPOT ELEVATION
- 5110 EXISTING CONTOUR
- 13.5 PROPOSED SPOT ELEVATION
- 13 PROPOSED CONTOUR
- FL FLOW LINE
- FF FINISHED FLOOR
- 78.3± EXISTING ELEVATION (±) TO MATCH. PROVIDE SMOOTH TRANSITION.
- PROPOSED RETAINING WALL
- 14.02 GRADE BREAK
- AS-BUILT GRADE

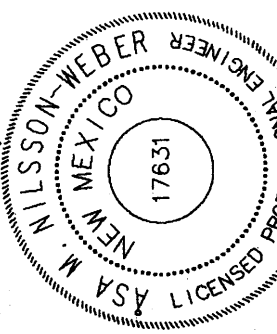
GRADING AND DRAINAGE PLAN

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 www.iacovil.com
1918 CG-101.dwg Aug 30, 2012

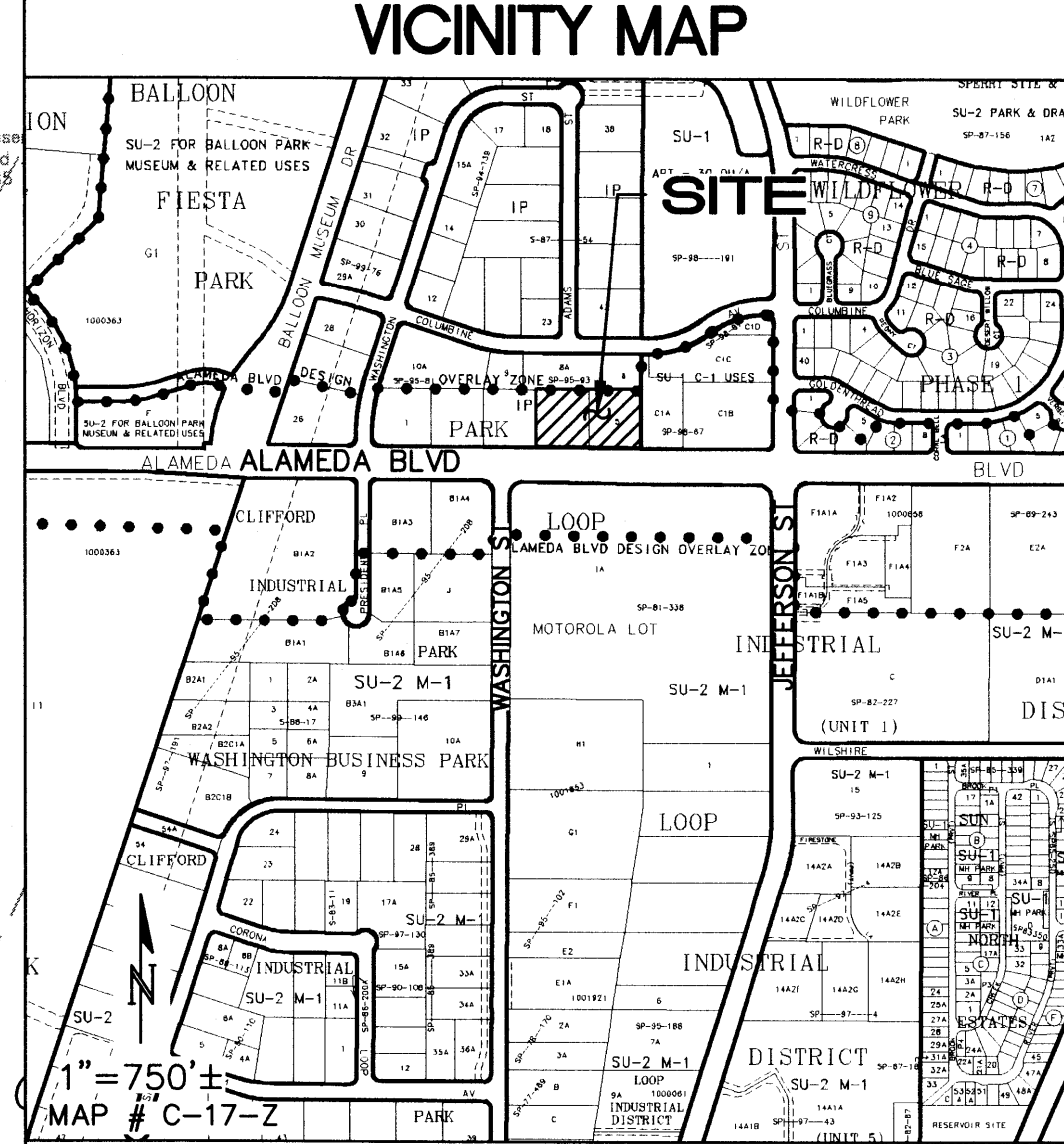
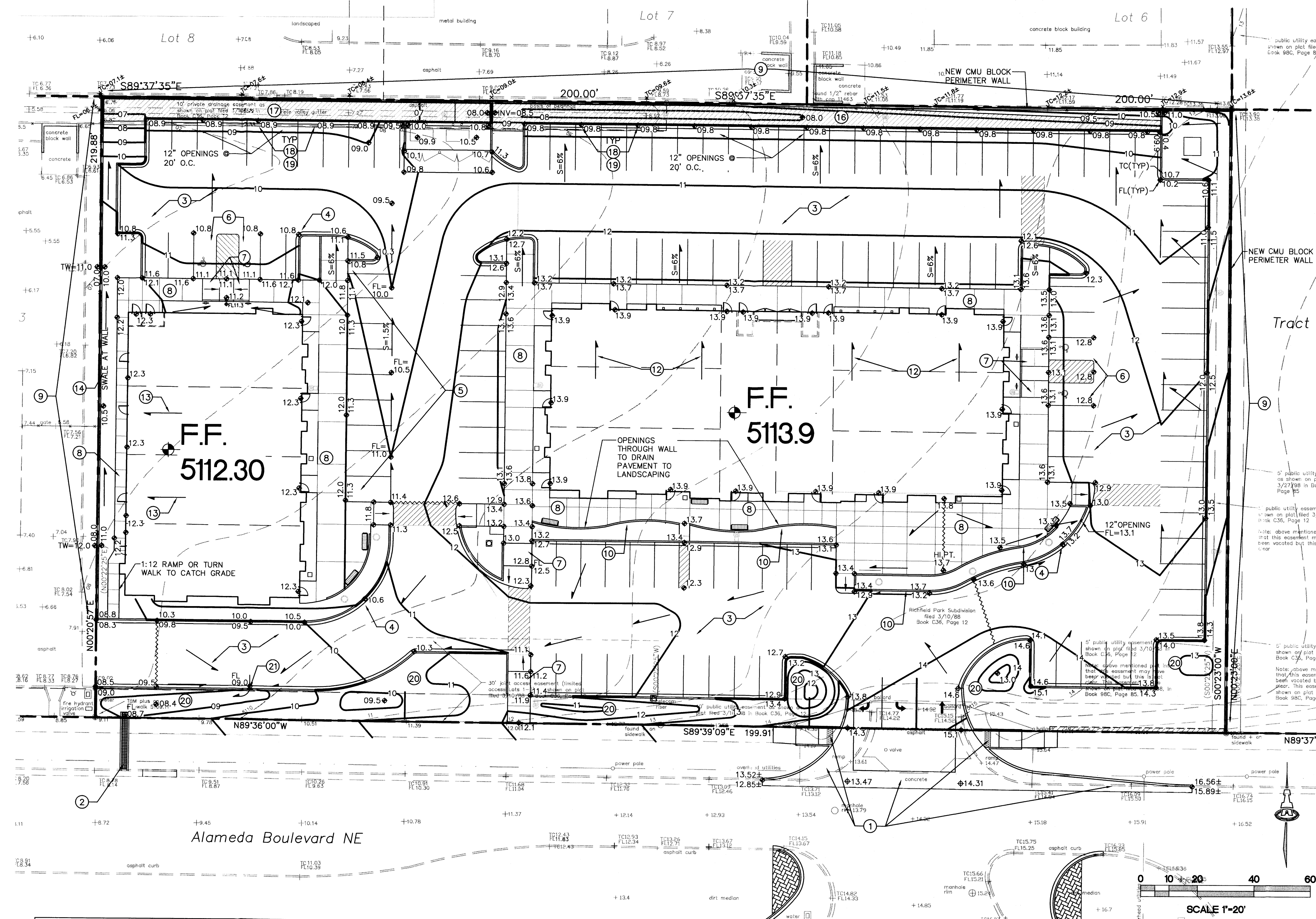
DRAINAGE CERTIFICATION
I, Asa Nilsson-Weber, NMPE 17631, of the firm Isaacson & Arfman, P.A., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved drainage plan. I have personally verified the project site on 04/09/2013 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. The block wall on the east side of the site was not constructed, but the drainage will not be affected since offsite flows from adjacent property is directed to the north. This certification is submitted in support of a request for certificate of occupancy.

The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Asa Nilsson-Weber
NMPE 17631
4-10-13
Date



Asa Nilsson-Weber
NMPE 17631
4-10-13
Date



KEYED NOTES

1. NEW SITE ACCESS, ADA RAMPS, ETC. WITHIN R.O.W. TO BE CONSTRUCTED BY PUBLIC WORK ORDER.
2. NEW COVERED SIDEWALK CULVERT (24" WIDE BOTTOM WIDTH) WITHIN R.O.W. TO BE CONSTRUCTED BY PUBLIC WORK ORDER.
3. CONSTRUCT NEW PAVING AT ELEVATIONS SHOWN. PROVIDE SMOOTH TRANSITION WHEN MATCHING EXISTING PAVEMENT.
4. SPOT ELEVATIONS WITHIN GUTTER AREA REPRESENT FLOWLINE. ADD 0.5' TYPICAL FOR TOP OF ADJACENT CURB OR WALK ELEVATIONS. SEE KEYED NOTE (4) FOR EXCEPTION.
5. CONSTRUCT 8" HIGH TURNED-DOWN WALK THIS AREA TO ACHIEVE GRADES SHOWN.
6. CONSTRUCT HANDICAP PARKING AREA AT ELEVATIONS SHOWN. SLOPE WITHIN HANDICAP PARKING AREA TO MEET ADA REQUIREMENTS. MAX. SLOPE = 2% IN ANY DIRECTION.
7. CONSTRUCT 1:12 (MAX.) SIDEWALK RAMP TO ADA STANDARDS. SEE ARCHITECTURAL FOR DETAILS.
8. CONSTRUCT CONCRETE PEDESTRIAN WALKS AND PATIOS AT ELEVATIONS SHOWN.
9. CONSTRUCT PERIMETER CMU WALL (MAXIMUM RETAINING = 30") WITHIN PROPERTY TO ACHIEVE GRADES SHOWN. TOP OF RETAINING PORTION OF WALL SHOWN ON PLAN. TOP OF PRIVACY WALL VARIES (MAXIMUM HEIGHT = 6' ABOVE HIGH-SIDE GRADE). SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION.
10. CONSTRUCT GARDEN WALL / HIGH CURB (MAXIMUM RETAINING = 12") TO ACHIEVE GRADES SHOWN. SLOPE PAVEMENT TO DRAIN TO SIDES OR TO 4" DIA. PIPES PLACED THROUGH WALL/CURB AT LOW POINTS.
11. NOT USED
12. EAST BUILDING ROOF TO DISCHARGE NORTH THROUGH WALK DIRECTLY TO ASPHALT PAVEMENT. OWNER'S OPTION TO UTILIZE EITHER PIPES OR SIDEWALK TRENCH DRAINS. SEE ARCHITECTURAL AND PLUMBING PLAN(S) FOR ROOF DRAIN LOCATIONS AND SIZES.
13. WEST BUILDING ROOF TO BE COLLECTED WITHIN A DRAIN SYSTEM AND RELEASED TO THE WEST SWALE. SEE ARCHITECTURAL AND PLUMBING PLAN(S) FOR ROOF DRAIN LOCATIONS AND SIZES.
14. CONSTRUCT 4' WIDE X 12" DEEP X 6" DEPRESSED SHALLOW F.F. ROCK SWALE WITHIN LANDSCAPING THIS AREA TO DIRECT ROOF FLOW TO POND 2. SEE GENERAL NOTE 1.
15. CONSTRUCT 25 LF OF 18" WIDE (BOTTOM WIDTH) 'U' SHAPED CONCRETE CHANNEL TO PASS CONCENTRATED FLOW TO POND 'A'.
16. DETENTION POND 1. SEE SHEET CG-501 FOR DETAIL.
17. DETENTION POND 2. SEE SHEET CG-501 FOR DETAIL.
18. PROVIDE 12" WIDE OPENING(S) IN CURB.
19. CONSTRUCT 3.0' X 3.0' X 12" DEEP F.F. ROCK EROSION PROTECTION AT EACH CURB OPENING. SEE GENERAL NOTE '1' ON SHEET CG-501.
20. DEPRESS LANDSCAPING TO ELEVATIONS SHOWN TO PROVIDE SHALLOW WATER HARVESTING AREA TO COLLECT MINOR FLOW. UTILIZE FOR LANDSCAPING AND RELEASE EXCESS TO PAVEMENT.
21. PROVIDE 24" WIDE OPENING IN CURB AT LOW POINT.

PROJECT NOTES

PROPERTY: THE PROPERTY, APPROXIMATELY 2.0 ACRES, IS AN UNDEVELOPED COMMERCIAL PROPERTY LOCATED IN ALBUQUERQUE (ZONE ATLAS PAGE C-17-2) ON THE NORTH SIDE OF ALAMEDA BLVD., WEST OF WASHINGTON ST. NE. ALAMEDA BLVD. BORDERS THE PROPERTY TO THE SOUTH, DEVELOPED COMMERCIAL PROPERTY BORDERS THE PROPERTY TO THE NORTH AND WEST, UNDEVELOPED PROPERTY (TEMPORARY OVERFLOW PARKING FOR ADJACENT PROPERTY) BORDERS THE PROPERTY TO THE EAST. THE PROPERTY, WHICH SLOPES TO THE NORTHWEST AT APPROX. 2%, IS SPARSELY COVERED WITH NATIVE VEGETATION.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS CONSIST OF TWO COMMERCIAL BUILDINGS WITH ASSOCIATED PAVED PARKING AND LANDSCAPING.

LEGAL: LOTS 5A, RICHFIELD PARK SUBDIVISION, ALBUQUERQUE, NEW MEXICO.
ADDRESS: 4545 ALAMEDA BLVD. NE
ZONE MAP: C-17
FLOOD ZONE: PER BERNALILLO COUNTY FIRM MAP #35001C0136G DATED SEPTEMBER 26, 2008, THE SITE IS LOCATED WITHIN FLOODZONE 'X' DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2-PERCENT-ANNUAL-CHANCE FLOODPLAIN.

BENCHMARK: CITY OF ALBUQUERQUE 12-C17. AN ALUMINUM DISK LOCATED AT THE NNW QUADRANT OF THE INTERSECTION OF WASHINGTON ST. AND WASHINGTON PL. NE ELEVATION: 5110.62 NAVD 1988..

OFF-SITE: NO OFF-SITE DRAINAGE AFFECTS THIS PROPERTY.

DRAINAGE - EXISTING:
CURRENTLY, UNDEVELOPED FLOW DRAINS AS SHEETFLOW TO THE

NORTHWEST CORNER AND PASSES INTO THE ADJACENT DEVELOPED PROPERTY VIA AN EXISTING ASPHALT DRAINAGE CHANNEL WITH CONCRETE VALLEY GUTTER (DRAINAGE EASEMENT). FLOW IS THEN DIRECTED WEST TO OUTLET TO WASHINGTON STREET AND PASSES INTO EXISTING IMPROVED CHANNELS WHICH DIRECT FLOW TO AN AMAFCA CHANNEL.

DRAINAGE - PROPOSED:
PER THE MASTER DRAINAGE PLAN FOR THE RICHFIELD PARK SUBDIVISION PREPARED BY ESPEY, HUSTON & ASSOC. (1986), LOTS ARE TO FREE DISCHARGE INTO THE PUBLIC STREET SYSTEM WHICH CONVEYS RUNOFF TO THE EXISTING AMAFCA CHANNEL LOCATED ALONG THE WEST BOUNDARY OF RICHFIELD PARK, TRACT D-1. AN EXCEPTION TO THE FREE DISCHARGE LIMITS THE PEAK DISCHARGE FOR LOTS 4 AND 5 TO 2.11 CFS PER ACRE (4.22 CFS TOTAL ALLOWABLE DISCHARGE FOR THIS PROPERTY) DUE TO THE CAPACITY LIMITATIONS OF THE EXISTING DRAINAGE CHANNEL AT THE NORTHWEST CORNER OF THE PROPERTY.

AS SHOWN ON THE BASIN EXHIBIT, THE PROPERTY WILL BE DIVIDED INTO THE FOLLOWING SUB-BASINS:

SUB-BASINS LA1, LA2 AND LA3 ARE LANDSCAPED AREAS WITH WATER HARVESTING PROVIDED TO ACCOMMODATE THE 100-YEAR STORM FOR EACH AREA.

SUB-BASIN 01 WILL GENERATE 0.1 CFS TO PASS TO THE ADJACENT PROPERTY TO THE WEST TO FOLLOW HISTORIC FLOWPATHS.

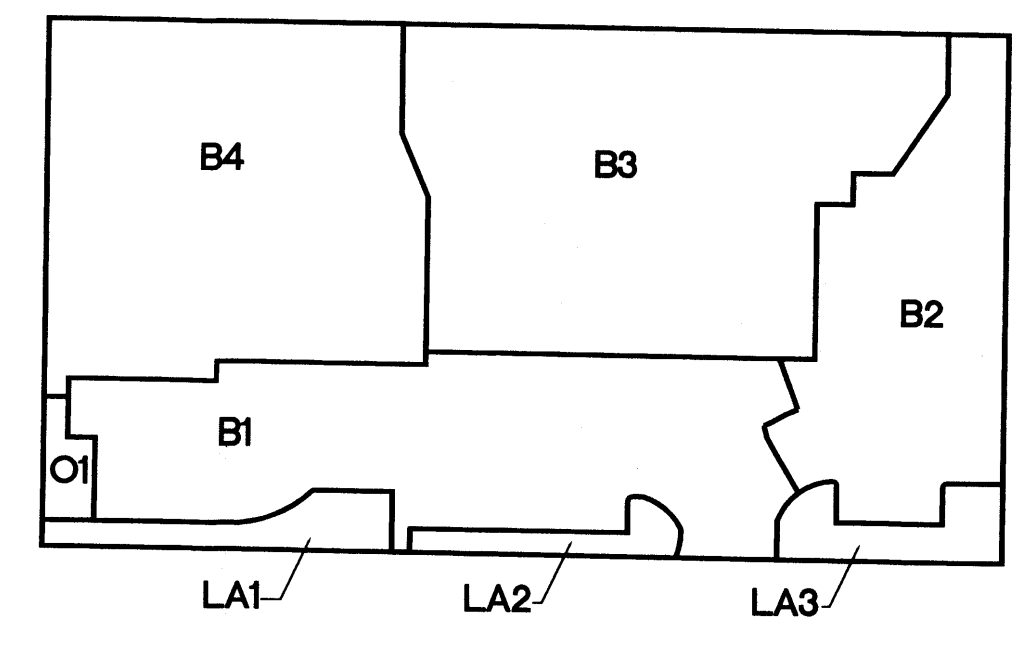
SUB-BASIN B1 WILL DISCHARGE APPROXIMATELY 1.9 CFS TO ALAMEDA BLVD. AS APPROVED BY COA (SEE CONCEPTUAL

GRADING PLAN LETTER OF APPROVAL DATED JUNE 5, 2012).

SUB-BASINS B2 AND B3 WILL BE ROUTED THROUGH DETENTION POND 1 WHICH WILL DISCHARGE AT A PEAK RATE OF 2.9 CFS TO POND 2.

SUB-BASIN B4 WILL JOIN WITH THE DISCHARGE FROM POND 2 TO DISCHARGE AT A PEAK RATE OF 4.0 CFS TO THE EXISTING DRAINAGE EASEMENT (4.22 ALLOWABLE). SEE SHEET CG-501 FOR AHYMO SUMMARY.

PROPOSED BASINS



LEGEND

- +8.63 EXISTING SPOT ELEVATION
- 5110 EXISTING CONTOUR
- 13.5 PROPOSED SPOT ELEVATION
- 13 PROPOSED CONTOUR
- FL FLOW LINE
- FF FINISHED FLOOR
- 78.3± EXISTING ELEVATION (±) TO MATCH. PROVIDE SMOOTH TRANSITION.
- PROPOSED RETAINING WALL
- GRADE BREAK

GRADING AND DRAINAGE PLAN

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 www.iaacivil.com
1918 CG-101.dwg Aug 30, 2012

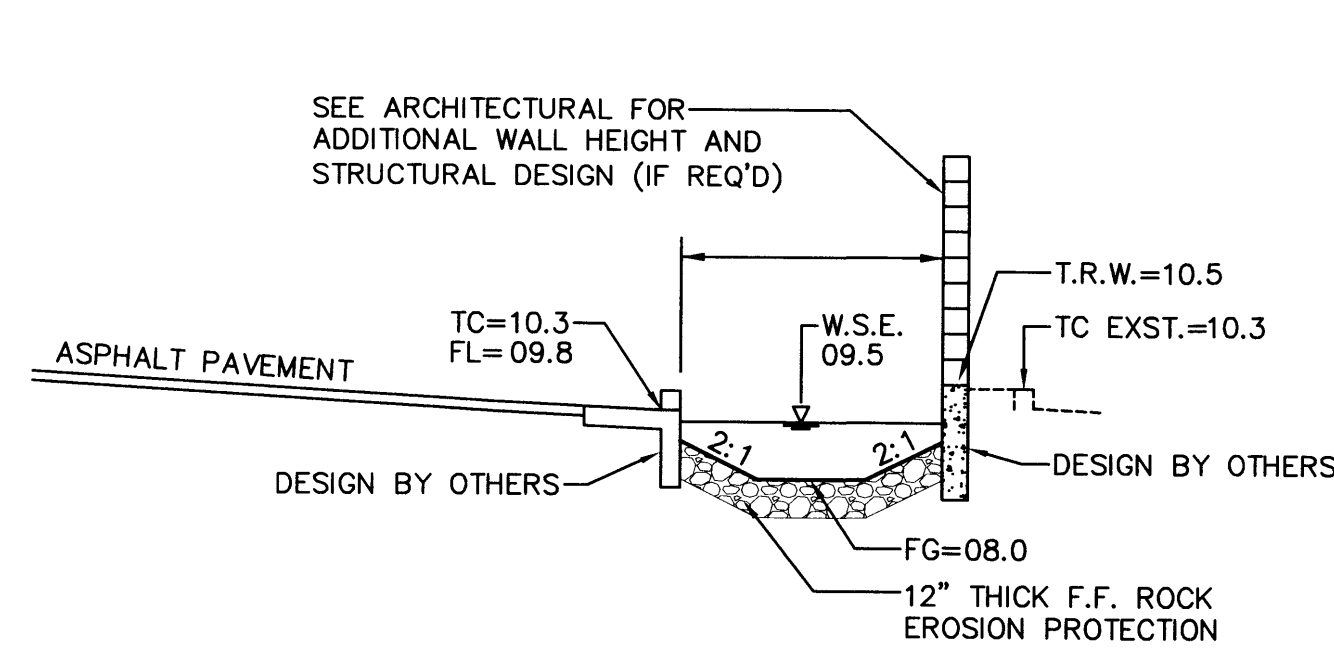
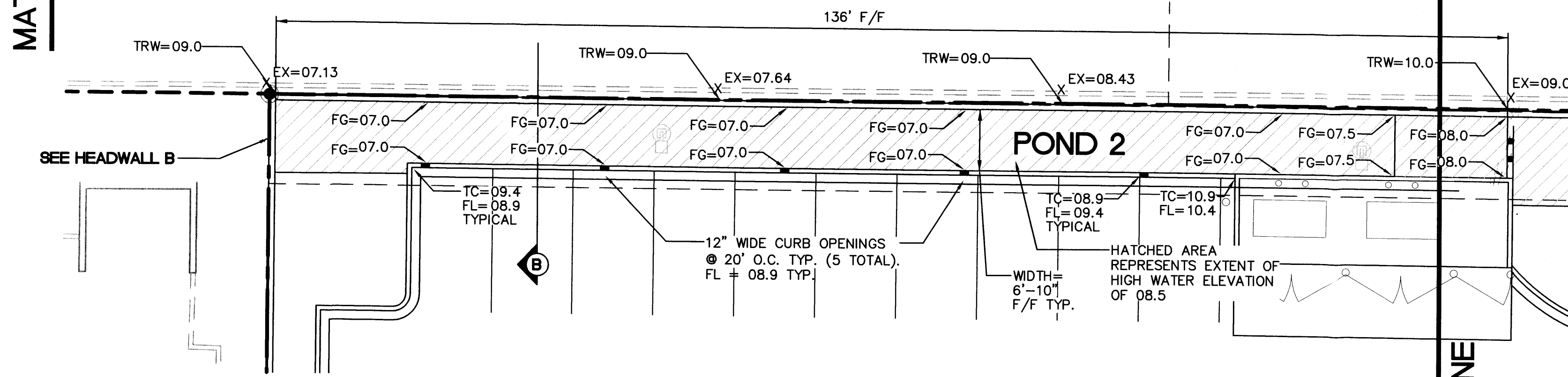
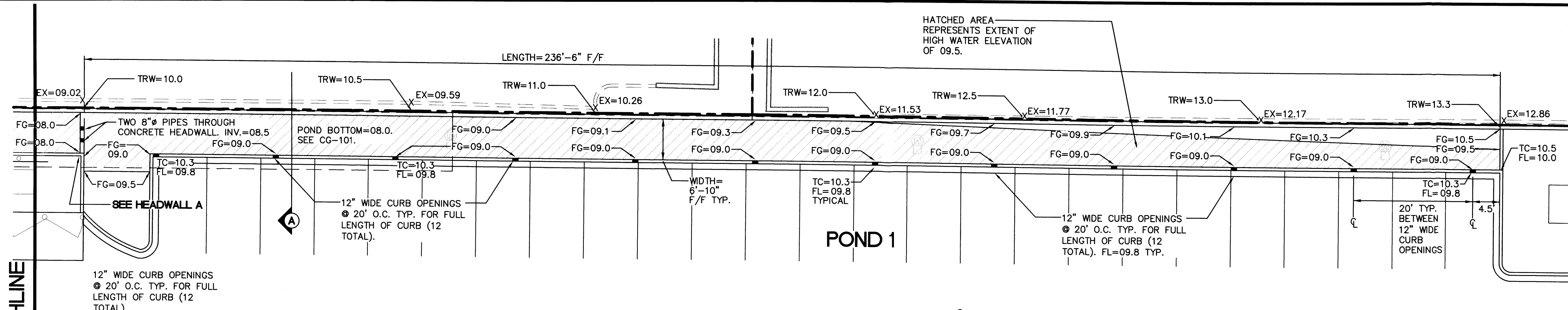
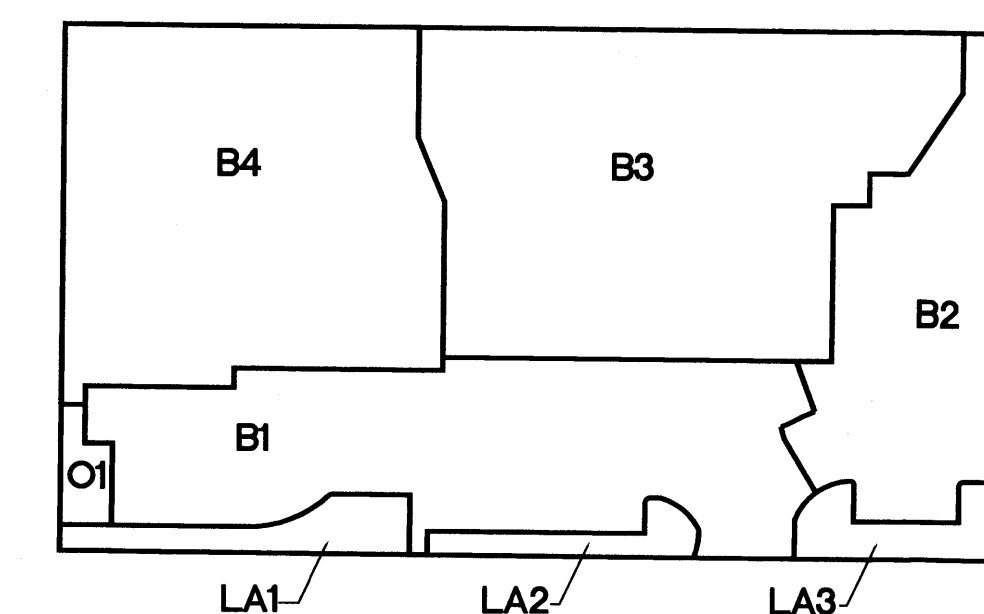
TC= TOP OF CURB
FL= FLOWLINE OF CURB
FG= FINAL GRADE OF POND
(SEE GENERAL NOTE C)
TRW= TOP OF RETAINING
EX= EXISTING GRADE

GENERAL NOTES

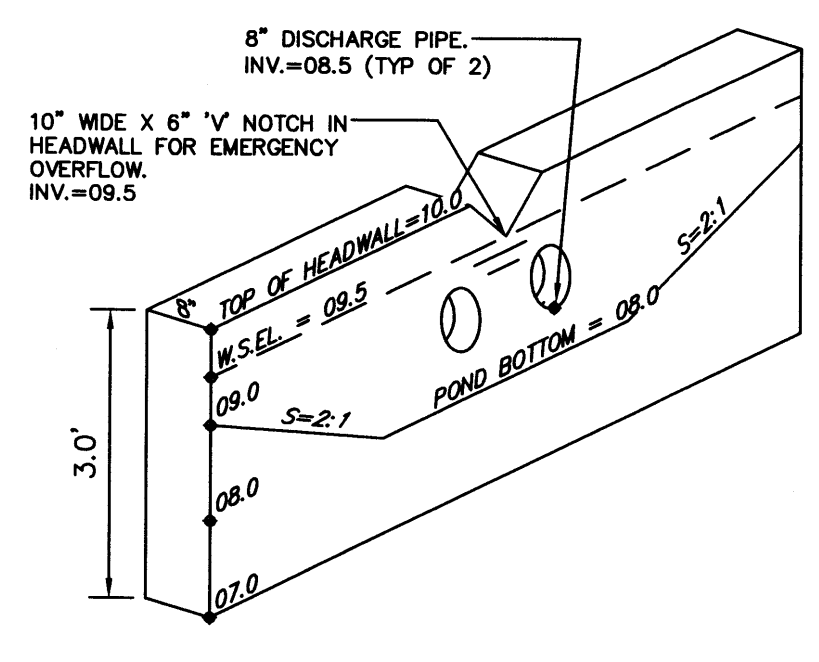
- COORDINATE WORK WITH SITE PLAN AND UTILITY PLAN.
- ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OF OFFSITE.
- FINAL GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS FINISH MATERIAL THICKNESSES.
- MINIMUM SLOPES SHALL BE 1% UNLESS OTHERWISE NOTED.
- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- THE ENVIRONMENTAL PROTECTION AGENCY REQUIRES A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR PROJECTS WHERE CONSTRUCTION ACTIVITIES (INCLUDING OTHER LAND-DISTURBING ACTIVITIES) DISTURB ONE ACRE OR MORE.
- ADJUST RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES, TYPICAL.
- WHERE NEW GRADES ARE SHOWN AS 'MATCH' OR '±', TRANSITIONS TO EXISTING INFRASTRUCTURE SHALL BE SMOOTH, SHALL ALLOW FOR POSITIVE DRAINAGE AS INTENDED ON PLAN AND SHALL MEET ADA REQUIREMENTS.
- ALL PERMANENT EROSION PROTECTION TO BE 12" DEPTH OF 6" AVG. DIA. FRACTURED FACED ROCK (F.F. ROCK) OVER GEOTEX 50 NON-WOVEN GEOTEXTILE. OVEREXCAVATE AS REQ'D SO THAT TOP OF EROSION PROTECTION = PROPOSED GRADE (SEE GENERAL NOTE C).
- OWNER SHALL MAINTAIN EROSION PROTECTION ELEMENTS. ENGINEER RECOMMENDS THAT OWNER INSPECT SITE YEARLY AND AFTER EACH RAINFALL TO MAINTAIN GRADES, IDENTIFY NEW AREAS OF EROSION AND INSTALL ADDITIONAL EROSION PROTECTION AS NEEDED BASED ON ACTUAL OCCURRENCES.
- LANDSCAPED AREAS SHALL BE DEPRESSED TO RETAIN MOISTURE THAT FALLS ON THEM FOR INFILTRATION. DO NOT DEPRESS LANDSCAPING WITHIN 10' OF BUILDING.

NOTICE TO CONTRACTOR:

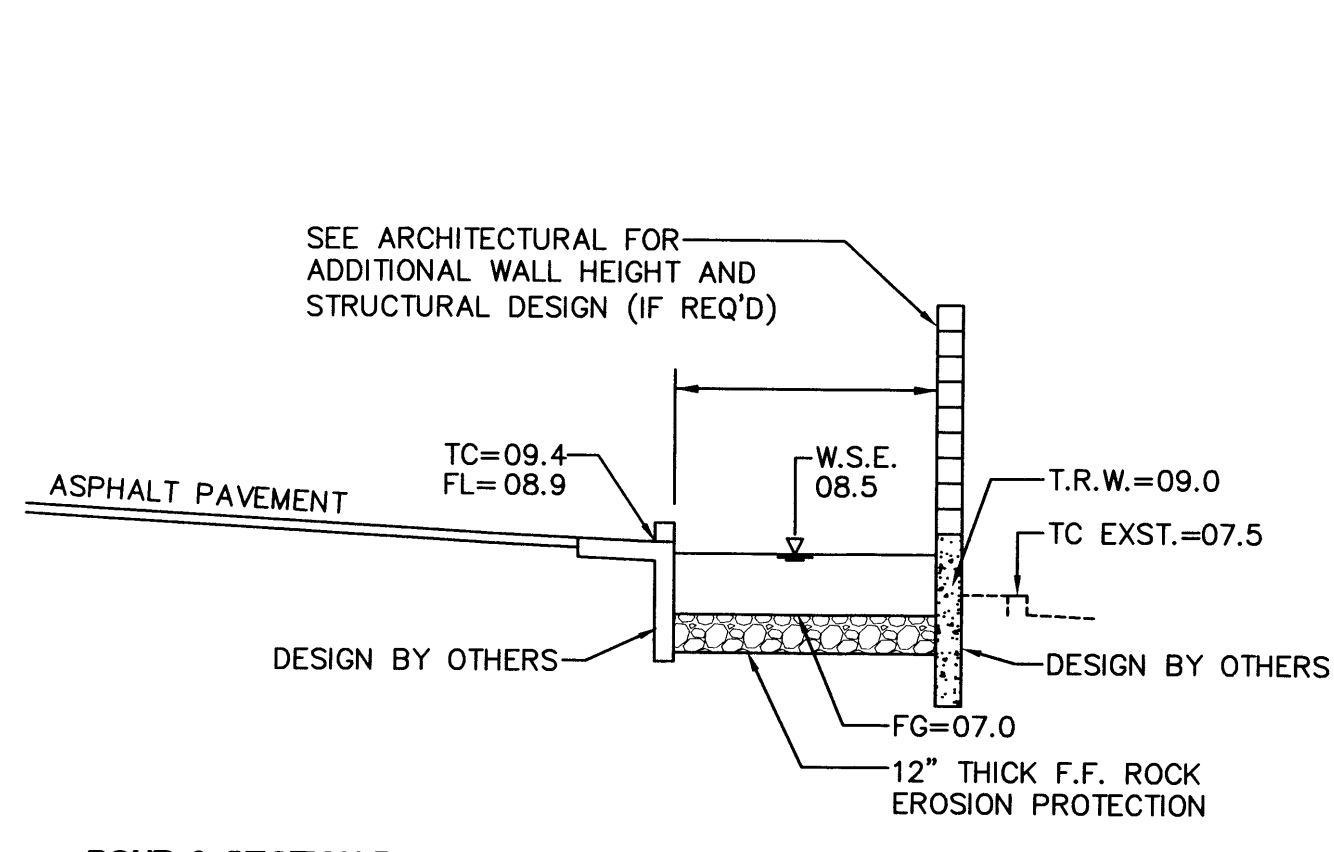
PONDS 1 AND 2, INCLUDING LENGTH, WIDTH, ELEVATIONS, OUTLET SIZE INVERT ELEVATIONS, ETC. HAVE BEEN SPECIFICALLY DESIGNED TO LIMIT DISCHARGE TO THE MAXIMUM ALLOWABLE DISCHARGE RATE OF 4.22 CFS. THESE PONDS MUST BE CONSTRUCTED PER PLANS IN ORDER TO RECEIVE ENGINEER'S CERTIFICATION FOR CERTIFICATE OF OCCUPANCY.



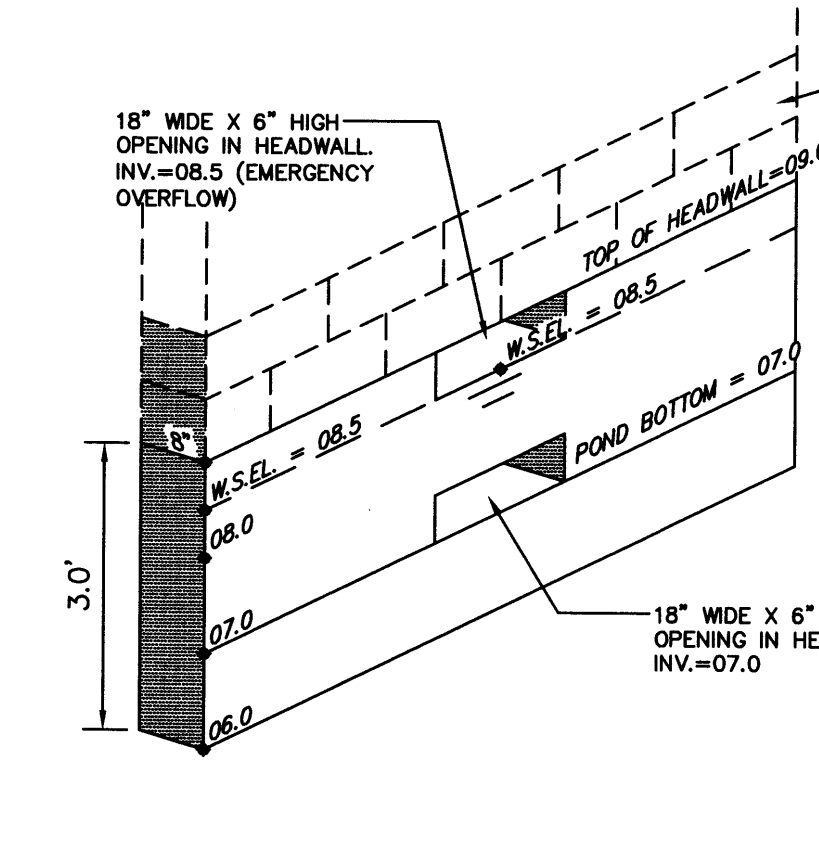
POND 1: SECTION A



HEADWALL A: BETWEEN PONDS 1 AND 2



POND 2: SECTION B



HEADWALL B: BETWEEN PONDS 1 AND 2

HYMO PROGRAM SUMMARY TABLE (HYMO-84)										
INPUT FILE = M:\PROJECT DOCUMENTS\1900-1999\1918\CAIC\1918p.DAT										
- Ver. S4.01a, Rel: 01a										
RUN DATE (MON/DAY/YR) = 08/01/2012										
USER NO. = HYMO_Temp_User:20122010										

*S RICHFIELD PARK, LOT 5A										
*S DEVELOPED CONDITIONS										
*S 100-YR, 6-HR STORM										
*S 1918P.DAT										
*S JULY 2012										
*S BY GENNY DONART										
*S ISAACSON & ARFMAN, P.A.										

START										
RAINFALL TYPE= 1 NOAA 14										

TIME= 0.00										
RAINF= 2.370										

PAGE = 1										

COMMAND	HYDROGRAPH IDENTIFICATION	FROM NO.	TO NO.	AREA (SQ MI)	PEAK DISCHARGE (CFS)	RUNOFF VOLUME (AC-FT)	RUNOFF (INCHES)	TIME TO PEAK (HOURS)	CFS PER ACRE	PAGE = 1
B2	*S BASIN B2 COMPUTE NM HYD	B2	- 1	0.00048	1.28	0.050	1.97645	1.530	4.195 PER IMP=	88.00
B3	*S BASIN B3 COMPUTE NM HYD	B3	- 2	0.00093	2.50	0.100	2.01991	1.530	4.216 PER IMP=	92.00
B4	*S BASIN B4 COMPUTE NM HYD	B4	- 3	0.00081	2.19	0.087	1.99822	1.530	4.195 PER IMP=	90.00
*S ADD LANDSCAPE AREA 7 & B3										
ADD HYD B3.1 14 2 11 0.00140 3.78 0.150 2.00482 1.530 4.209										
POND 1	*S POND 1 (BASIN B3)									
ADD HYD B4.1 204 3 21 0.00222 4.78 0.236 1.99754 1.570 3.368										
POND 2	*S POND 2 (BASIN B4)									
*S *****AP1*****										
ROUTE RESERVOIR B4.2 21 30 0.00222 4.09 * 0.236 1.99754 1.670 2.880 AC-FT= 0.023										
B1	*S BASIN B1 *****AP2***** COMPUTE NM HYD	B1	- 4	0.00070	1.87 **	0.074	1.97645	1.530	4.175 PER IMP=	88.00
LA1	*S BASIN LA1 COMPUTE NM HYD	LA1	- 5	0.00008	0.16	0.004	0.98469	1.540	3.090 PER IMP=	0.00
LA2	*S BASIN LA2 COMPUTE NM HYD	LA2	- 6	0.00005	0.10	0.003	0.98469	1.540	3.216 PER IMP=	0.00
LA3	*S BASIN LA3 COMPUTE NM HYD	LA3	- 7	0.00008	0.16	0.004	0.98469	1.540	3.090 PER IMP=	0.00
O1	*S BASIN O1 COMPUTE NM HYD	O1	- 8	0.00003	0.09	0.003	1.80983	1.530	4.414 PER IMP=	72.00

* POND 1 PEAK DISCHARGE TO DRAINAGE EASEMENT (4.22 CFS ALLOWED)
** BASIN B1 PEAK DISCHARGE TO ALAMEDA BLVD.

SHEET NAME

GRADING AND DRAINAGE DETAILS

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 www.iacivil.com
1918 CG-101.dwg Aug 30, 2012