

# CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development & Building Services



August 31, 2012

Åsa Nilsson-Weber, P.E.  
Isaacson & Arfman, P.A.  
128 Monroe St. NE  
Albuquerque, New Mexico 87108

**Re: 4545 Alameda NE–Grading & Drainage Plan**  
Lot 5A, Richfield Park Subdivision

**(C17-D120)**  
**P.E. Stamp: 8-29-12**

Dear Ms. Nilsson-Weber,

Based upon the information provided in your submittal received August 30, 2012, the subject Grading and Drainage Plan is approved for Site Development Plan for Building Permit, Grading Permit, Work Order and Building Permit.

Please attach a copy of this approved plan to the Work Order plans and Building Permit plan sets prior to sign-off by Hydrology.

Prior to our release of a Certificate of Occupancy, an Engineer's Certification of substantial compliance with this plan will be required, per the DPM checklist.

Being over 1 acre of disturbed area, this project requires a Storm Water Pollution Prevention Plan (SWPPP) and a National Pollutant Discharge Elimination System (NPDES) permit for storm water discharge during construction.

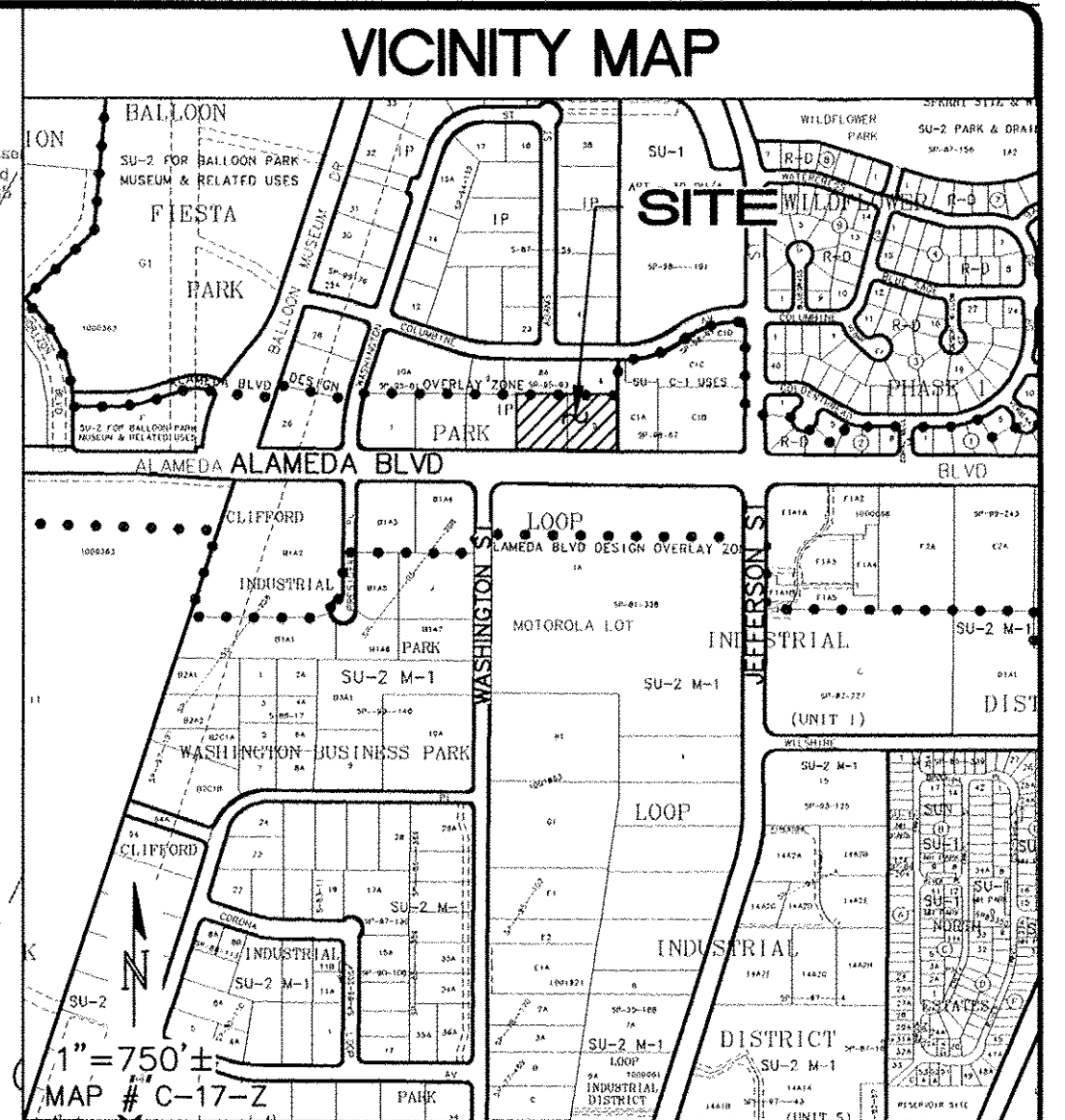
If you have any questions, you may contact me by email at [grolson@cabq.gov](mailto:grolson@cabq.gov), or telephone 505-924-3695.

Sincerely,

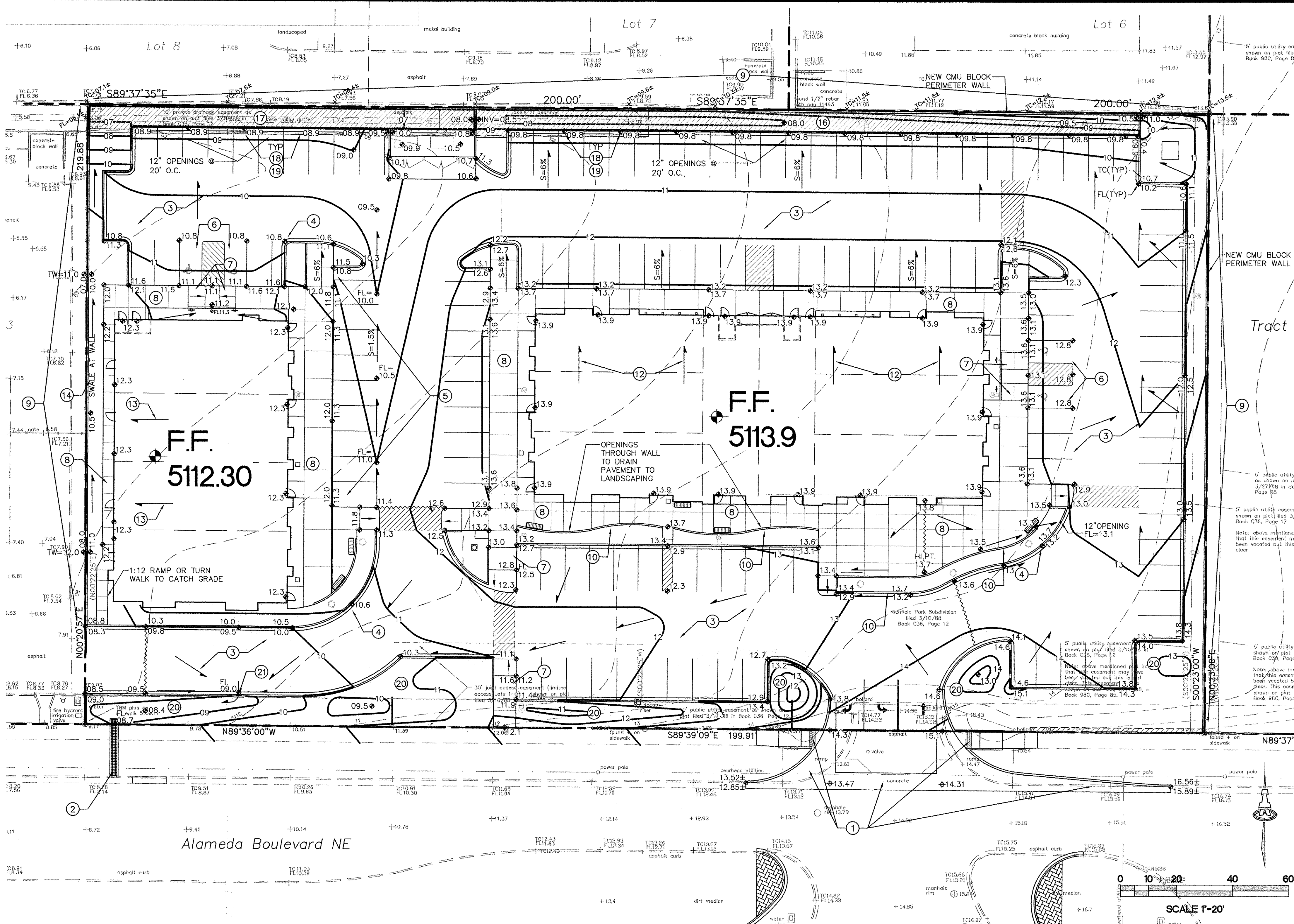
Gregory R. Olson, P.E.  
Senior Engineer

Orig: Drainage file **C17/D120**  
c.pdf Addressee via Email [AsaW@iacivil.com](mailto:AsaW@iacivil.com)  
Kathy Verhage, DMD [KVerhage@cabq.gov](mailto:KVerhage@cabq.gov)





- ### KEYED NOTES
- NEW SITE ACCESS, ADA RAMPS, ETC. WITHIN R.O.W. TO BE CONSTRUCTED BY PUBLIC WORK ORDER.
  - NEW COVERED SIDEWALK CULVERT (24" WIDE BOTTOM WIDTH) WITHIN R.O.W. TO BE CONSTRUCTED BY PUBLIC WORK ORDER.
  - CONSTRUCT NEW PAVING AT ELEVATIONS SHOWN. PROVIDE SMOOTH TRANSITION WHEN MATCHING EXISTING PAVEMENT.
  - SPOT ELEVATIONS WITHIN GUTTER AREA REPRESENT FLOWLINE. ADD 0.5" TYPICAL FOR TOP OF ADJACENT CURB OR WALK ELEVATIONS. SEE KEYED NOTE (4) FOR EXCEPTION.
  - CONSTRUCT 8" HIGH TURNED-DOWN WALK THIS AREA TO ACHIEVE GRADES SHOWN.
  - CONSTRUCT HANDICAP PARKING AREA AT ELEVATIONS SHOWN. SLOPE WITHIN HANDICAP PARKING AREA TO MEET ADA REQUIREMENTS. MAX. SLOPE = 2% IN ANY DIRECTION.
  - CONSTRUCT 1:12 (MAX.) SIDEWALK RAMP TO ADA STANDARDS. SEE ARCHITECTURAL FOR DETAILS.
  - CONSTRUCT CONCRETE PEDESTRIAN WALKS AND PATIOS AT ELEVATIONS SHOWN.
  - CONSTRUCT PERIMETER CMU WALL (MAXIMUM RETAINING = 30") WITHIN PROPERTY TO ACHIEVE GRADES SHOWN. TOP OF RETAINING PORTION OF WALL SHOWN ON PLAN. TOP OF PRIVACY WALL VARIES (MAXIMUM HEIGHT = 6' ABOVE HIGH-SIDE GRADE). SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION.
  - CONSTRUCT GARDEN WALL / HIGH CURB (MAXIMUM RETAINING = 12") TO ACHIEVE GRADES SHOWN. SLOPE PAVEMENT TO DRAIN TO SIDES OR TO 4" DIA. PIPES PLACED THROUGH WALL/CURB AT LOW POINTS.
  - NOT USED
  - EAST BUILDING ROOF TO DISCHARGE NORTH THROUGH WALK DIRECTLY TO ASPHALT PAVEMENT. OWNER'S OPTION TO UTILIZE EITHER PIPES OR SIDEWALK TRENCH DRAINS. SEE ARCHITECTURAL AND PLUMBING PLAN(S) FOR ROOF DRAIN LOCATIONS AND SIZES.
  - WEST BUILDING ROOF TO BE COLLECTED WITHIN A DRAIN SYSTEM AND RELEASED TO THE WEST SWALE. SEE ARCHITECTURAL AND PLUMBING PLAN(S) FOR ROOF DRAIN LOCATIONS AND SIZES.
  - CONSTRUCT 4' WIDE X 12" DEEP X 6" DEPRESSED SHALLOW F.F. ROCK SWALE WITHIN LANDSCAPING THIS AREA TO DIRECT ROOF FLOW TO POND 2. SEE GENERAL NOTE 1.
  - CONSTRUCT 25 LF OF 18" WIDE (BOTTOM WIDTH) 'U' SHAPED CONCRETE CHANNEL TO PASS CONCENTRATED FLOW TO POND 'A'.
  - DETENTION POND 1. SEE SHEET CG-501 FOR DETAIL.
  - DETENTION POND 2. SEE SHEET CG-501 FOR DETAIL.
  - PROVIDE 12" WIDE OPENING(S) IN CURB.
  - CONSTRUCT 3.0' X 3.0' X 12" DEEP F.F. ROCK EROSION PROTECTION AT EACH CURB OPENING. SEE GENERAL NOTE 'I' ON SHEET CG-501.
  - DEPRESS LANDSCAPING TO ELEVATIONS SHOWN TO PROVIDE SHALLOW WATER HARVESTING AREA TO COLLECT MINOR FLOW. UTILIZE FOR LANDSCAPING AND RELEASE EXCESS TO PAVEMENT.
  - PROVIDE 24" WIDE OPENING IN CURB AT LOW POINT.



### PROJECT NOTES

PROPERTY: THE PROPERTY, APPROXIMATELY 2.0 ACRES, IS AN UNDEVELOPED COMMERCIAL PROPERTY LOCATED IN ALBUQUERQUE (ZONE ATLAS PAGE C-17-2) ON THE NORTH SIDE OF ALAMEDA BLVD., WEST OF WASHINGTON ST. NE. ALAMEDA BLVD. BORDERS THE PROPERTY TO THE SOUTH. DEVELOPED COMMERCIAL PROPERTY BORDERS THE PROPERTY TO THE NORTH AND WEST. UNDEVELOPED PROPERTY (TEMPORARY OVERFLOW PARKING FOR ADJACENT PROPERTY) BORDERS THE PROPERTY TO THE EAST. THE PROPERTY, WHICH SLOPES TO THE NORTHWEST AT APPROX. 2%, IS SPARSELY COVERED WITH NATIVE VEGETATION.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS CONSIST OF TWO COMMERCIAL BUILDINGS WITH ASSOCIATED PAVED PARKING AND LANDSCAPING.

LEGAL: LOTS 5A, RICHFIELD PARK SUBDIVISION, ALBUQUERQUE, NEW MEXICO.  
ADDRESS: 4545 ALAMEDA BLVD. NE  
ZONE MAP: C-17  
FLOOD ZONE: PER BERNALILLO COUNTY FIRM MAP #35001C0136G DATED SEPTEMBER 26, 2008, THE SITE IS LOCATED WITHIN FLOODZONE 'X' DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2-PERCENT-ANNUAL-CHANCE FLOODPLAIN.

BENCHMARK: CITY OF ALBUQUERQUE 12-C17, AN ALUMINUM DISK LOCATED AT THE NNW QUADRANT OF THE INTERSECTION OF WASHINGTON ST. AND WASHINGTON PL. NE ELEVATION: 5110.62 NAVD 1988..

OFF-SITE: NO OFF-SITE DRAINAGE AFFECTS THIS PROPERTY.

DRAINAGE - EXISTING:  
CURRENTLY, UNDEVELOPED FLOW DRAINS AS SHEETFLOW TO THE

NORTHWEST CORNER AND PASSES INTO THE ADJACENT DEVELOPED PROPERTY VIA AN EXISTING ASPHALT DRAINAGE CHANNEL WITH CONCRETE VALLEY GUTTER (DRAINAGE EASEMENT). FLOW IS THEN DIRECTED WEST TO OUTLET TO WASHINGTON STREET AND PASSES INTO EXISTING IMPROVED CHANNELS WHICH DIRECT FLOW TO AN AMAFCA CHANNEL.

DRAINAGE - PROPOSED:  
PER THE MASTER DRAINAGE PLAN FOR THE RICHFIELD PARK SUBDIVISION PREPARED BY ESPEY, HUSTON & ASSOC. (1986), LOTS ARE TO FREE DISCHARGE INTO THE PUBLIC STREET SYSTEM WHICH CONVEYS RUNOFF TO THE EXISTING AMAFCA CHANNEL LOCATED ALONG THE WEST BOUNDARY OF RICHFIELD PARK. TRACT D-1. AN EXCEPTION TO THE FREE DISCHARGE LIMITS THE PEAK DISCHARGE FOR LOTS 4 AND 5 TO 2.11 CFS PER ACRE (4.22 CFS TOTAL ALLOWABLE DISCHARGE FOR THIS PROPERTY) DUE TO THE CAPACITY LIMITATIONS OF THE EXISTING DRAINAGE CHANNEL AT THE NORTHWEST CORNER OF THE PROPERTY.

AS SHOWN ON THE BASIN EXHIBIT, THE PROPERTY WILL BE DIVIDED INTO THE FOLLOWING SUB-BASINS:

SUB-BASINS LA1, LA2 AND LA3 ARE LANDSCAPED AREAS WITH WATER HARVESTING PROVIDED TO ACCOMMODATE THE 100-YEAR STORM FOR EACH AREA.

SUB-BASIN O1 WILL GENERATE 0.1 CFS TO PASS TO THE ADJACENT PROPERTY TO THE WEST TO FOLLOW HISTORIC FLOWPATHS.

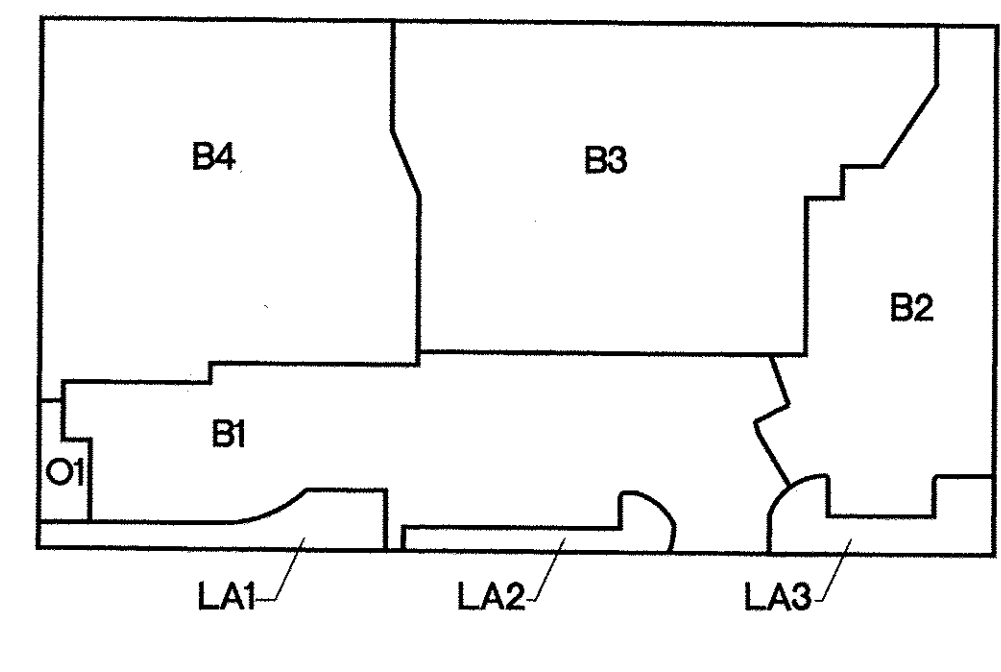
SUB-BASIN B1 WILL DISCHARGE APPROXIMATELY 1.9 CFS TO ALAMEDA BLVD. AS APPROVED BY COA (SEE CONCEPTUAL

GRADING PLAN LETTER OF APPROVAL DATED JUNE 5, 2012).

SUB-BASINS B2 AND B3 WILL BE ROUTED THROUGH DETENTION POND 1 WHICH WILL DISCHARGE AT A PEAK RATE OF 2.9 CFS TO POND 2.

SUB-BASIN B4 WILL JOIN WITH THE DISCHARGE FROM POND 2 TO DISCHARGE AT A PEAK RATE OF 4.0 CFS TO THE EXISTING DRAINAGE EASEMENT (4.22 ALLOWABLE). SEE SHEET CG-501 FOR AHYMO SUMMARY.

### PROPOSED BASINS



### LEGEND

- EXISTING SPOT ELEVATION
- EXISTING CONTOUR
- PROPOSED SPOT ELEVATION
- PROPOSED CONTOUR
- FLOW LINE
- FINISHED FLOOR
- EXISTING ELEVATION (±) TO MATCH. PROVIDE SMOOTH TRANSITION.
- PROPOSED RETAINING WALL
- GRADE BREAK

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1918 CG-101.dwg Aug 30, 2012



