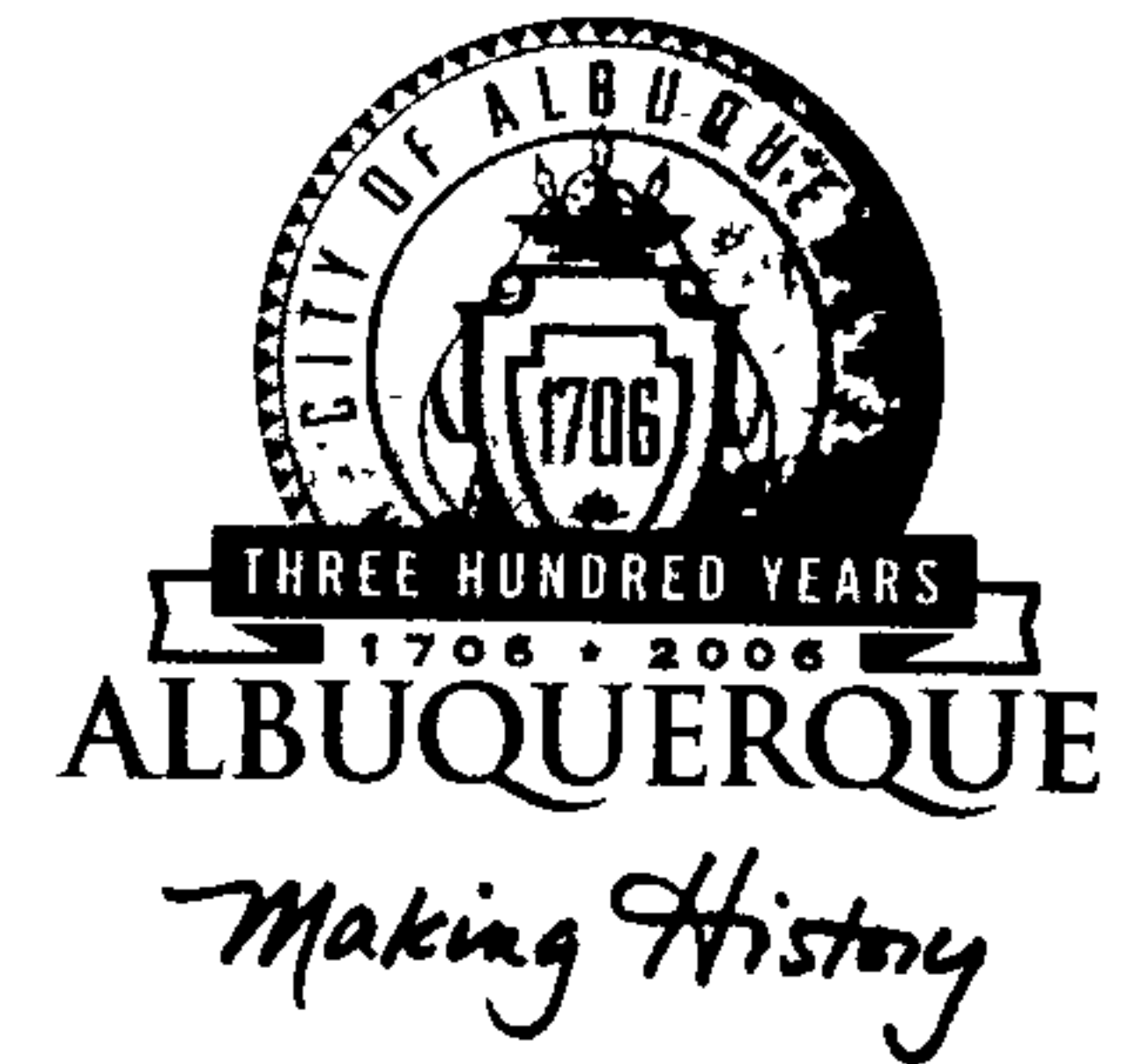


CITY OF ALBUQUERQUE



January 7, 2005

Mr. Mark Burak, PE
BURAK CONSULTING
1512 Sagebrush Trail SE
Albuquerque, NM 87123

Re: ROYAL PACIFIC WAREHOUSE
4931 Paseo del Norte NE
Approval of Permanent Certificate of Occupancy (C.O.)
Engineer's Stamp dated 06/15/2004 (C-17/D7)
Certification dated 12/20/2004 (21)

P.O. Box 1293

Dear Mr. Burak,

Albuquerque

Based upon the information provided in your submittal received 01/07/2005, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

New Mexico 87103

If you have any questions, you can contact me at 924-3982.

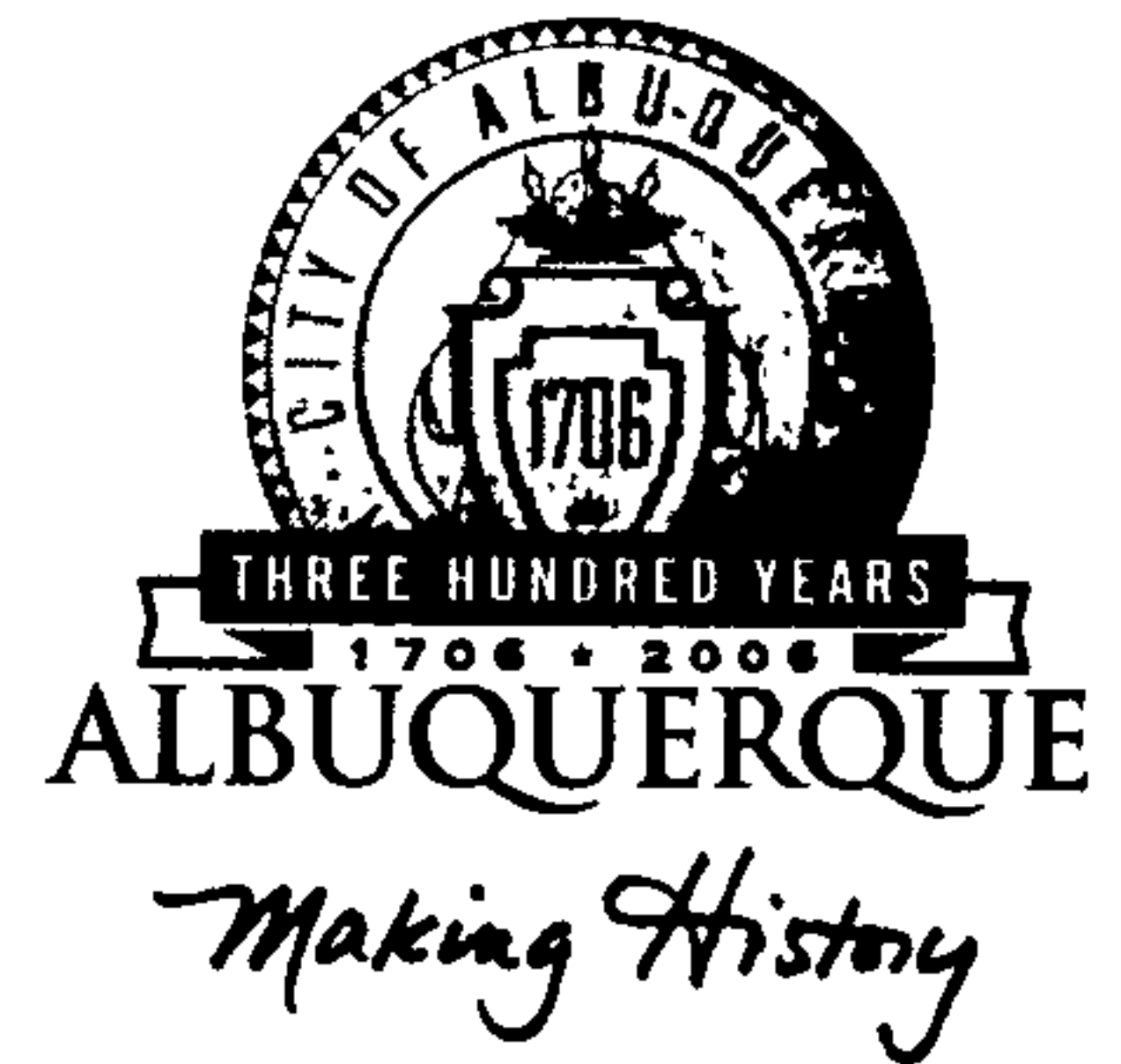
Sincerely,

Arlene V. Portillo
Plan Checker, Planning Dept. - Hydrology
Development and Building Services
BLB

www.cabq.gov

C: Phyllis Villanueva
File

CITY OF ALBUQUERQUE



December 10, 2004

Mr. Mark Burak, PE
BURAK CONSULTING
1512 Sagebrush Trail SE
Albuquerque, NM 87123

Re: ROYAL PACIFIC WAREHOUSE
4931 Paseo del Norte NE
Approval of Temporary Certificate of Occupancy (C.O.)
Engineer's Stamp dated 06/15/2004 (C-17/D7)
Certification dated 12/08/2004 *D 121*

Dear Mr. Burak,

P.O. Box 1293

Based upon the information provided in your submittal received 12/09/2004, the above referenced certification is approved for release of 30-day Temporary Certificate of Occupancy by Hydrology.

Albuquerque

A Permanent Certificate of Occupancy will be issued when an updated certification is submitted. The update must include the Surveyor's Stamp/Signature certifying the as-built elevations, the Engineer's Stamp/Signature certifying the grading and drainage, and documentation from Storm Maintenance Division's acceptance of the required SO-19.

New Mexico 87103

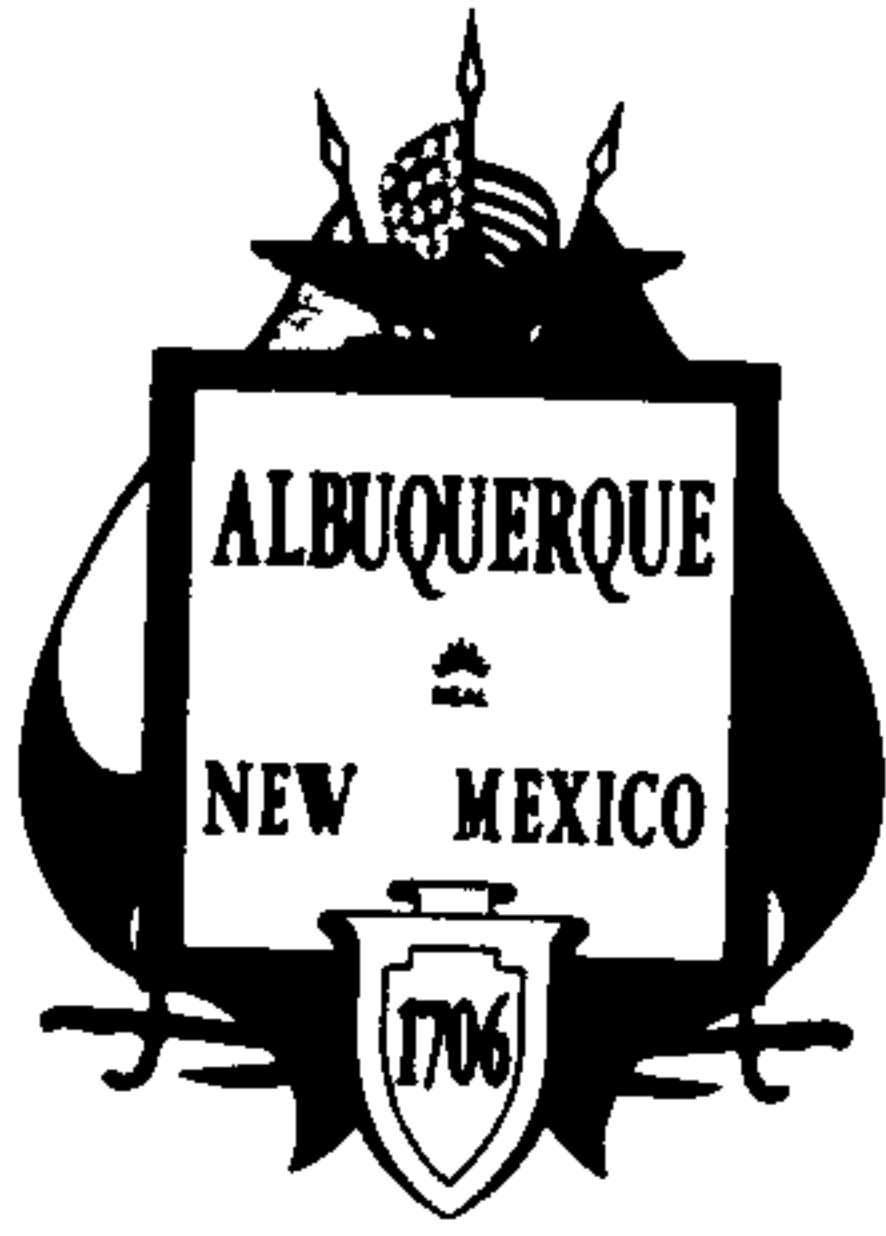
If you have any questions, you can contact me at 924-3982.

www.cabq.gov

Sincerely,

Arlene V. Portillo
Plan Checker, Planning Dept. - Hydrology
Development and Building Services

C: Phyllis Villanueva
File



City of Albuquerque
P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103,

July 12, 2004

Mark Burak, P.E.
1512 Sagebrush Tr. SE
Albuquerque, NM 87123

Re: Royal Pacific Warehouse, Grading and Drainage Plan
Engineer's Stamp dated 6-15-04 (C17-D7)

0121

Dear Mr. Burak,

Based upon the information provided in your submittal received 7-01-04, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

A separate permit (SO#19) is required for construction within City Right of Way. A copy of this approval letter must be on hand when applying for the excavation permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

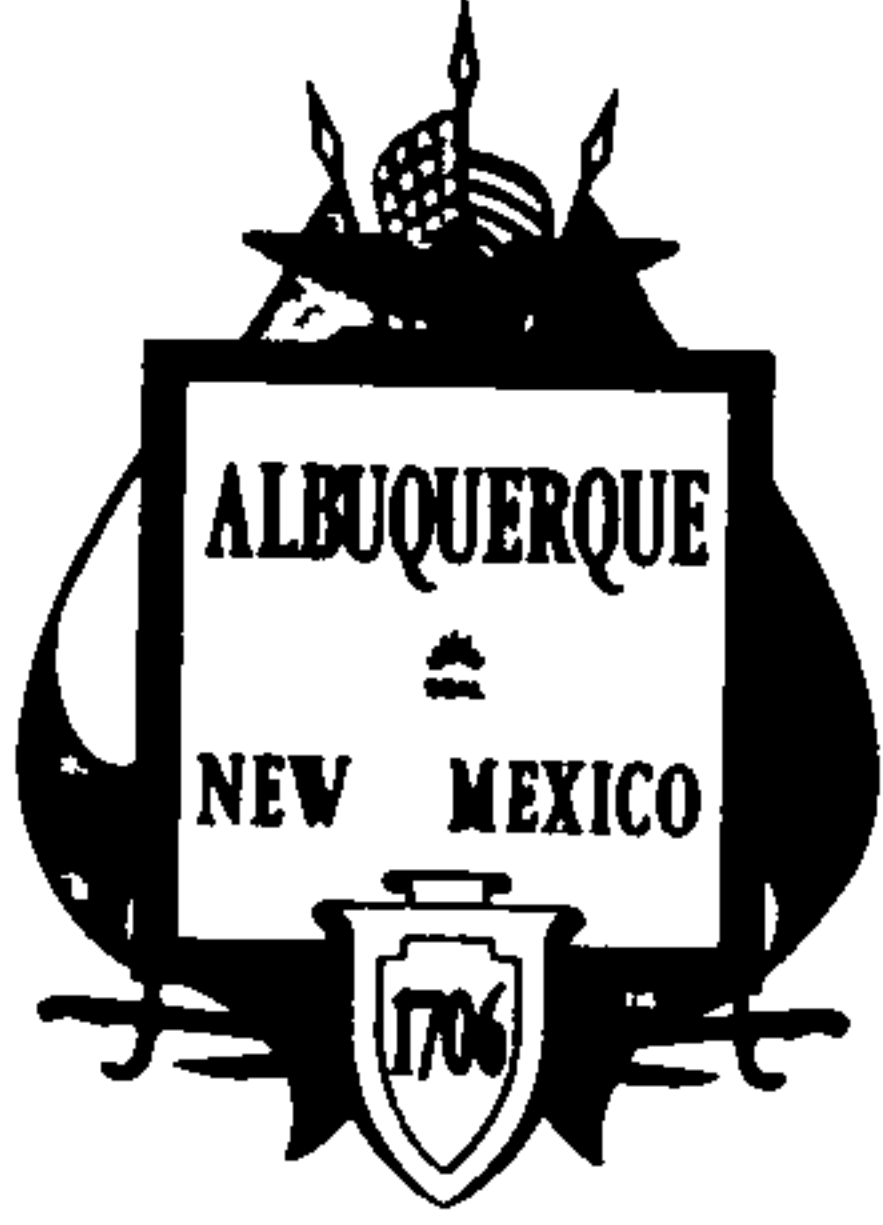
This project requires a National Pollutant Discharge Elimination System (NPDES) permit. If you have any questions regarding this permit please feel free to call the DMD Storm Drainage Design section at 768-3654 (Charles Caruso) or 768-3645 (Bryan Wolfe).

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro
Engineering Associate, Planning Dept.
Development and Building Services

C: Matt Cline, Arroyo Maintenance
Pam Lujan, Excavation Permits
Charles Caruso, DMD Storm Drainage Design
File



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

July 1, 2004

John Douglas Heller, R.A.
Mullen Heller Architecture PC
1015 Tijeras Ave. NW Suite 220
Albuquerque, NM 87102

**Re: Royal Pacific Warehouse, 4931 Paseo del Norte Blvd, Traffic Circulation
Layout**

Architect's Stamp dated 6-29-04 (C17-D7)
121

Dear Mr. Heller,

The above referenced plan is zoned SU-2, which makes it site plan controlled. Any changes to this plan should be submitted through the administrative amendment process.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro
Engineering Associate, Planning Dept.
Development and Building Services

C: file



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

May 4, 2004

Mark Burak, P.E.
1512 Sagebrush Tr. SE
Albuquerque, NM 87123

Re: Royal Pacific Warehouse, Grading and Drainage Plan
Engineer's Stamp dated 4-15-04 (C17-D7)

121

Dear Mr. Burak,

Based upon the information provided in your submittal received 4-16-04, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

- ✓ 1. Please show how Basin A drains; is there a proposed swale in this area?
- ✓ 2. What happens to the flow east of the proposed building?
- 3. Provide a detail for the gutter drains, or refer to an appropriate City Standard.
- ✓ 4. Please show the existing storm drain located in the frontage road.
- 5. Show the location of the referred to offsite basins; do these basins effect the site?

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE
Principal Engineer, Planning Dept.
Development and Building Services

C: File



Mark H. Burak, P.E.

1512 Sagebrush Trail SE Albuquerque, NM 87123

(505) 296-0461 235-2256 cell 296-0467 fax

Date: December 20, 2004

Mr. Scott Whittington
Avalon Investments, Inc.
1015 Tijeras NW Ste 200
Albuquerque, NM 87102
(505) 338-2284 338-0200 fax

Re: Royal Pacific Warehouse – Tract ^{3-L}~~C-3~~ Lands of Los Angeles Investors
Section 14, T 11N, R 3E, NMPM - Zone Atlas Map C-17

DRAINAGE CERTIFICATION

I, Mark Burak, NMPE 10987, of the firm Burak Consulting hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated June 15th 2004. The record information edited onto the original design document has been obtained by Joquin Argulles, NMPS 7472. I further certify that I have personally visited the project site on December 20th 2004 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certification of Occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

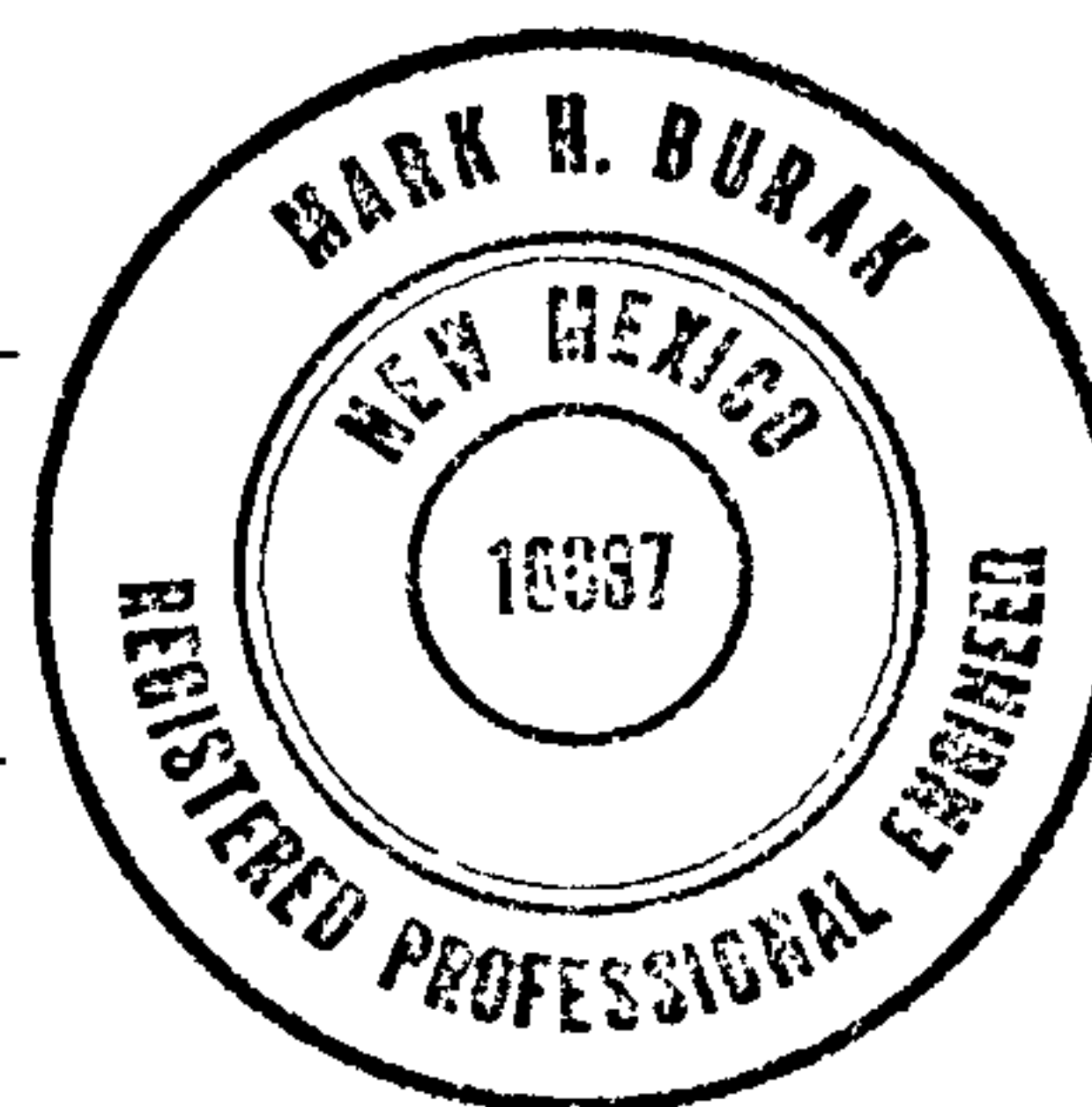
As-Built construction variations to the approved plan include the following:

- The sump pump outfall was re-routed from the existing storm drain located south of the project to the landscape area located north of the building. The landscape area was graded to drain to the roadway to the west.
- A valley gutter was installed along the east side of the building to facilitate improved drainage due to the minimum gradient. The runoff was routed north and south as shown on the approved plan.
- A number of roof drain locations were changed to drain to the east side of the building. This facilitated the removal of the sidewalk culverts located south of the building.

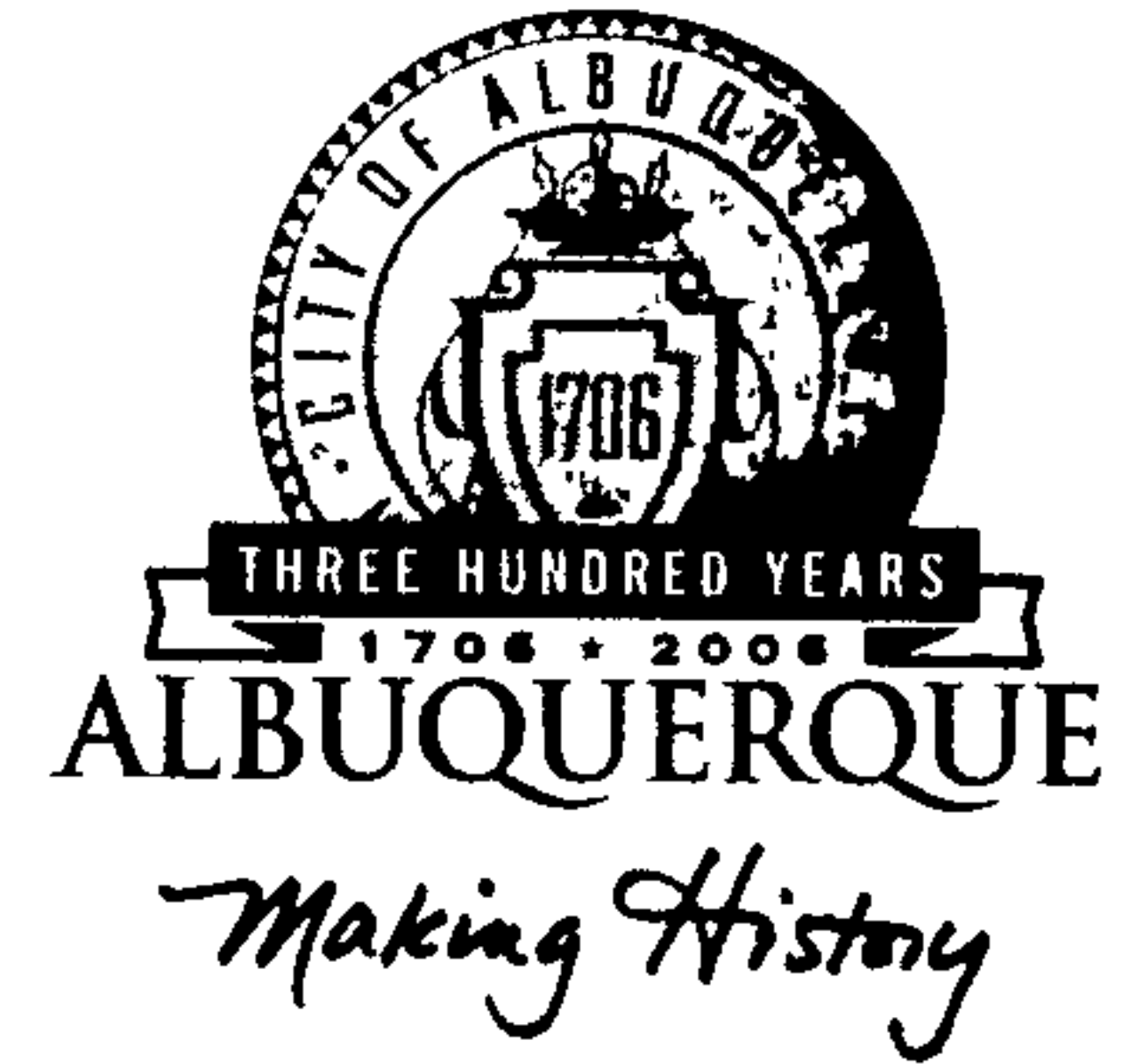

Mark H. Burak 10987
NMPE

December 20, 2004

Date



CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

January 11, 2005

John Douglas Heller, Registered Architect
1015 Tijeras Ave. SW, Ste. 220
Albuquerque, NM 87102

Re: Certification Submittal for Final Building Certificate of Occupancy for
Royal Pacific Warehouse, [C-17 / D7]
4931 Paseo Del Norte
Architect's Stamp Dated 01/11/05

Dear Mr. Heller:

P.O. Box 1293

The TCL / Letter of Certification submitted on January 11, 2005 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Albuquerque

Sincerely,

New Mexico 87103

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

www.cabq.gov

c: Engineer
Hydrology file
CO Clerk

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Royal Pacific Warehouse
DRB #: 1003383 EPC#: N/A

ZONE MAP/DRG. FILE #: C-17-Z
WORK ORDER#: N/A

LEGAL DESCRIPTION: Tract 3-C of Lands of Los Angeles Investors
CITY ADDRESS: 4931 Paseo Del Norte

ENGINEERING FIRM: Burak Consulting
ADDRESS: 1512 Sagebrush Trail SE.
CITY, STATE: Albuquerque, New Mexico

CONTACT: Mark H. Burak, P.E.
PHONE: 296-0461
ZIP CODE: 87123

OWNER: Avalon Investments
ADDRESS: 1015 Tijeras Avenue NW Suite 200
CITY, STATE: Albuquerque, New Mexico

CONTACT: Scott Whittington
PHONE: 338-2284
ZIP CODE: 87102

ARCHITECT: Mullen Heller Architecture PC
ADDRESS: 1015 Tijeras Avenue NW Suite 220
CITY, STATE: Albuquerque, New Mexico

CONTACT: Douglas Heller, AIA
PHONE: 268-4144
ZIP CODE: 87102

SURVEYOR: Juaquin Arguelles Jr
ADDRESS: 2912 San Ygnacio Road SW
CITY, STATE: Albuquerque, New Mexico

CONTACT: Juaquin Arguelles Jr
PHONE: 975-0998
ZIP CODE: 87120

CONTRACTOR: Hart Design and Construction
ADDRESS: 2919 2nd Street, NW
CITY, STATE: Albuquerque, New Mexico

CONTACT: Tom Krege
PHONE: 345-4001
ZIP CODE: 87107

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

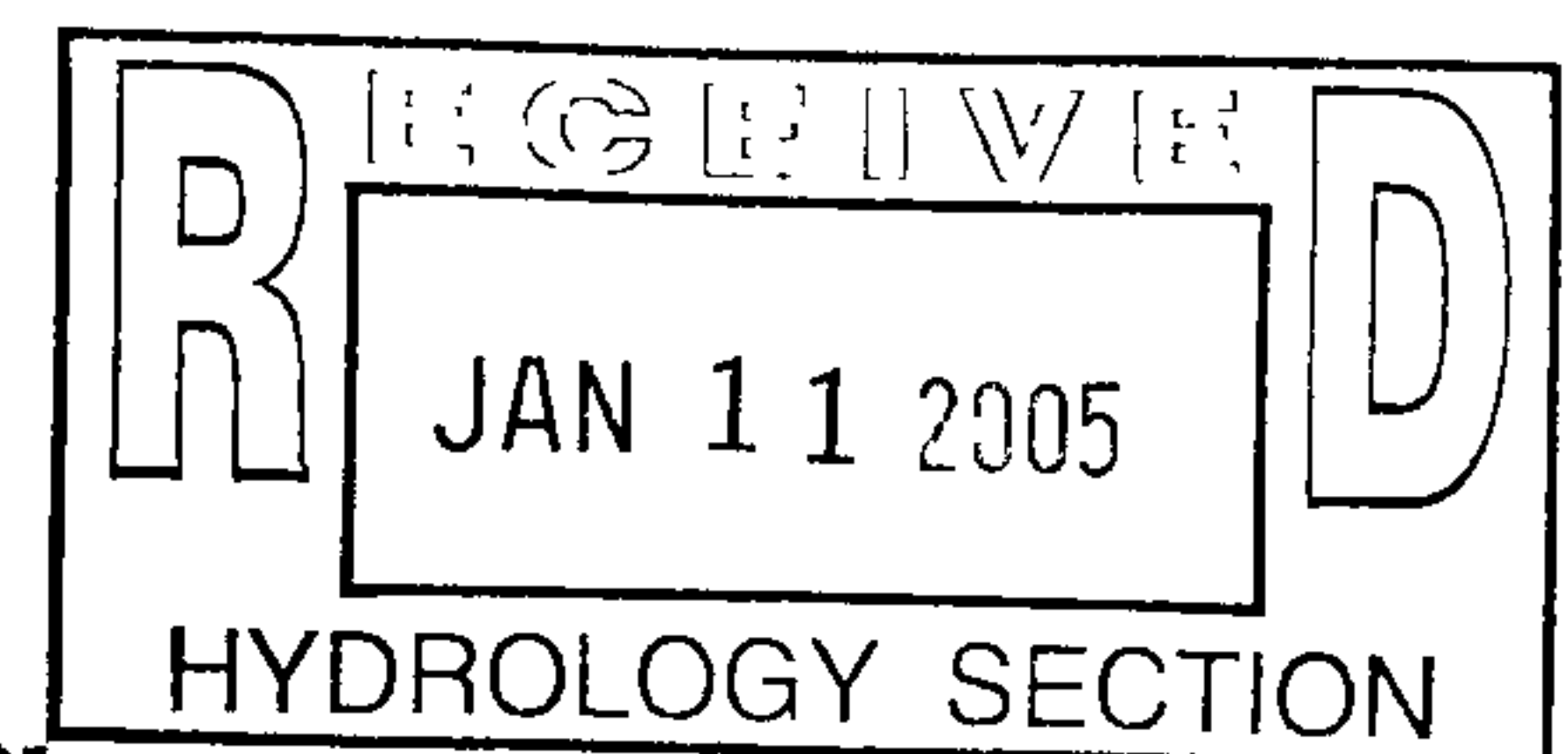
- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: January 11, 2005

BY: Michael Salvador



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

January 11, 2005

Mr. Nilo Salgado-Fernandez
City of Albuquerque
Transportation Development Section
600 Second Street NW
Albuquerque, NM 87102

Re: Royal Pacific Warehouse
4931 Paseo Del Norte (Frontage Road)
Albuquerque, New Mexico

Dear Nilo:

Attached is the approved DRB Plan for the above referenced project. I am applying for a permanent Certificate of Occupancy, as the site is substantially compliant with the DRB Plan stamped 4/21/04 and Administrative Amendment approved 7/20/04.

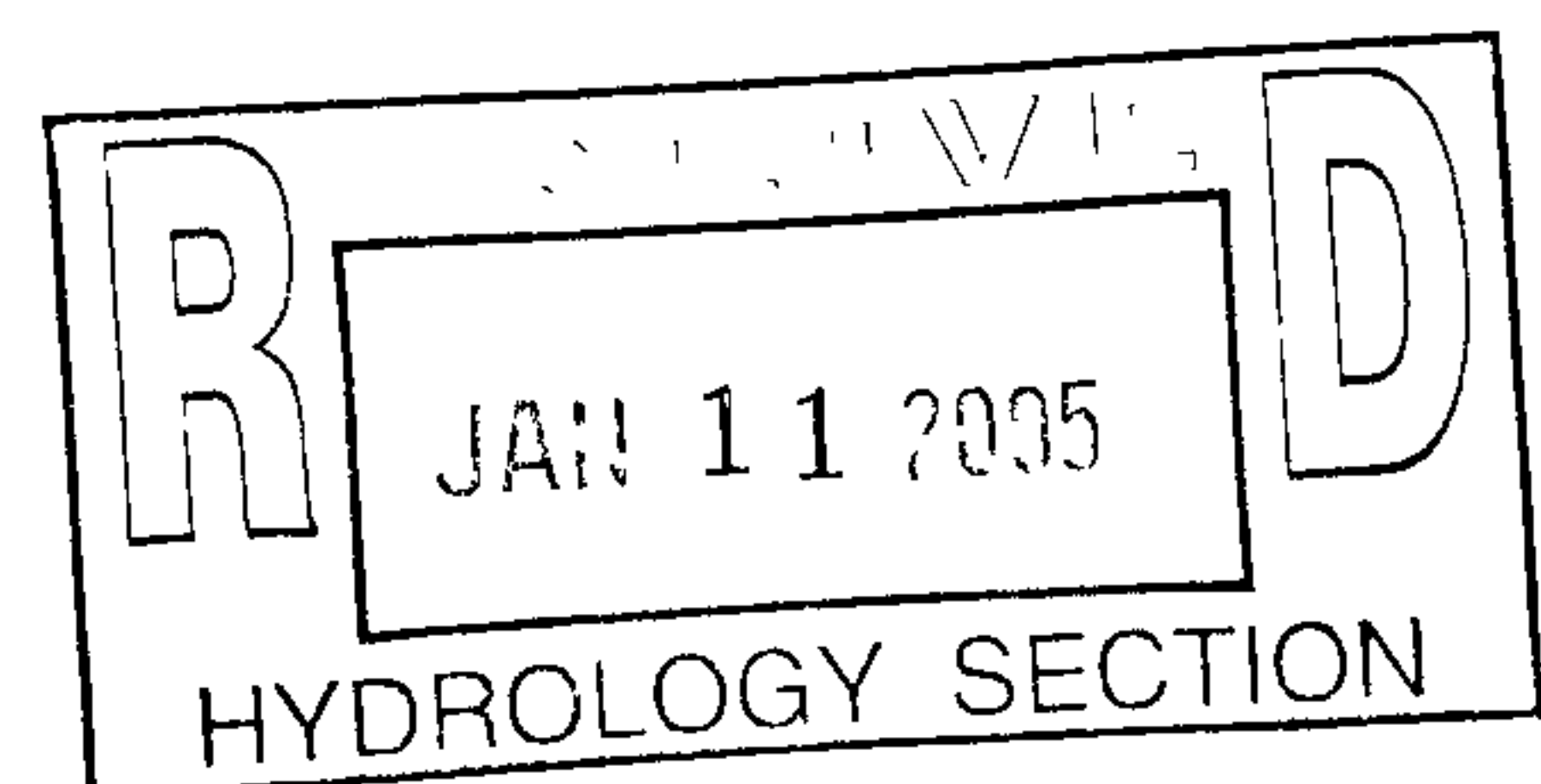
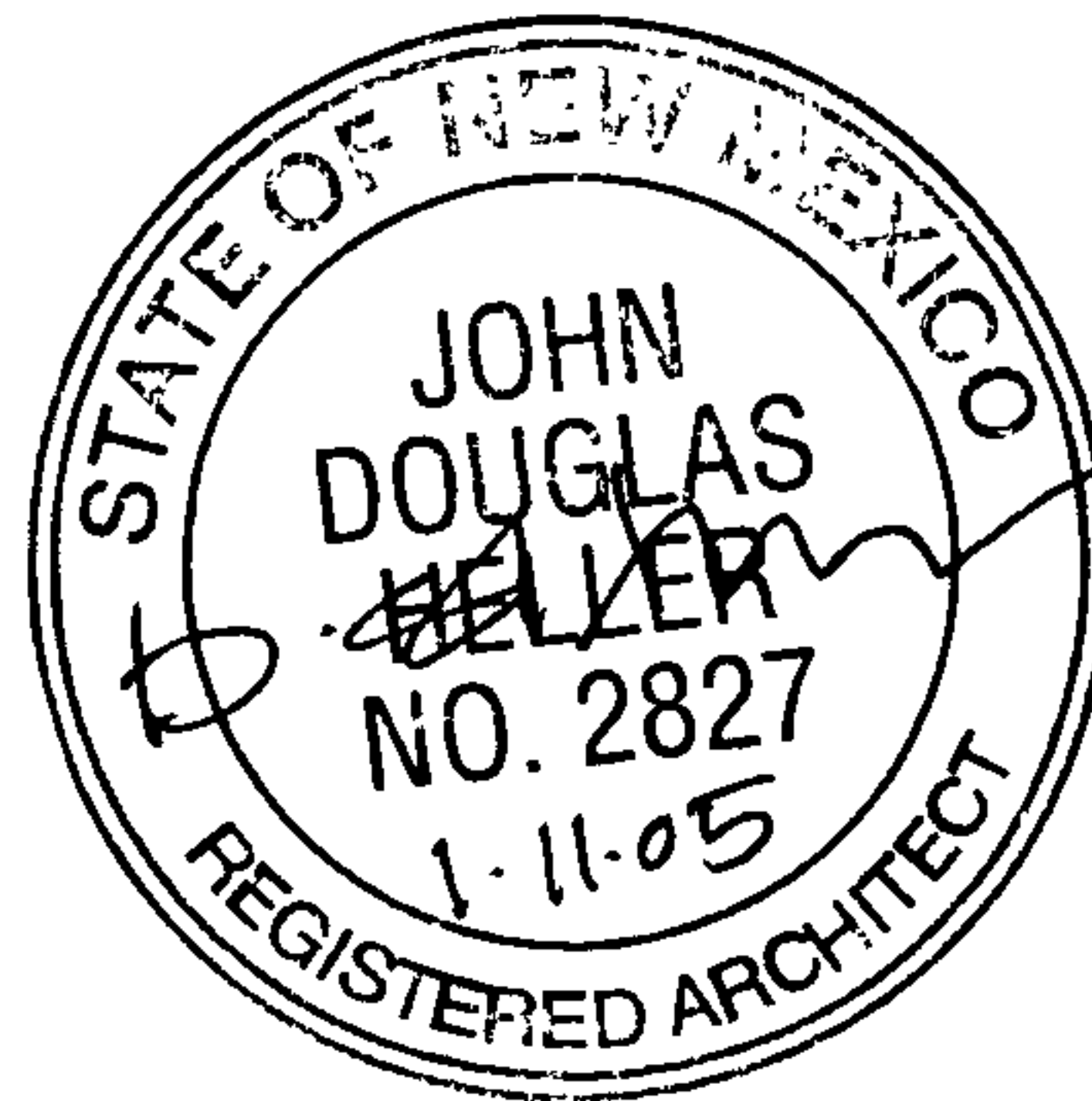
Please feel free to contact me if you have any questions.

Sincerely,
Mullen Heller Architecture PC

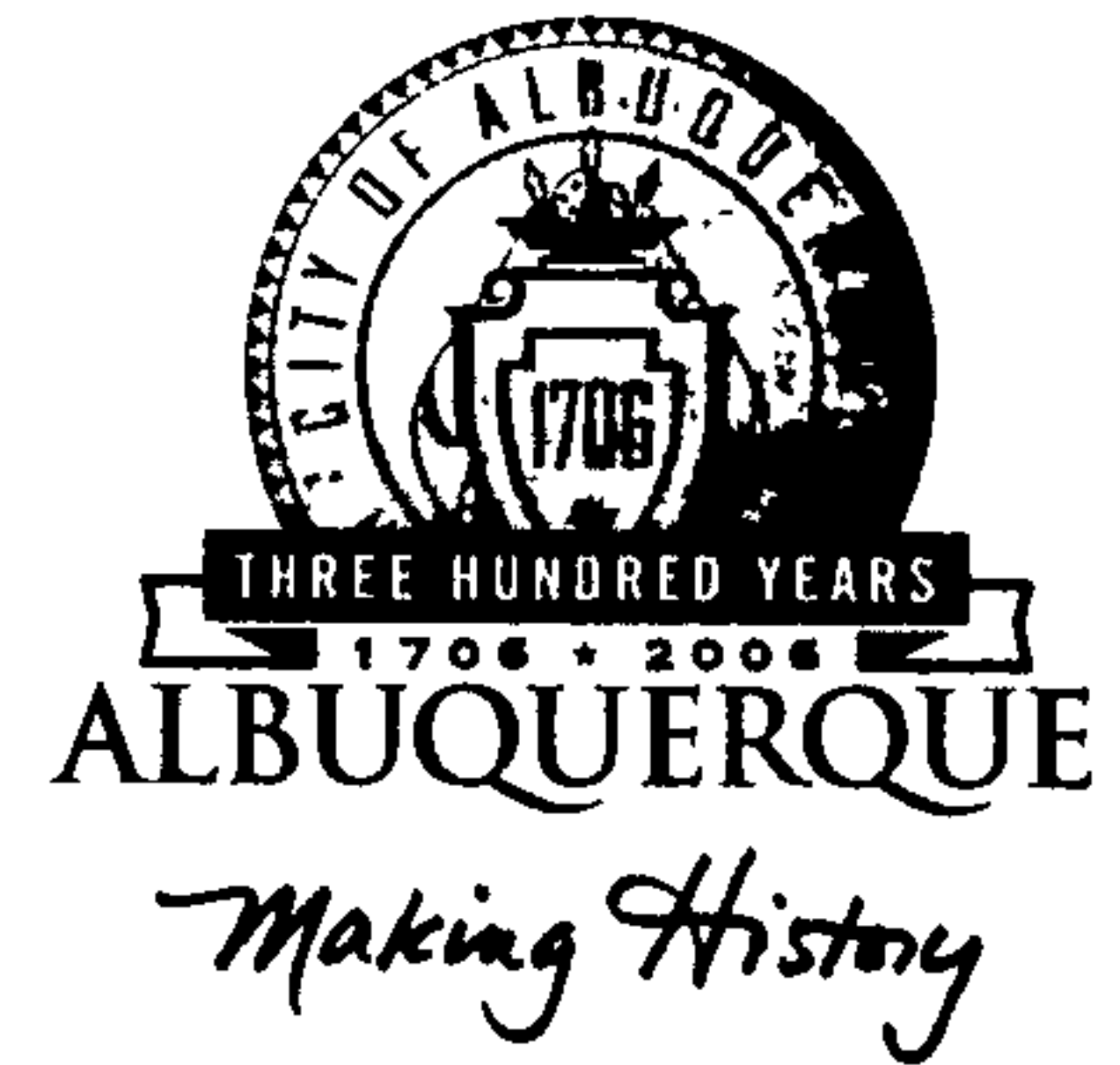


Douglas Heller, AIA

Attachment: Approved DRB Site Plan
Administrative Amendment



CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

December 10, 2004

John Douglas Heller, Registered Architect
Mullen Heller Architecture P.C.
1015 Tijeras Ave. NW, Ste. 220
Albuquerque, NM 87102

Re: Approval of Temporary Certificate of Occupancy (C.O.) for
Royal Pacific Warehouse, [C-17 / D71 0121]
4931 Paseo Del Norte (Frontage Road)
Architect's Stamp Dated 12/09/04

Dear Mr. Heller:

Based on the information provided on your submittal dated December 9, 2004, the above referenced project is approved for a 30-day Temporary C.O.

P.O. Box 1293

A Temporary C.O. has been issued allowing the outstanding issues to be completed within this time period. When these remaining issues have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be issued.

Albuquerque

New Mexico 87103

The Certification package for Final C.O. must include an exact copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets—the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead-stamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

www.cabq.gov

If you have any questions, please call me at 924-3630.

Sincerely,

Nilo El. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk