



**Planning Department
Transportation Development Services**

October 29, 2014

Daniel Herr, R.A.
Slagle Herr Architects
413 2nd Street SW
Albuquerque, NM 87102

Re: Office/Warehouse, 8620 President Place
Traffic Circulation Layout
Architect's Stamp dated 10-27-14 (C17-D122)

Dear Mr. Herr,

Based upon the information provided in your submittal received 10-27-14, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

PO Box 1293

Albuquerque

New Mexico 87103

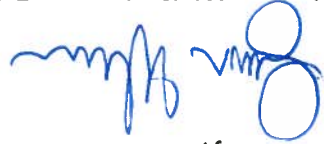
www.cabq.gov

1. Please show a vicinity map showing the location of the development in relation to existing streets.
2. Identify existing pavement and right-of-way dimensions for President Place. Show existing features such as existing curb and sidewalk as a different line-type to distinguish them from proposed improvements.
3. Label the compact parking spaces by placing the words "**COMPACT**" on the pavement of each space for the parking spaces shown on the southwest corner of the site.
4. Enlarge the detail for the van accessible signs so that the text on it is legible.
5. The ADA access aisle shall have the words "**NO PARKING**" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
6. Per the DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from both President Place and the parking lot to the building entrances. Please clearly show this pathway from President Place, and provide details. Ensure that ADA accessible slopes are met. Label the sidewalk dimensions for the sidewalk along the northwest corner of the building, ensuring that the sidewalk is over 6 feet in width.
7. The design delivery vehicle route for the warehouse needs to be shown.

8. For the parking spaces within the gravel area, make sure they are called out on the plan as "8 spaces @ 9' wide X 18' long".
9. Label the existing feature immediately to the south of the property within the sidewalk area. There must be a continuous 4-foot wide ADA access on the sidewalk adjacent to the property.
10. Where is detail 4 for curb and gutter being used on-site? Clearly show limits for beginning and end of curb or gutter on-site. Clearly show beginning and end of new sidewalk on President Place.
11. Show the mini clear site triangle as per the DPM for both driveway entrances. Add the following note to the clear sight triangle: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area."
12. Please specify the City Standard Drawing Number when applicable. Call out applicable COA Standard Details when calling out the new driveways and new sidewalk. Ensure ADA accessibility across driveways.
13. Be sure to get approval from Solid Waste on this site plan since they would need access to the trash bin behind the electrically operated rolling gate. Discuss with them prior to the next site plan submittal.

Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact me at (505) 924-3924.

Sincerely,



Jeannette Wolfenbarger, P.E.
Senior Engineer, Planning Dept.
Development Review Services

c: File
CO Clerk



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: New Facility for Kirkpatrick & Associates Building Permit #: _____ City Drainage #: 10 C17D122

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Tract B-1-A-5, Clifford Industrial Park

City Address: 8610 President Place NE

Engineering Firm: Rio Grande Engineering Contact: David Soule

Address: 1606 Central Ave SE, Suite 201, Albuquerque, NM

Phone#: 505 872 0999 Fax#: _____ E-mail: david@riograndeengineering.com

Owner: Susan Kirkpatrick Contact: _____

Address: 6608 2nd St NW, Albuquerque NM 87107

Phone#: 505 342 0402 Fax#: _____ E-mail: susank@susankirkpatrick.com

Architect: Slagle Herr Architects Contact: _____

Address: 413 2nd St SW, Albuquerque, NM 87102

Phone#: 505 246 0870 Fax#: _____ E-mail: dan@slagleherr.com

Surveyor: Chris Dehler Contact: _____

Address: 3827 Palacio Del Rio Grande NW, Albuquerque, NM 87107

Phone#: 505 414 8223 Fax#: _____ E-mail: dehlersurveying@q.com

Contractor: TBD Contact: _____

Address: _____

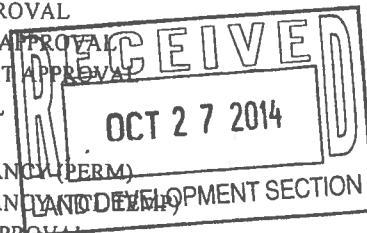
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (LAND DEVELOPMENT SECTION)
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY)



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes ☒ No _____ Copy Provided

DATE SUBMITTED: 10-27-14 By: Dan Herr

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

LOCATION:	8620 PRESIDENT PLACE NE ALBUQUERQUE, NM 87113
LEGAL DESCRIPTION: TR. B-1-A-5, CLIFFORD INDUSTRIAL PARK	
CURRENT ZONING:	M-1 OR SU-2 NC
ZONE ATLAS PAGE:	C-17
TOTAL LOT AREA:	43,705 SQ. FT. (1.0025 AC)
GROSS BUILDING AREA:	15,750 S.F.
NET LOT AREA:	27,955 S.F.
LANDSCAPE AREA REQUIRED:	4193 S.F.
LANDSCAPE AREA PROVIDED:	4400 S.F.

PRODUCTION FRAMING: 1 SPACE / 1000 S.F.
5765 S.F. / 1000 = 5.7 SPACES

DESIGNER WAREHOUSE: 1 SPACE / 2000 S.F.
2925 S.F. / 2000 = 1.4 SPACES

OFFICE: 1 SPACE / 200 S.F.
7050 S.F. / 200 = 35.2 SPACES

42.3 SPACES
-10% (4.23) REDUCTION FOR TRANSIT

TOTAL OF 38 SPACES REQUIRED

PARKING PROVIDED

PAVING SPECIFICATION
SEE GEOTECHNICAL REPORT PREPARED FOR THIS SITE DATED
10-22-14 FOR ALL PAVING REQUIREMENTS.

SITE PLAN / TCL SITE DETAILS



date
10-27-14
sheet
C100

