

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

September 16, 2015

Dan Herr
Slagle Herr Architects
413 2nd St., NW
Albuquerque, NM 87102

**Re: New Facility For Kirkpatrick & Associates
Certificate of Occupancy – Transportation Development
Engineer's/Architect's Stamp dated 12-18-14 (C17-D122)
Certification dated 9-9-15**

Dear Mr. Herr,

Based upon the information provided in your submittal received 9-9-15, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Gary Sandoval at (505) 924-3675 or me at (505)924-3991.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

\gs via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

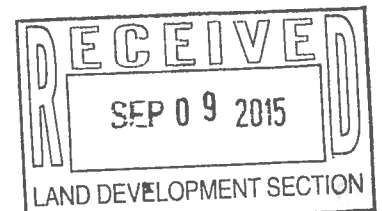
Project Title: New Facility for Kirkpatrick & Associates Building Permit #: _____ City Drainage #: C17-D122
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: Tract B-1-A-5, Clifford Industrial Park
City Address: 8610 President Place NE
Engineering Firm: Rio Grande Engineering Contact: David Soule
Address: 1606 Central Ave SE, Suite 201, Albuquerque, NM
Phone#: 505 872 0999 Fax#: _____ E-mail: david@riograndeengineering.com
Owner: Susan Kirkpatrick Contact: _____
Address: 6608 2nd St NW, Albuquerque NM 87107
Phone#: 505 342 0402 Fax#: _____ E-mail: susank@susankirkpatrick.com
Architect: Slagle Herr Architects Contact: _____
Address: 413 2nd St SW, Albuquerque, NM 87102
Phone#: 505 246 0870 Fax#: _____ E-mail: dan@slagleherr.com
Surveyor: Chris Dehler Contact: _____
Address: 3827 Palacio Del Rio Grande NW, Albuquerque, NM 87107
Phone#: 505 414 8223 Fax#: _____ E-mail: dehlersurveying@q.com
Contractor: Mechenbier Construction Contact: John Mechenbier
Address: 8500 Washington St. NE, Suite A-5, Albuquerque NM 87113
Phone#: 314-7700 Fax#: 314-7799 E-mail: jmechenbier@mechenbier.com

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☒ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ ENGINEER'S CERT (ESC)
☐ SO-19
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
☐ ESC PERMIT APPROVAL
☐ ESC CERT. ACCEPTANCE
☐ OTHER (SPECIFY) _____



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____

Yes ☒ No ☐ Copy Provided ☐

DATE SUBMITTED: 9-9-15

By: Dan Herr

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



TRAFFIC CERTIFICATION FOR CERTIFICATE OF OCCUPANCY

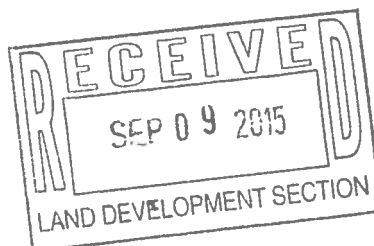
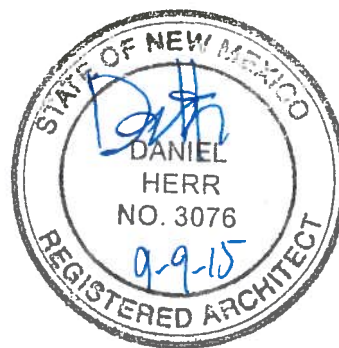
RE: 8610 PRESIDENT PLACE NE, ALBUQUERQUE NM 87113

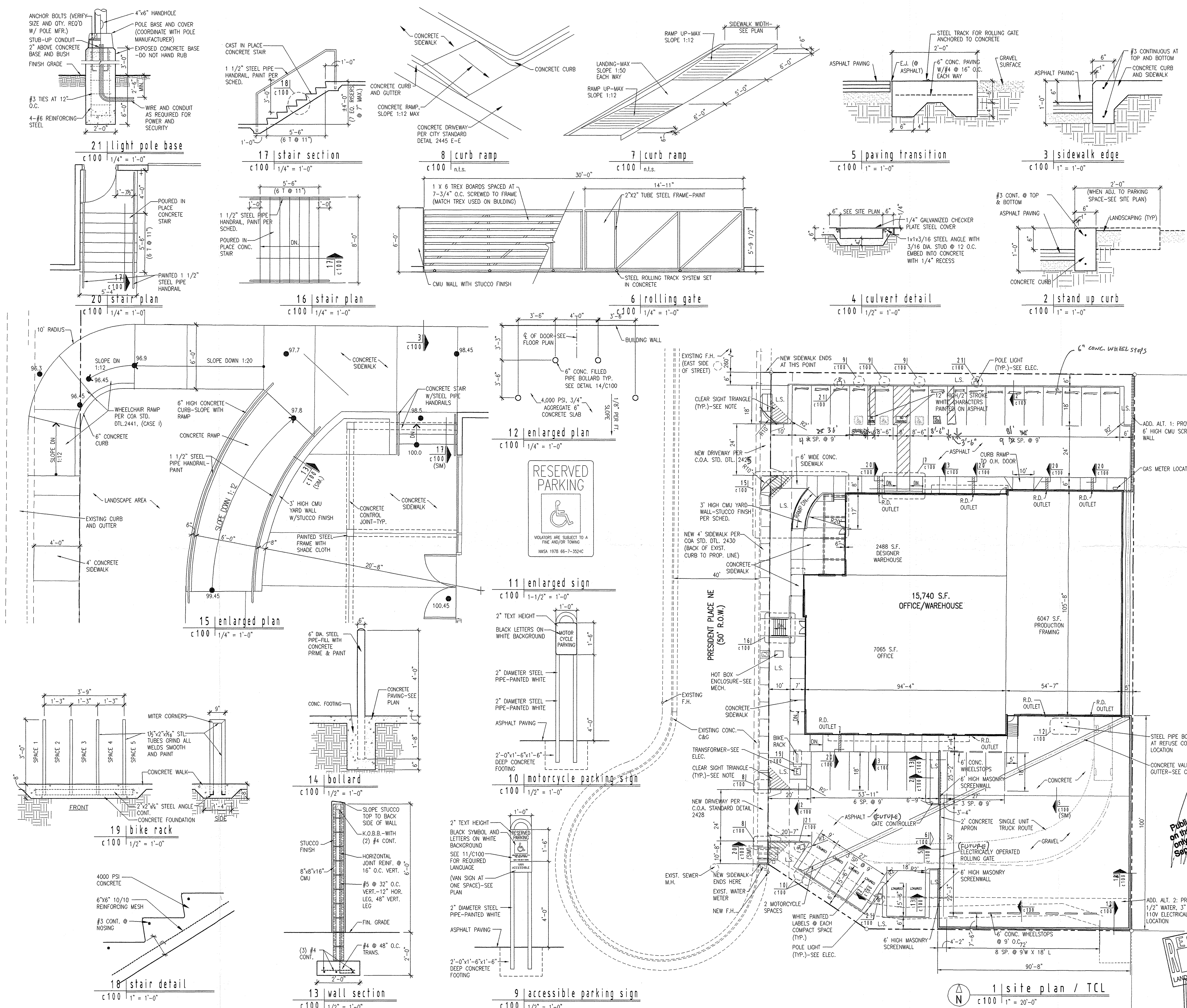
I, Dan Herr, NMRA 3076, of the firm Slagle Herr Architects, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the TCL approved plan dated 12-15-14 and approved 12-18-14. I certify that I have personally visited the project site on 9-9-15 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for permanent certificate of occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Dan Herr, Architect

Date





site data

LOCATION:	8610 PRESIDENT PLACE NE ALBUQUERQUE, NM 87113
LEGAL DESCRIPTION:	TR. B-1-A-5, CLIFFORD INDUSTRIAL PARK
CURRENT ZONING:	M-1 OR SU-2 NC
ZONE ATLAS PAGE:	C-17
TOTAL LOT AREA:	43,705 SQ. FT. (1.0025 AC)
1ST FLOOR BUILDING AREA:	15,740 S.F.
COVERED EXTERIOR AREA:	470 S.F.
SCREENED YARD	8,750 S.F.
NET LOT AREA:	18,745 S.F.

PARKING REQUIREMENT
PRODUCTION FRAMING: 1 SPACE / 1000 S.F.
6047 S.F. / 1000 = 6.0 SPACES

DESIGNER WAREHOUSE: 1 SPACE / 2000 S.F.
2488 S.F. / 2000 = 1.2 SPACES

OFFICE: 1 SPACE / 200 S.F.
7065 S.F. / 200 = 35.3 SPACES

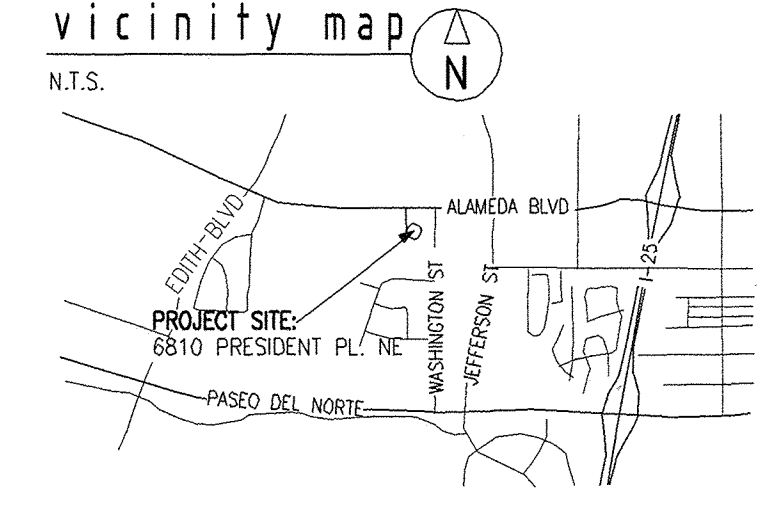
42.5 SPACES
-10% (4.25) REDUCTION FOR TRANSIT

TOTAL OF 38 SPACES REQUIRED

PARKING PROVIDED
38 PARKING SPACES PROVIDED (INCLUDING 3 ACCESSIBLE SPACES)
2 MOTORCYCLE SPACES PROVIDED
5 BICYCLE SPACES PROVIDED

PAVING SPECIFICATION
SEE GEOTECHNICAL REPORT PREPARED FOR THIS SITE DATED 10-22-14 FOR ALL PAVING REQUIREMENTS.

MINI CLEAR SITE TRIANGLE
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.



a new facility for:

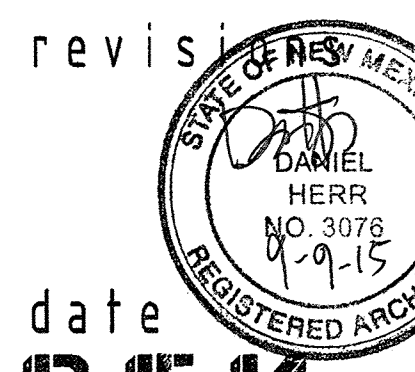
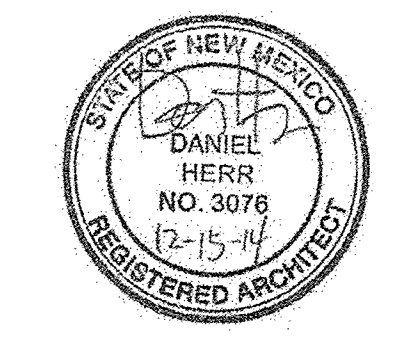
Kirkpatrick & Associates, Inc.

8610 president place NE
albuquerque NM 87113

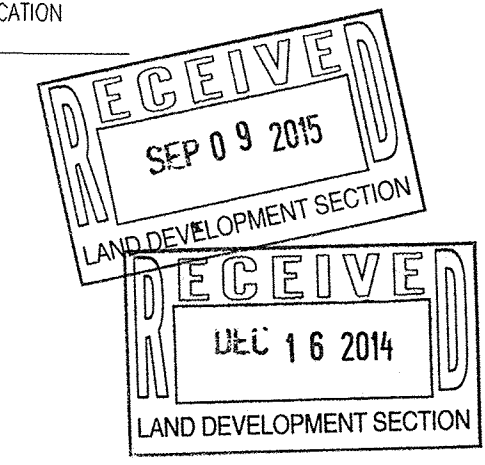
slagleherrarchitects
413 second st sw
albuquerque nm
87102
505 246 0870
slagleherr.com

SITE PLAN / TCL, SITE DETAILS

Public Infrastructure shown on these plans for information only and not part of approval. Separate DDC Permit approval and Work Order required.



date **12-15-14**
sheet **C100**



TRAFFIC CIRCULATION LAYOUT APPROVED

[Signature] 12-18-14
Date

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY MUST HAVE TRUNCATED DOMES.