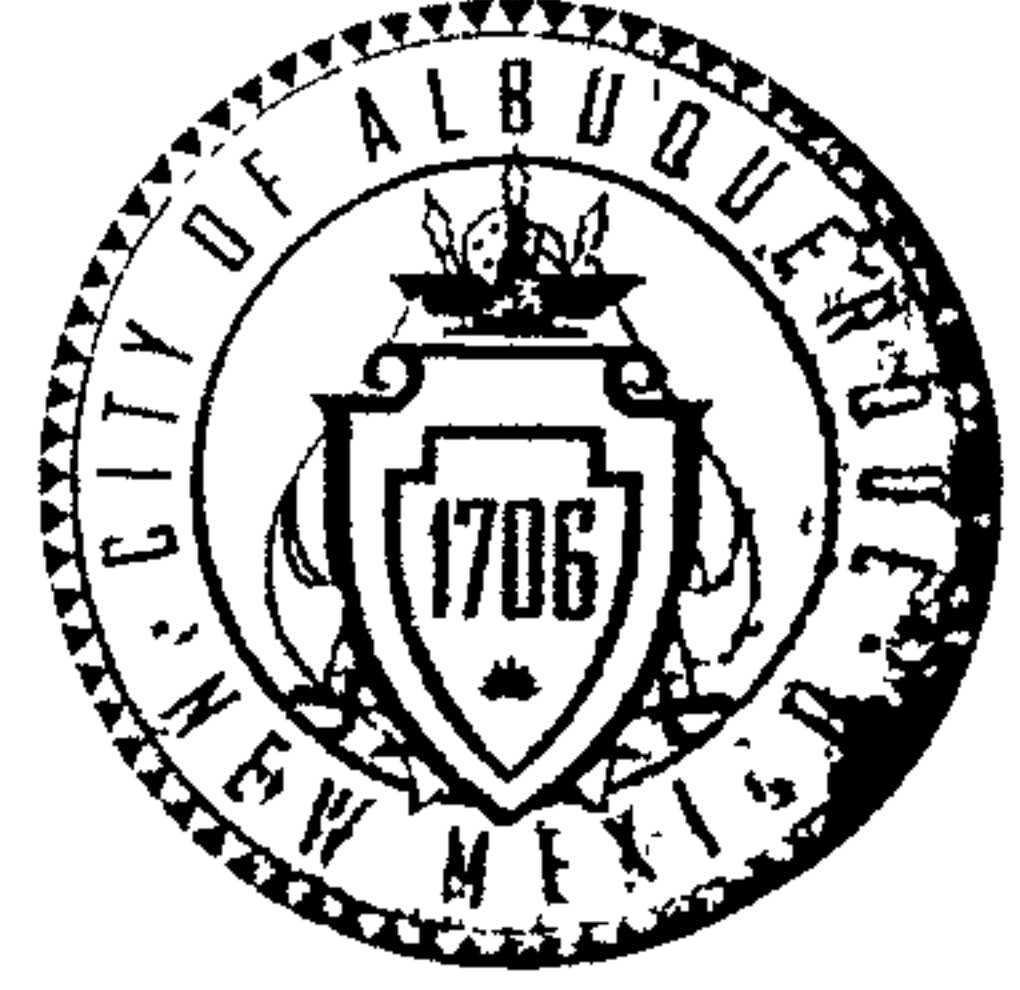


CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

June 30, 2008

Shahab Biazar, P.E.
4416 Anaheim Ave. NE
Albuquerque, NM 87113

Re: Certification Submittal for Final Building Certificate of Occupancy for
Gruet Winery, [C-18 / D002]
8400 Pan American Frwy NE
Engineer's Stamp Dated 06/27/08

Dear Mr. Biazar:

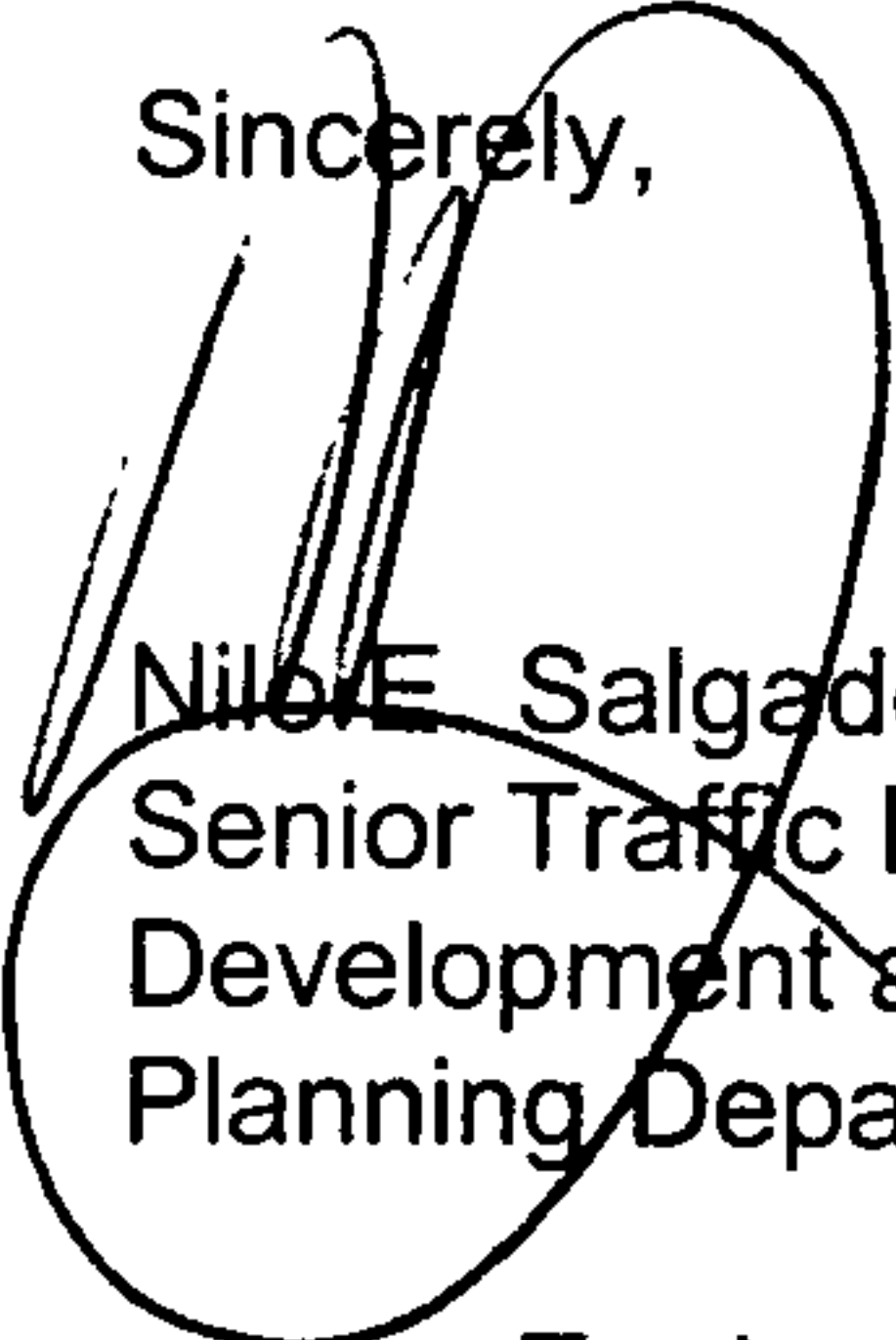
PO Box 1293

The TCL / Letter of Certification submitted on June 27, 2008 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Albuquerque

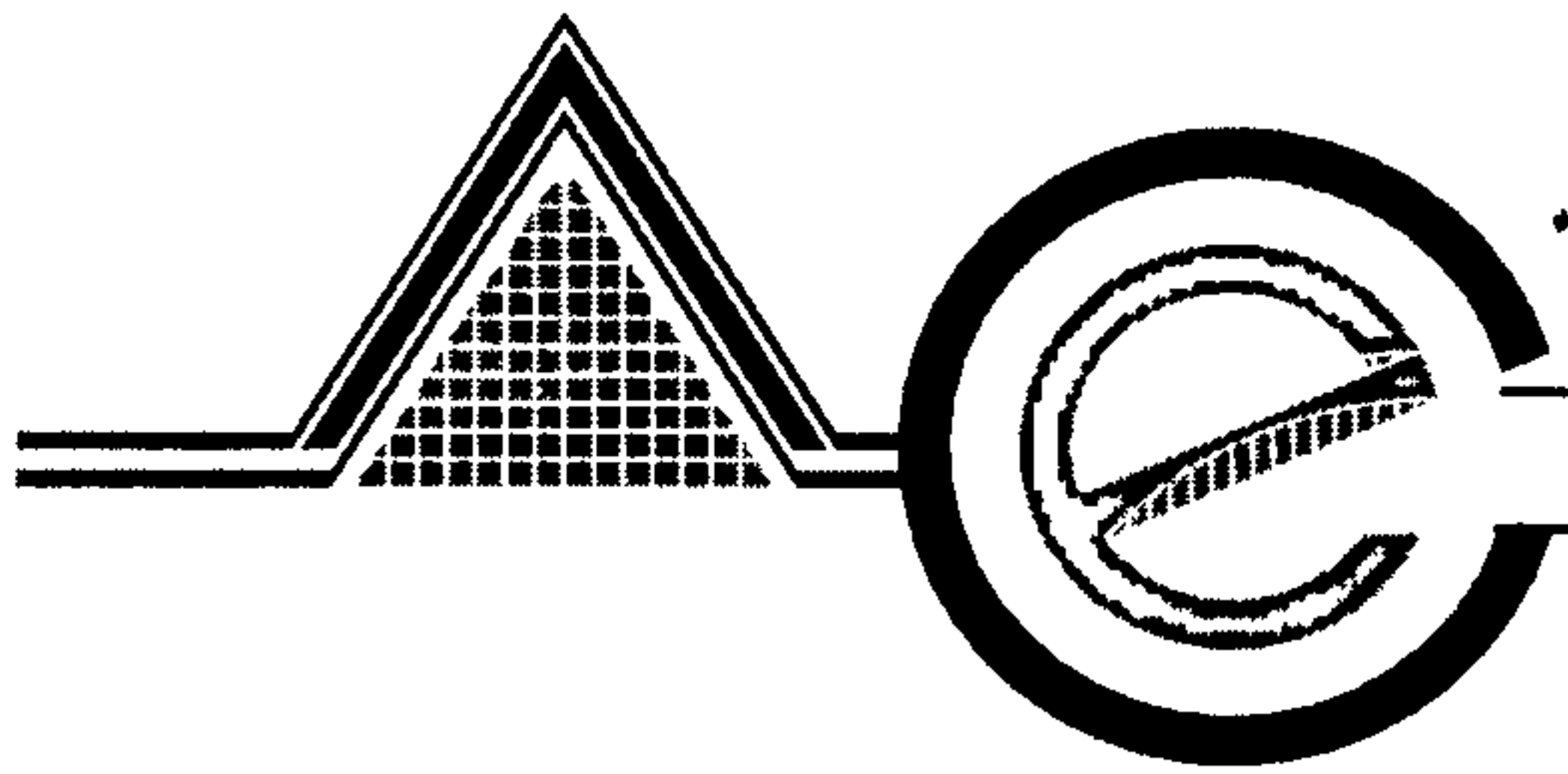
Sincerely,

NM 87103


Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

www.cabq.gov

c: Engineer
Hydrology file
CO Clerk



ADVANCED ENGINEERING and CONSULTING, LLC

*Consulting
Design
Development
Management
Inspection
Surveying*

June 27, 2008

Mr. Bradley L. Bingham, P.E.
Sr. Engineer, Planning Dept.
Development and Building Services
600 Second Street NW
Albuquerque, New Mexico 87102

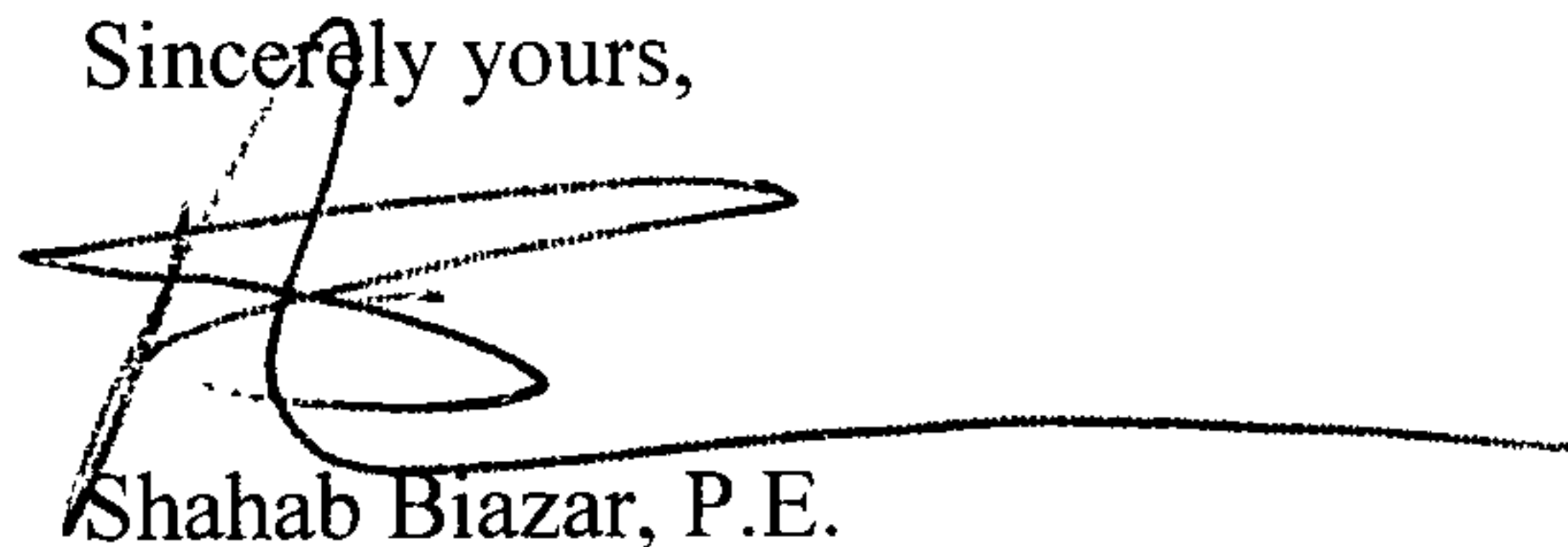
RE: FINAL CERTIFICATION OF OCCUPANCY FOR GRUETWINERY ADDITION
(C18 / D12)

Dear Mr. Bingham:

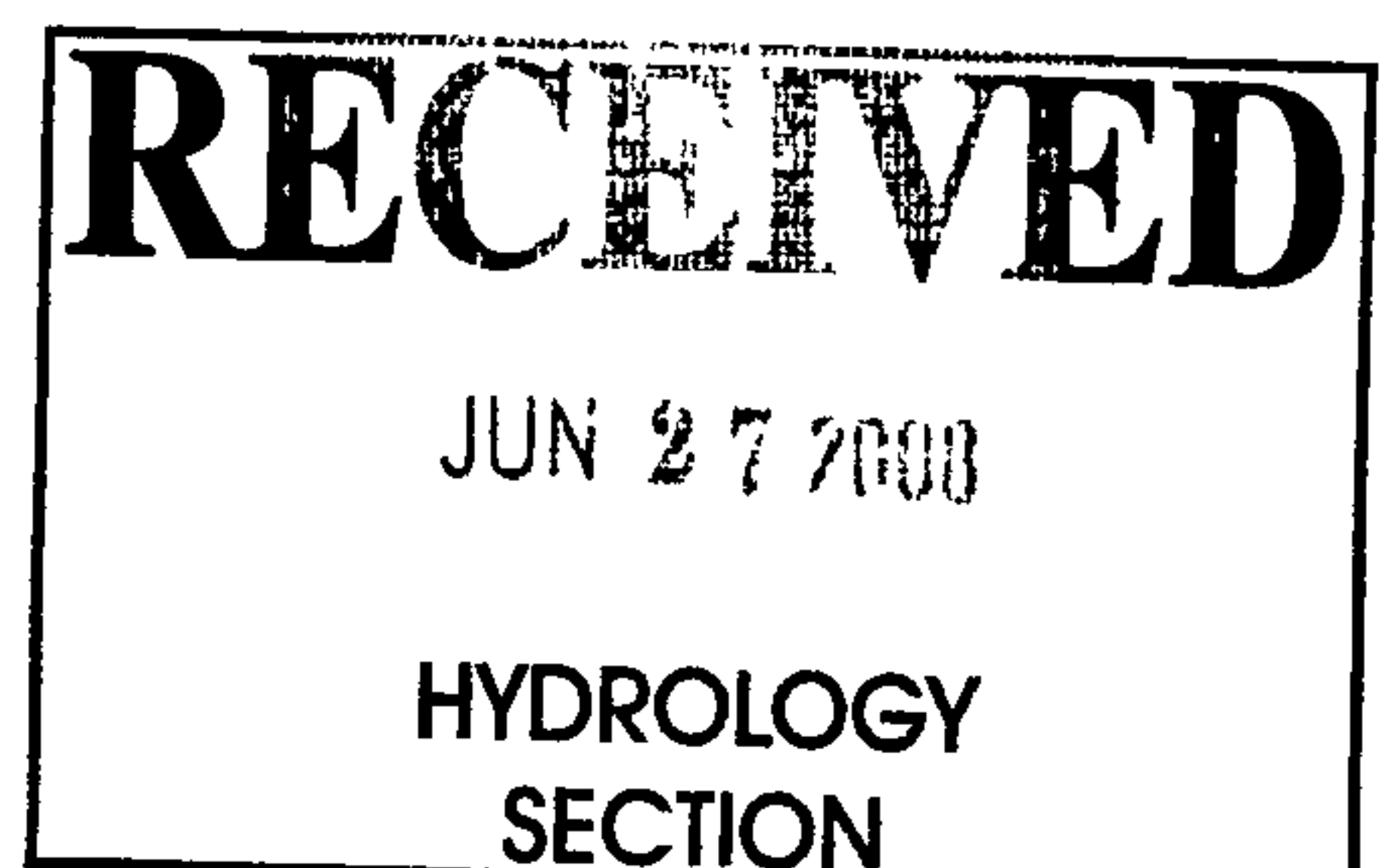
This letter is in request of Final Certification of Occupancy for the above mentioned project. I Shahab Biazar, NMPE, of the Advanced Engineering, LLC hereby certify that project has been graded and will drain in substantial compliance with and design intent of the approved plan dated 09/21/2007. All the pavement, the storm sewer pipes, the inlets, and the pond are in place. See enclosed plan for as-built grades.

Please contact me if there are any questions or concerns regarding this submittal.

Sincerely yours,



Shahab Biazar, P.E.



DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 12/05)

PROJECT TITLE: GRUE WINERY ADDITION ZONE ATLAS/DRG. FILE #: C-18(0002) 618/DT2
 DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: LOT 25-A, BLOCK 15, TRACT A, UNIT B, NAA
 CITY ADDRESS: 8400 Pan American Frwy, NE Albuquerque, NM 87113

ENGINEERING FIRM: Advanced Engineering and Consulting, LLC
 ADDRESS: 4416 Anaheim Ave., NE
 CITY, STATE: Albuquerque, New Mexico

CONTACT: Shahab Biazar
 PHONE: (505) 899-5570
 ZIP CODE: 87113

OWNER: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

ARCHITECT: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

SURVEYOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

CONTRACTOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

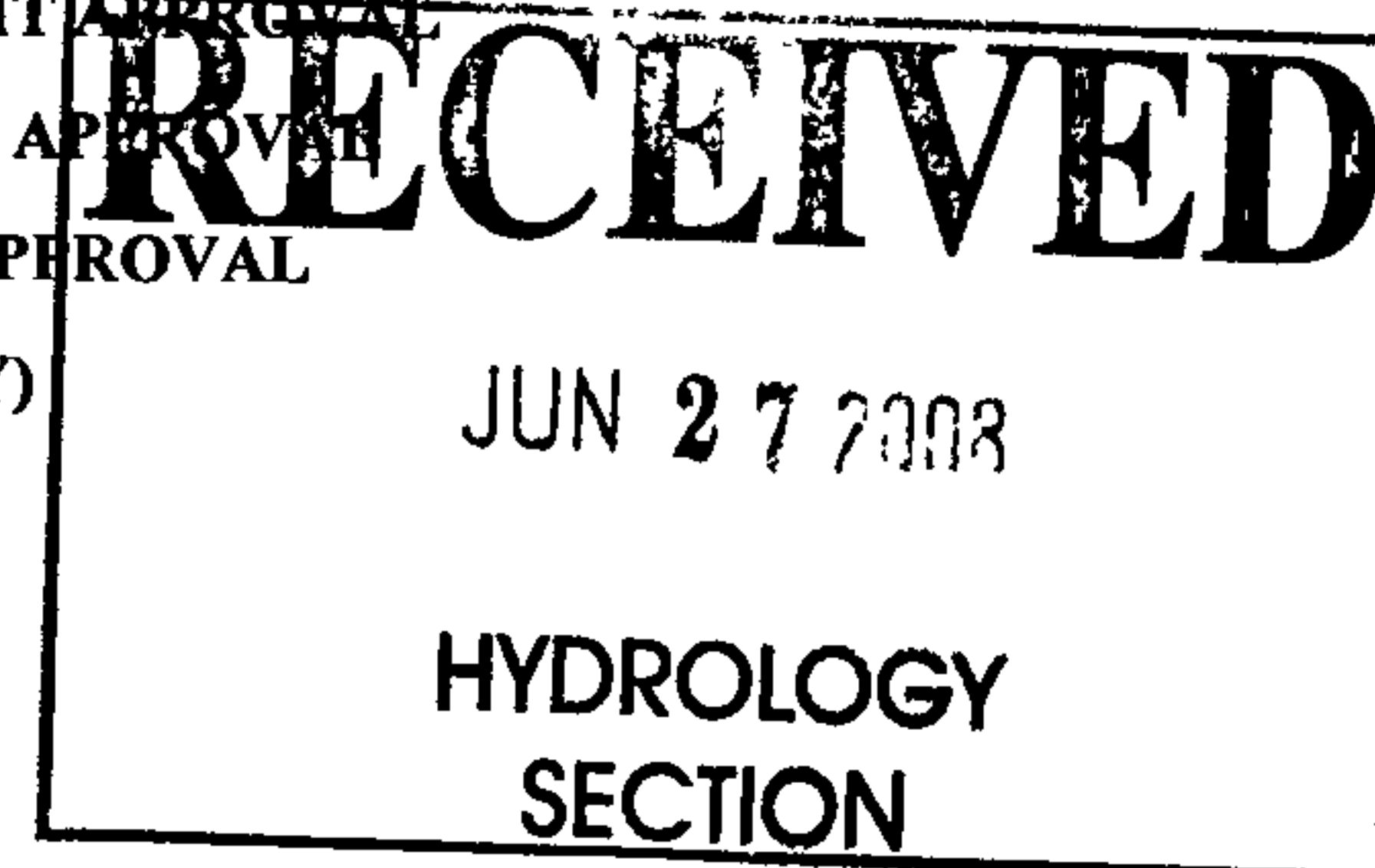
☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1ST SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR / LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☒ ENGINEER/ARCHITECT CERT (TCL)
☐ ENGINEER/ARCHITECT CERT (DRB S.P.)
☐ ENGINEER/ARCHITECT CERT (AA)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA / FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☒ NO
☐ COPY PROVIDED



DATE SUBMITTED: 06-27-08 BY: Shahab Biazar, P.E.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittals may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5).
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or containing five (5) acres or more.

CITY OF ALBUQUERQUE



July 2, 2008

Shahab Biazar, P.E.
Advanced Engineering & Consulting, LLC
4416 Anaheim Avenue NE
Albuquerque, NM 87113

**Re: Gruet Winery Addition, 8400 Pan American Frwy. NW,
Approval of Permanent Certificate of Occupancy (C.O.), Engineer's Stamp
dated 09/21/07 (C-18/D002)
Certification dated 6/26/08**

Mr. Biazar,

PO Box 1293

Based upon the information provided in your submittal received 6/30/08, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3982.

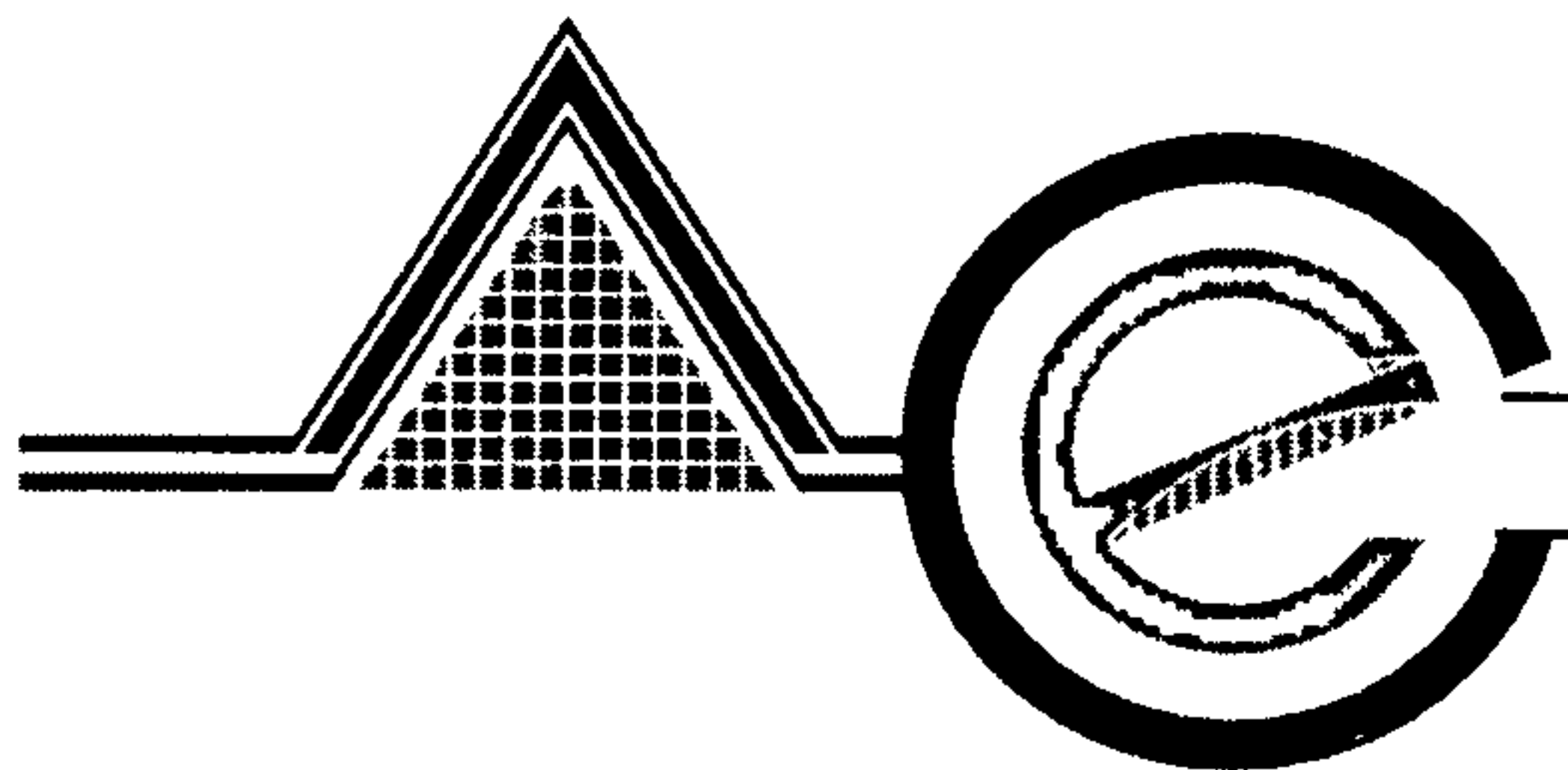
NM 87103

Sincerely,

Timothy E. Sims
Plan Checker
Development and Building Services

www.cabq.gov

C: CO Clerk – Katrina Sigala
File



ADVANCED ENGINEERING and CONSULTING, LLC

*Consulting
Design
Development
Management
Inspection
Surveying*

June 27, 2008

Mr. Bradley L. Bingham, P.E.
Sr. Engineer, Planning Dept.
Development and Building Services
600 Second Street NW
Albuquerque, New Mexico 87102

RE: FINAL CERTIFICATION OF OCCUPANCY FOR GRUET WINERY ADDITION
(C18 / D12)

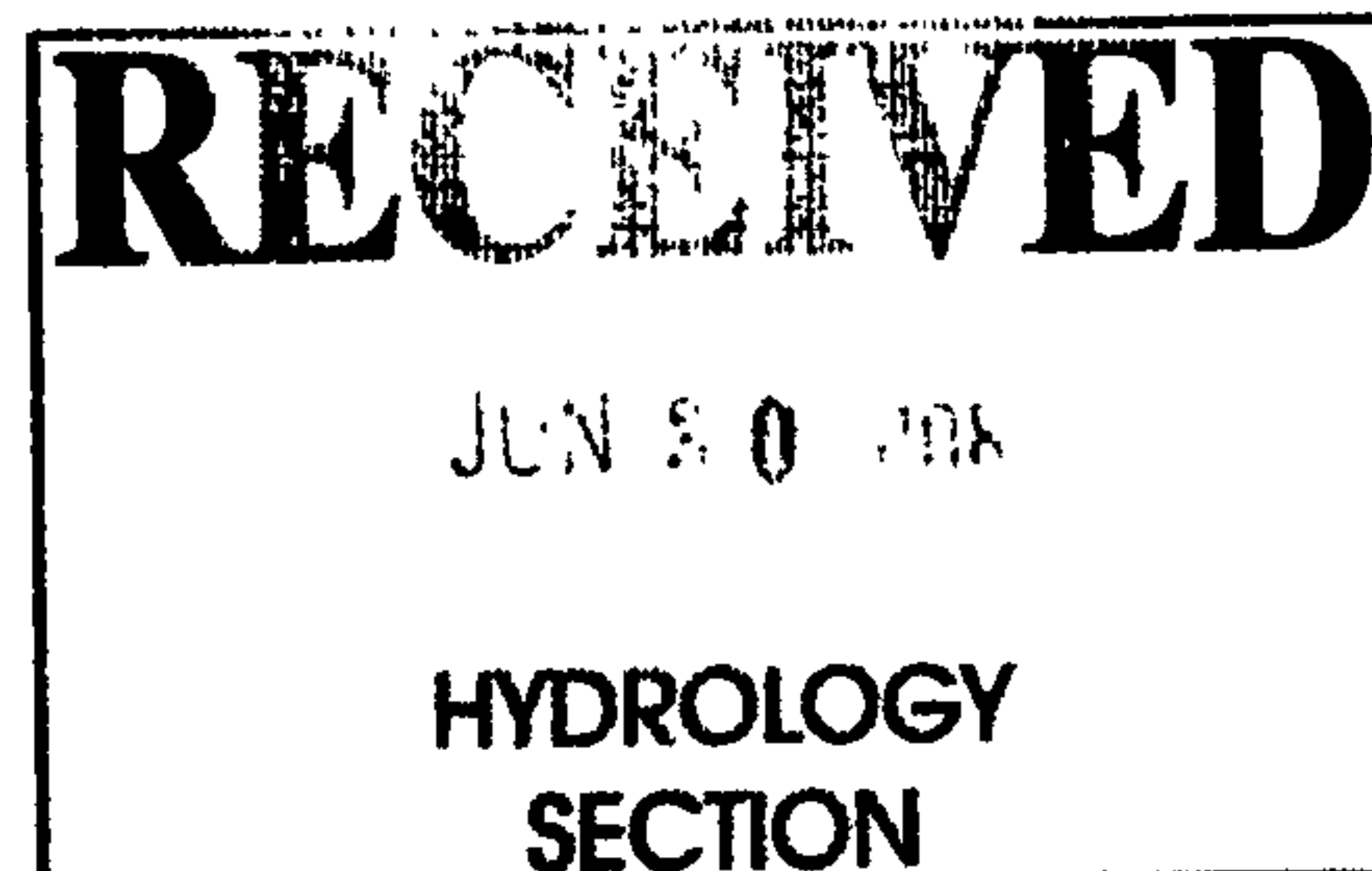
Dear Mr. Bingham:

This letter is in request of Final Certification of Occupancy for the above mentioned project. I Shahab Biazar, NMPE, of the Advanced Engineering, LLC hereby certify that project has been graded and will drain in substantial compliance with and design intent of the approved plan dated 09/21/2007. All the pavement, the storm sewer pipes, the inlets, and the pond are in place. See enclosed plan for as-built grades.

Please contact me if there are any questions or concerns regarding this submittal.

Sincerely yours,

Shahab Biazar, P.E.



DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 12/05)

PROJECT TITLE: GRUET WINERY ADDITION ZONE ATLAS/DRG. FILE #: C18 / ~~D12~~ 7002
 DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: LOT 25-A, BLOCK 15, TRACT A, UNIT B, NAA
 CITY ADDRESS: 8400 Pan American Frwy, NE Albuquerque, NM 87113

ENGINEERING FIRM: Advanced Engineering and Consulting, LLC CONTACT: Shahab Biazar
 ADDRESS: 4416 Anaheim Ave., NE PHONE: (505) 899-5570
 CITY, STATE: Albuquerque, New Mexico ZIP CODE: 87113

OWNER: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

SURVEYOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

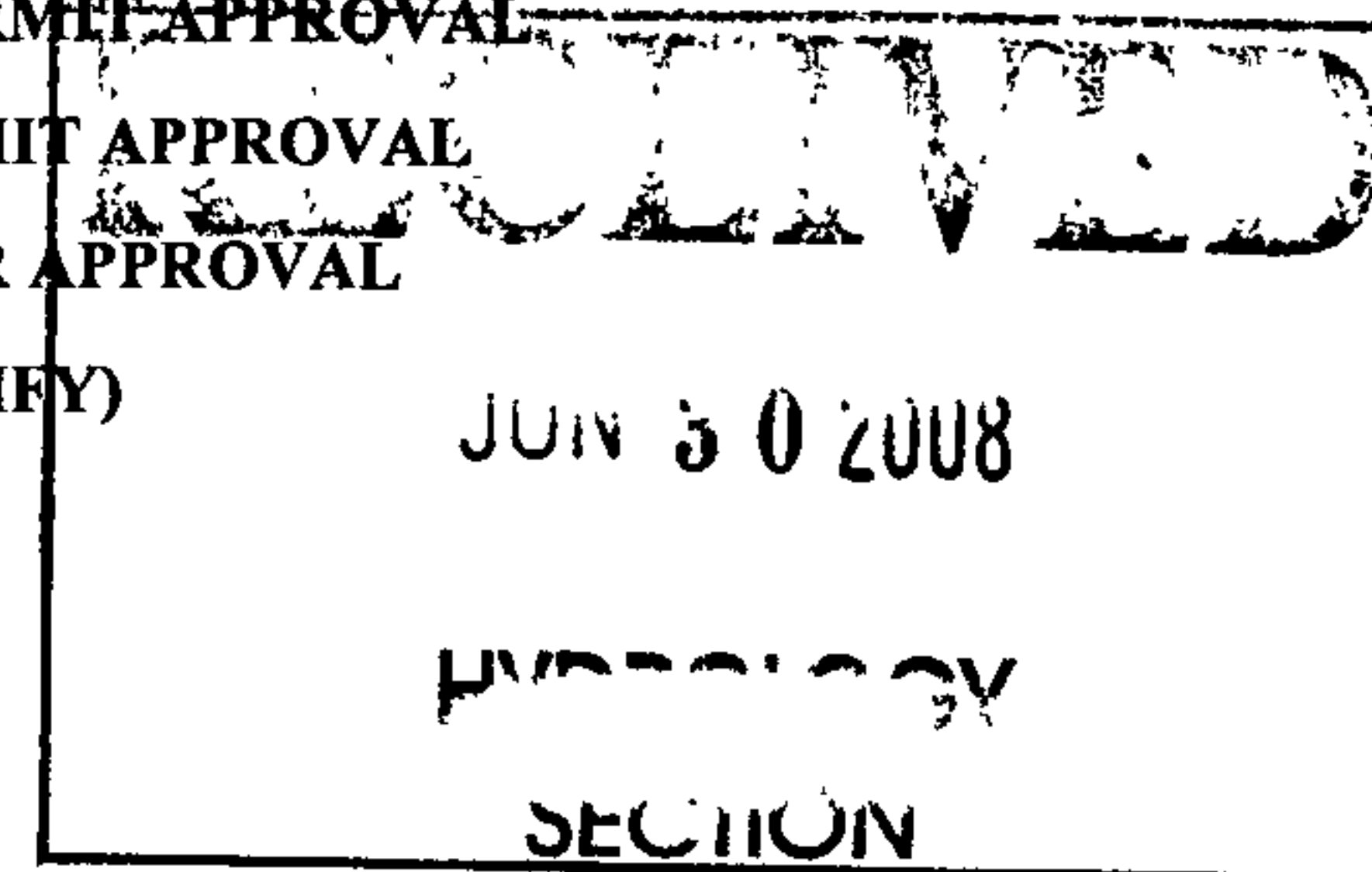
_____ DRAINAGE REPORT
 _____ DRAINAGE PLAN 1ST SUBMITTAL
 _____ DRAINAGE PLAN RESUBMITTAL
 _____ CONCEPTUAL GRADING & DRAINAGE PLAN
 _____ GRADING PLAN
 _____ EROSION CONTROL PLAN
☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
 _____ CLOMR / LOMR
 _____ TRAFFIC CIRCULATION LAYOUT (TCL)
 _____ ENGINEER/ARCHITECT CERT (TCL)
 _____ ENGINEER/ARCHITECT CERT (DRB S.P.)
 _____ ENGINEER/ARCHITECT CERT (AA)
 _____ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

_____ SIA / FINANCIAL GUARANTEE RELEASE
 _____ PRELIMINARY PLAT APPROVAL
 _____ S. DEV. PLAN FOR SUB'D. APPROVAL
 _____ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
 _____ SECTOR PLAN APPROVAL
 _____ FINAL PLAT APPROVAL
 _____ FOUNDATION PERMIT APPROVAL
 _____ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM.)
 _____ CERTIFICATE OF OCCUPANCY (TEMP.)
 _____ GRADING PERMIT APPROVAL
 _____ PAVING PERMIT APPROVAL
 _____ WORK ORDER APPROVAL
 _____ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

_____ YES
☒ NO
 _____ COPY PROVIDED



DATE SUBMITTED: 06-27-08 BY: Shahab Biazar, P.E.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittals may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5).
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or containing five (5) acres or more.

CITY OF ALBUQUERQUE



October 2, 2007

Shahab Biazar, P.E.
Advanced Engineering & Consulting, LLC
4416 Anaheim Ave., NE
Albuquerque, NM 87113

Re: Gruet Winery Addition, Engineer's Stamp dated 9-21-07 (C18/D2)

Dear Mr. Biazar,

Based upon the information provided in your submittal received on September 27, 2007, the above referenced plan is approved for both Grading Permit and Building Permit.

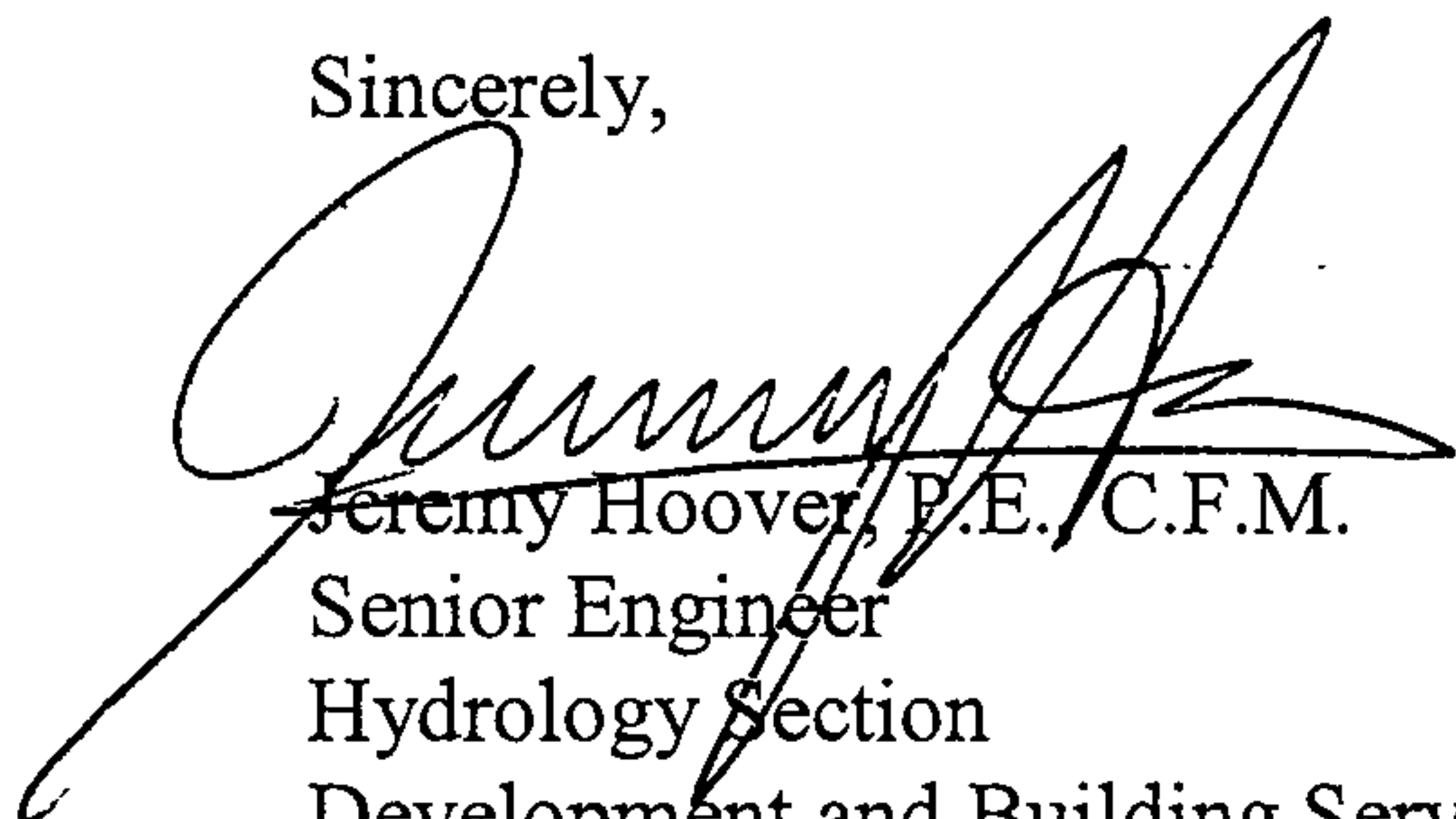
Please attach a copy of this letter and the approved plan to the construction sets to obtain sign-off by Hydrology. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

This project will also require a National Pollutant Discharge Elimination System (NPDES) permit. Inquiries regarding this permit should be directed to Sertil Kandar at 768-3645. In addition to submitting an NOI to the EPA and preparing a SWPPP, please send a copy of the SWPPP on a CD in .pdf format to Kathy Verhage with the Department of Municipal Development Storm Drainage Division at the following address.

Department of Municipal Development
Storm Drainage Division
P.O. Box 1293, One Civic Plaza, Rm. 301
Attn: Kathy Verhage
Albuquerque, NM 87103

If you have any questions or need additional information, feel free to contact me at 924-3990.

Sincerely,


Jeremy Hoover, P.E., C.F.M.
Senior Engineer
Hydrology Section
Development and Building Services

cc: file C18/D2
Kathy Verhage, DMD

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 12/05)

D002
44

PROJECT TITLE: GRUET VINERY ADDITION ZONE ATLAS/DRG. FILE #: C18 / D12
 DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: LOT 25-A, BLOCK 15, TRACT A, UNIT B, NAA
 CITY ADDRESS: 8400 Pan American Frwy, NE Albuquerque, NM 87113

ENGINEERING FIRM: Advanced Engineering and Consulting, LLC CONTACT: Shahab Biazar
 ADDRESS: 4416 Anaheim Ave., NE PHONE: (505) 899-5570
 CITY, STATE: Albuquerque, New Mexico ZIP CODE: 87113

OWNER: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

SURVEYOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

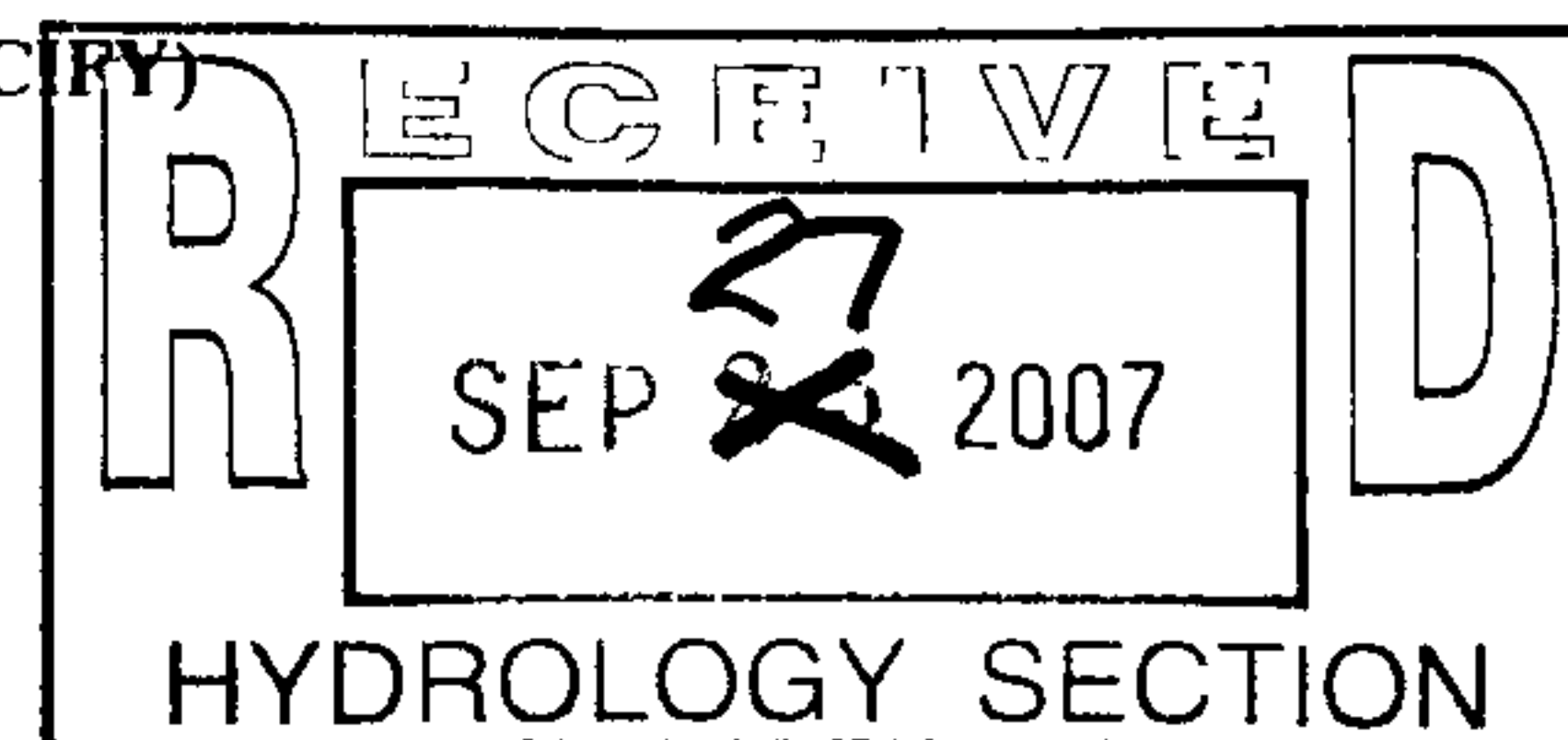
_____ DRAINAGE REPORT
 _____ DRAINAGE PLAN 1ST SUBMITTAL
 _____ DRAINAGE PLAN RESUBMITTAL
 _____ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
 _____ EROSION CONTROL PLAN
 _____ ENGINEER'S CERTIFICATION (HYDROLOGY)
 _____ CLOMR / LOMR
 _____ TRAFFIC CIRCULATION LAYOUT (TCL)
 _____ ENGINEER/ARCHITECT CERT (TCL)
 _____ ENGINEER/ARCHITECT CERT (DRB S.P.)
 _____ ENGINEER/ARCHITECT CERT (AA)
 _____ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

_____ SIA / FINANCIAL GUARANTEE RELEASE
 _____ PRELIMINARY PLAT APPROVAL
 _____ S. DEV. PLAN FOR SUB'D. APPROVAL
 _____ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
 _____ SECTOR PLAN APPROVAL
 _____ FINAL PLAT APPROVAL
 _____ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
 _____ CERTIFICATE OF OCCUPANCY (PERM.)
 _____ CERTIFICATE OF OCCUPANCY (TEMP.)
☒ GRADING PERMIT APPROVAL
 _____ PAVING PERMIT APPROVAL
 _____ WORK ORDER APPROVAL
 _____ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

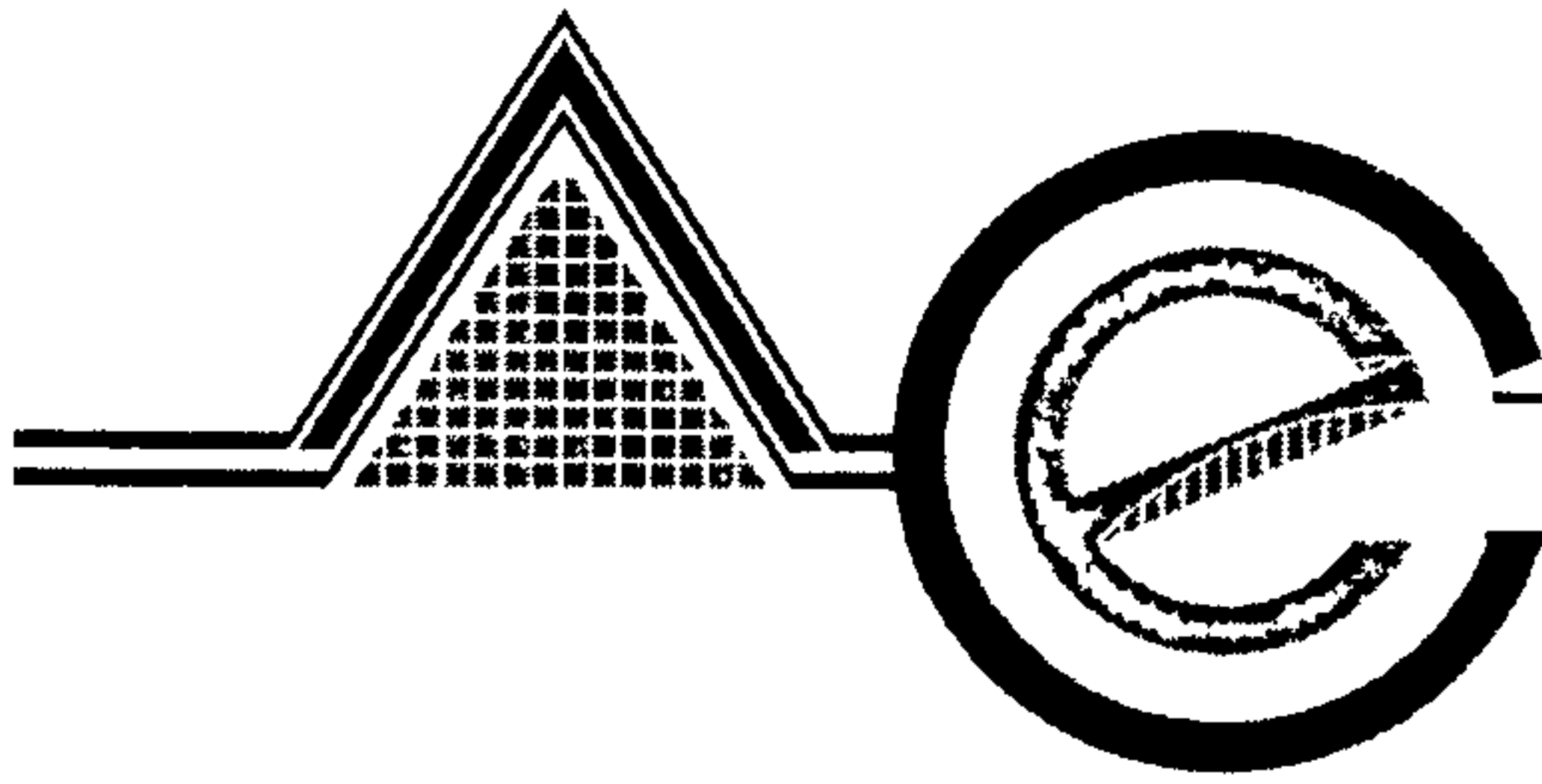
_____ YES
☒ NO
 _____ COPY PROVIDED



DATE SUBMITTED: 09 / 21 / 2007 BY: Shahab Biazar, P.E.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittals may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5).
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or containing five (5) acres or more.



ADVANCED ENGINEERING and CONSULTING, LLC

*Consulting
Design
Development
Management
Inspection
Surveying*

September 21, 2007

Mr. Bradley L. Bingham, P.E.
Principal Engineer, Planning Dept.
Development and Building Services
600 Second Street NW
Albuquerque, New Mexico 87102

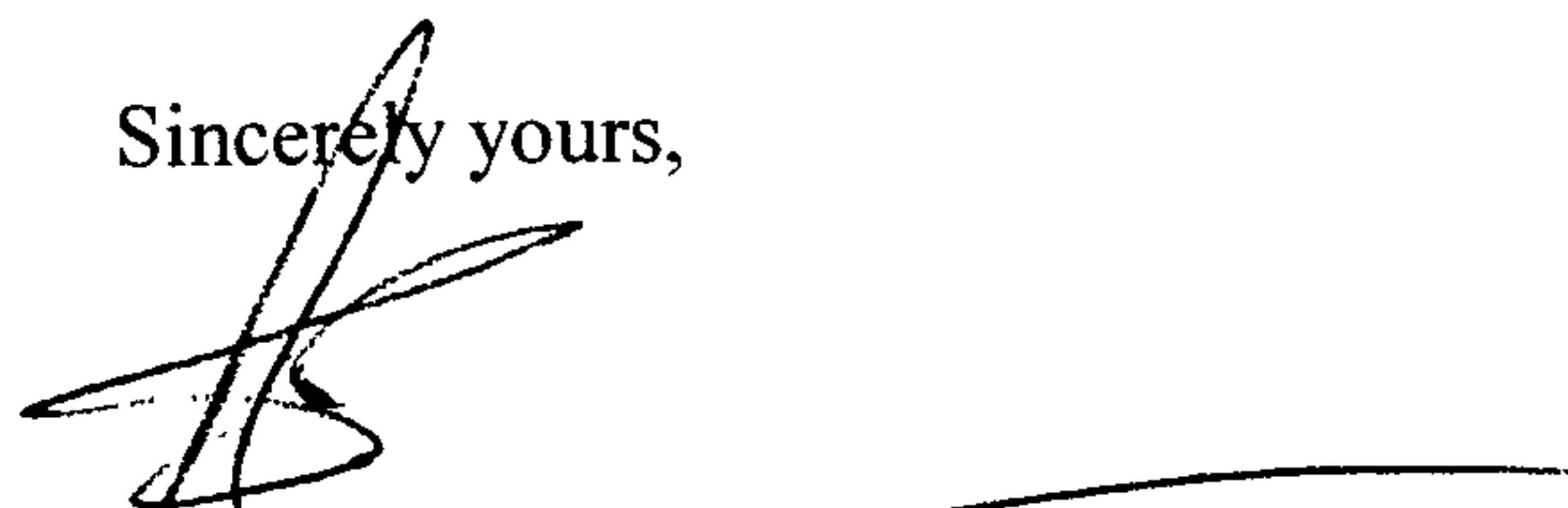
RE: GRADING AND DRAINAGE PLAN FOR GRUET VINERY ADDITION (C18 / D12)

Dear Mr. Bingham:

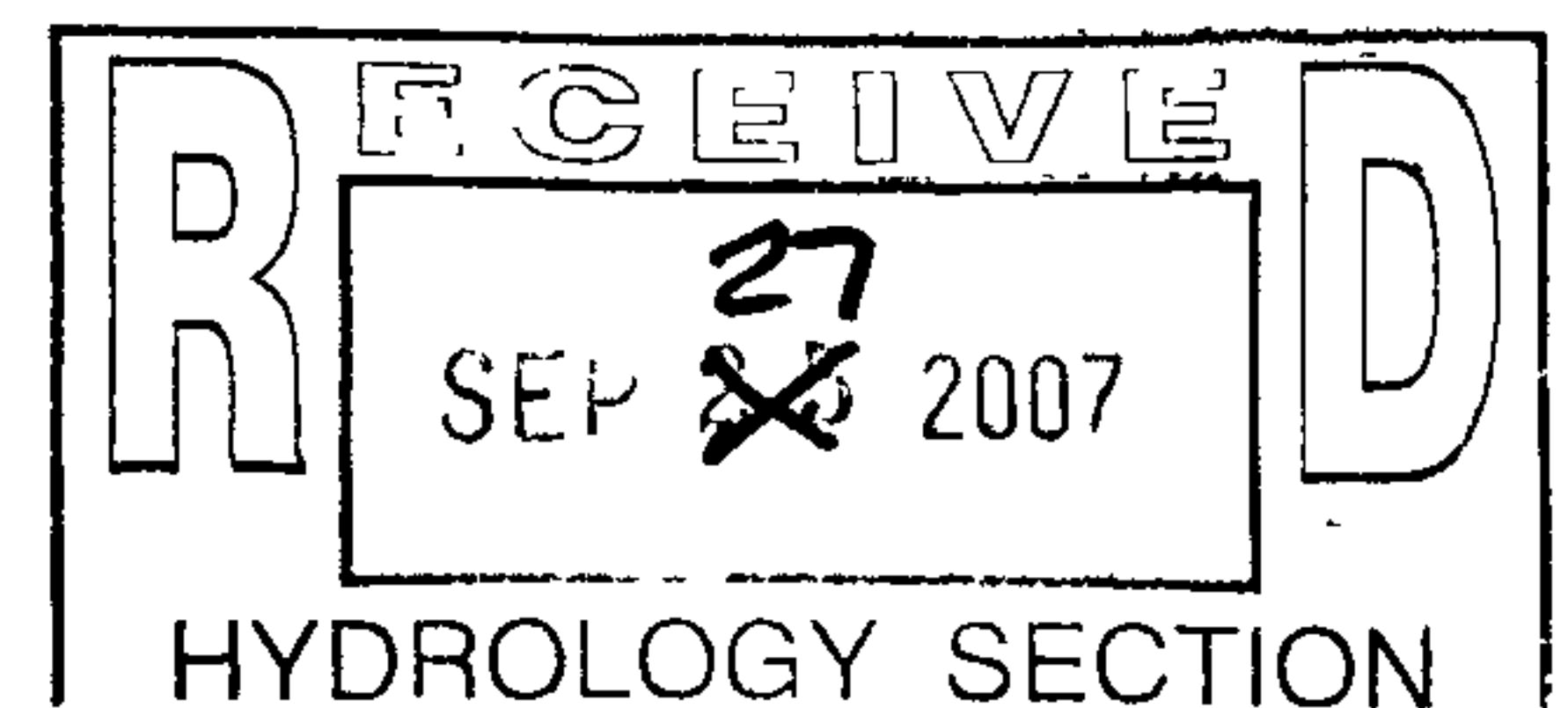
This submittal is to request Building Permit Approval for the underground and surface building addition for the Gruet Vinery. Finished floor of the existing building (5206.46') will be matched for the new addition. A building section provided by the architect is included with this submittal to show the elevation difference between the upper and lower building addition. The finished floor of the lower building will be set at 5182.46' (24' below the upper building). The original (previous) grading plan for the existing site has been submitted under the City Drainage Number C18/D12. No additional runoff is being generated with this construction.

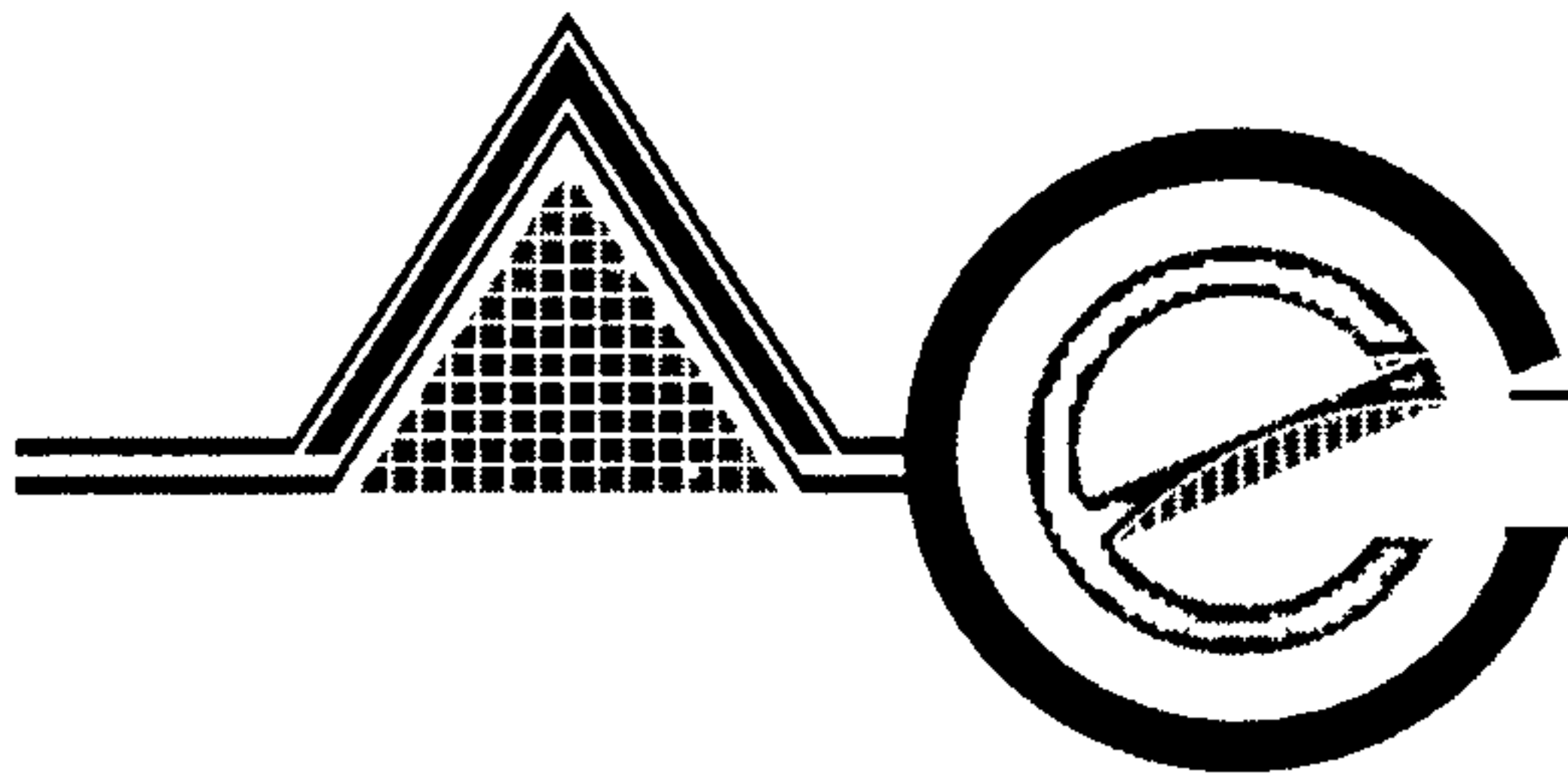
Please contact me if there are any questions or concerns regarding this submittal.

Sincerely yours,



Shahab Biazar, P.E.





ADVANCED ENGINEERING and CONSULTING, LLC

*Consulting
Design
Development
Management
Inspection
Surveying*

June 27, 2008

Ms. Kristal Metro
Engineer Associate, Planning Dept.
Development and Building Services
600 Second Street NW
Albuquerque, New Mexico 87102

RE: FINAL CERTIFICATION OF OCCUPANCY FOR GRUET WINERY ADDITION
(C18 / D12)

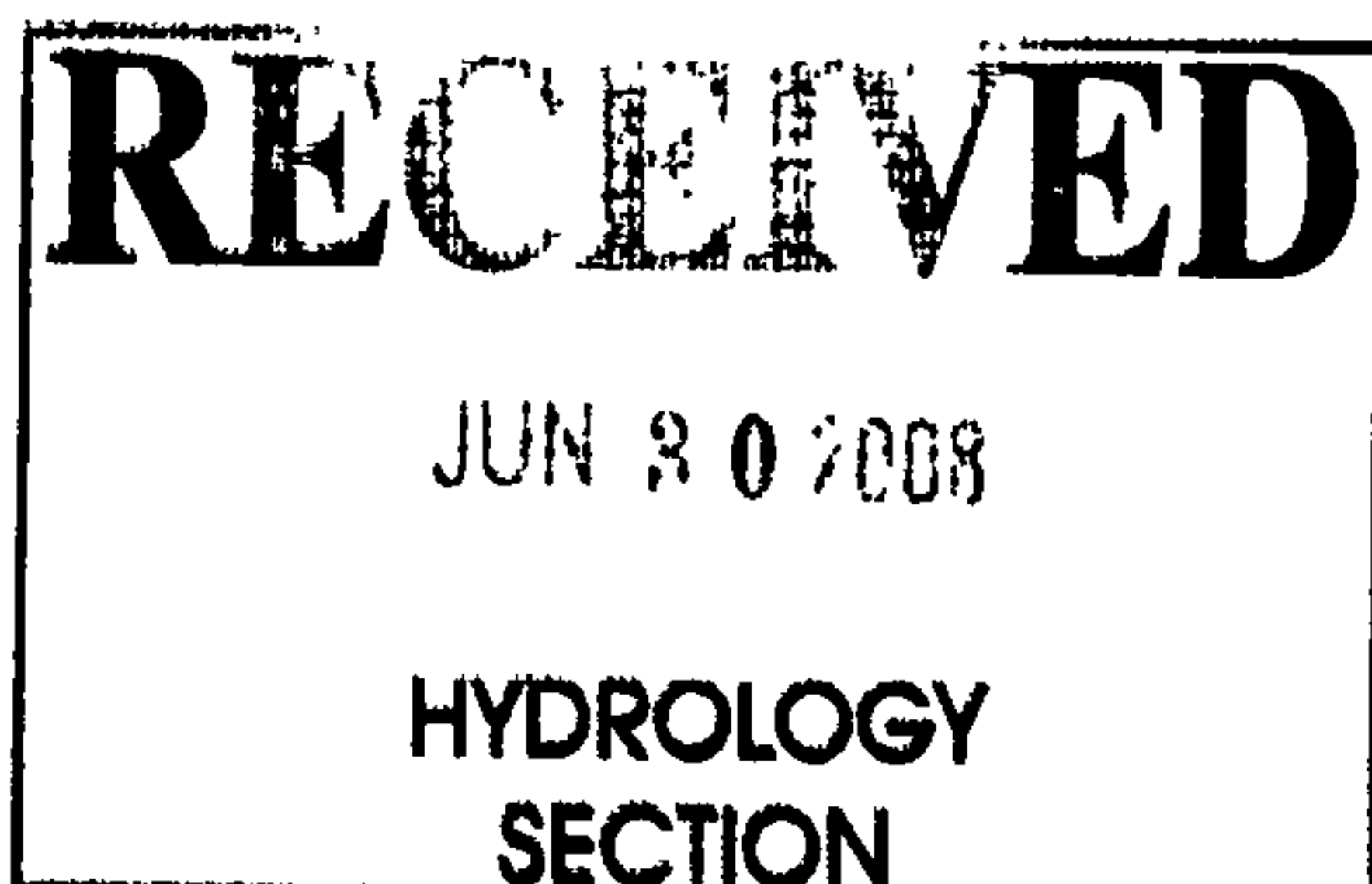
Dear Ms. Metro:

We are requesting Final Certification of Occupancy with this submittal. Enclosed please find copy of the as-built Site Plan for the above mentioned site. The Site Plan Amendment For Building Permit was approved on 07/25/2007. The project was inspected by Advanced Engineering and Consulting, LLC. I certify that the project was built in substantial compliance to the approved site plan..

Should you have any questions, please do not hesitate to contact our office.

Sincerely,

Shahab Biazar, P.E.



DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 12/05)

PROJECT TITLE: GRUET WINERY ADDITION **ZONE ATLAS/DRG. FILE #:** C18 / D12
DRB #: _____ **EPC #:** _____ **WORK ORDER #:** _____

LEGAL DESCRIPTION: LOT 25-A, BLOCK 15, TRACT A, UNIT B, NAA
CITY ADDRESS: 8400 Pan American Frwy, NE Albuquerque, NM 87113

ENGINEERING FIRM: Advanced Engineering and Consulting, LLC **CONTACT:** Shahab Biazar
ADDRESS: 4416 Anaheim Ave., NE **PHONE:** (505) 899-5570
CITY, STATE: Albuquerque, New Mexico **ZIP CODE:** 87113

OWNER: _____ **CONTACT:** _____
ADDRESS: _____ **PHONE:** _____
CITY, STATE: _____ **ZIP CODE:** _____

ARCHITECT: _____ **CONTACT:** _____
ADDRESS: _____ **PHONE:** _____
CITY, STATE: _____ **ZIP CODE:** _____

SURVEYOR: _____ **CONTACT:** _____
ADDRESS: _____ **PHONE:** _____
CITY, STATE: _____ **ZIP CODE:** _____

CONTRACTOR: _____ **CONTACT:** _____
ADDRESS: _____ **PHONE:** _____
CITY, STATE: _____ **ZIP CODE:** _____

CHECK TYPE OF SUBMITTAL:

_____ **DRAINAGE REPORT**
 _____ **DRAINAGE PLAN 1ST SUBMITTAL**
 _____ **DRAINAGE PLAN RESUBMITTAL**
 _____ **CONCEPTUAL GRADING & DRAINAGE PLAN**
 _____ **GRADING PLAN**
 _____ **EROSION CONTROL PLAN**
 _____ **ENGINEER'S CERTIFICATION (HYDROLOGY)**
 _____ **CLOMR / LOMR**
 _____ **TRAFFIC CIRCULATION LAYOUT (TCL)**
☒ **ENGINEER/ARCHITECT CERT (TCL)**
 _____ **ENGINEER/ARCHITECT CERT (DRB S.P.)**
 _____ **ENGINEER/ARCHITECT CERT (AA)**
 _____ **OTHER (SPECIFY)**

CHECK TYPE OF APPROVAL SOUGHT:

_____ **SIA / FINANCIAL GUARANTEE RELEASE**
 _____ **PRELIMINARY PLAT APPROVAL**
 _____ **S. DEV. PLAN FOR SUB'D. APPROVAL**
 _____ **S. DEV. PLAN FOR BLDG. PERMIT APPROVAL**
 _____ **SECTOR PLAN APPROVAL**
 _____ **FINAL PLAT APPROVAL**
 _____ **FOUNDATION PERMIT APPROVAL**
 _____ **BUILDING PERMIT APPROVAL**
☒ **CERTIFICATE OF OCCUPANCY (PERM.)**
 _____ **CERTIFICATE OF OCCUPANCY (TEMP.)**
 _____ **GRADING PERMIT APPROVAL**
 _____ **PAVING PERMIT APPROVAL**
 _____ **WORK ORDER APPROVAL**
 _____ **OTHER (SPECIFY)**

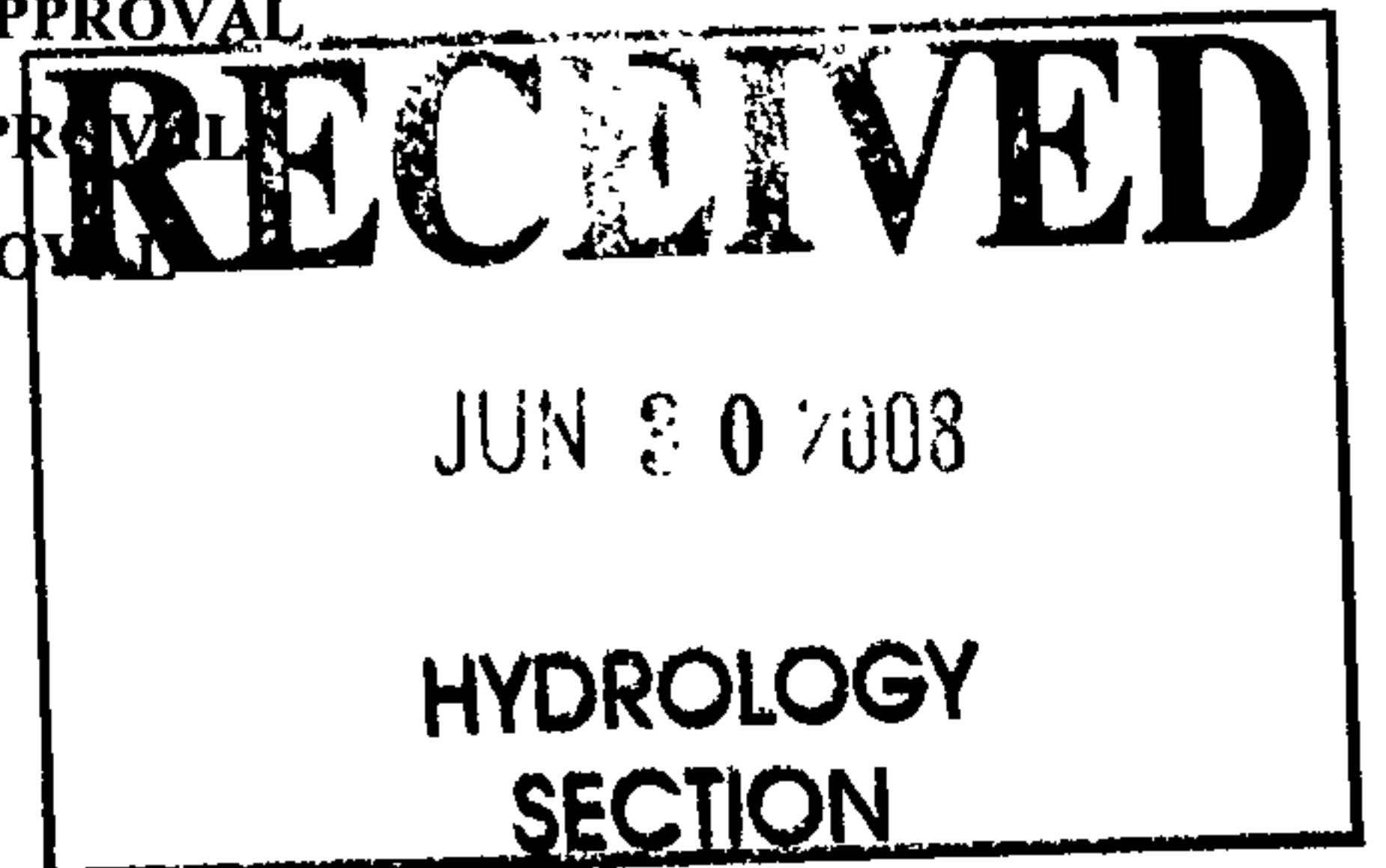
WAS A PRE-DESIGN CONFERENCE ATTENDED:

_____ **YES**
☒ **NO**
 _____ **COPY PROVIDED**

DATE SUBMITTED: 06-27-08 **BY:** Shahab Biazar, P.E.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittals may be required based on the following:

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2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5).
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or containing five (5) acres or more.





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 9, 2003

Shahab Biazar, P.E.
Advanced Engineering and Consulting, LLC
10205 Snowflake Ct. NW
Albuquerque, NM 87114

Re: Gruet Vinery Addition, 8400 Pan American Freeway, Certificate of Occupancy

Engineer's Stamp dated 6-06-03 (C18/D02)

Certification dated 7-30-03

Dear Mr. Biazar,

Based upon the information provided in your submittal received 10-08-03, the above referenced certification is approved for release of permanent Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro

Engineering Associate, Planning Dept.
Development and Building Services

C: Phyllis Villanueva
file

DRAINAGE INFORMATION SHEET

(REV. 1/28/2003rd)

002

PROJECT TITLE: GRUET VINERY ADDITION

ZONE ATLAS/DRG. FILE #: C18 / ~~BT~~

DRB #: EPC #:

WORK ORDER #:

LEGAL DESCRIPTION: LOT 25-A, BLOCK 15, TRACT A, UNIT B, NAA

CITY ADDRESS: 8400 Pan American Frwy, NE Albuquerque, NM 87113

ENGINEERING FIRM: Advanced Engineering and Consulting, LLC

ADDRESS: 10205 Snowflake Ct. NW

CITY, STATE: Albuquerque, New Mexico

CONTACT: Shahab Biazar

PHONE: (505) 899-5570

ZIP CODE: 87114

OWNER:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

ARCHITECT:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

SURVEYOR:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

CONTRACTOR:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

CHECK TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

☐ DRAINAGE PLAN 1ST SUBMITTAL, REQUIRES TCL OR EQUAL

☐ CONCEPTUAL GRADING & DRAINAGE PLAN

☐ GRADING PLAN

☐ EROSION CONTROL PLAN

☒ ENGINEER'S CERTIFICATION (HYDROLOGY)

☐ CLOMR / LOMR

☐ TRAFFIC CIRCULATION LAYOUT (TCL)

☐ ENGINEER'S CERTIFICATION (TCL)

☐ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)

☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA / FINANCIAL GUARANTEE RELEASE

☐ PRELIMINARY PLAT APPROVAL

☐ S. DEV. PLAN FOR SUB'D. APPROVAL

☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL

☐ SECTOR PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☐ BUILDING PERMIT APPROVAL

☒ CERTIFICATE OF OCCUPANCY (PERM.)

☐ CERTIFICATE OF OCCUPANCY (TEMP.)

☐ GRADING PERMIT APPROVAL

☐ PAVING PERMIT APPROVAL

☐ WORK ORDER APPROVAL

☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES

☒ NO

☐ COPY PROVIDED

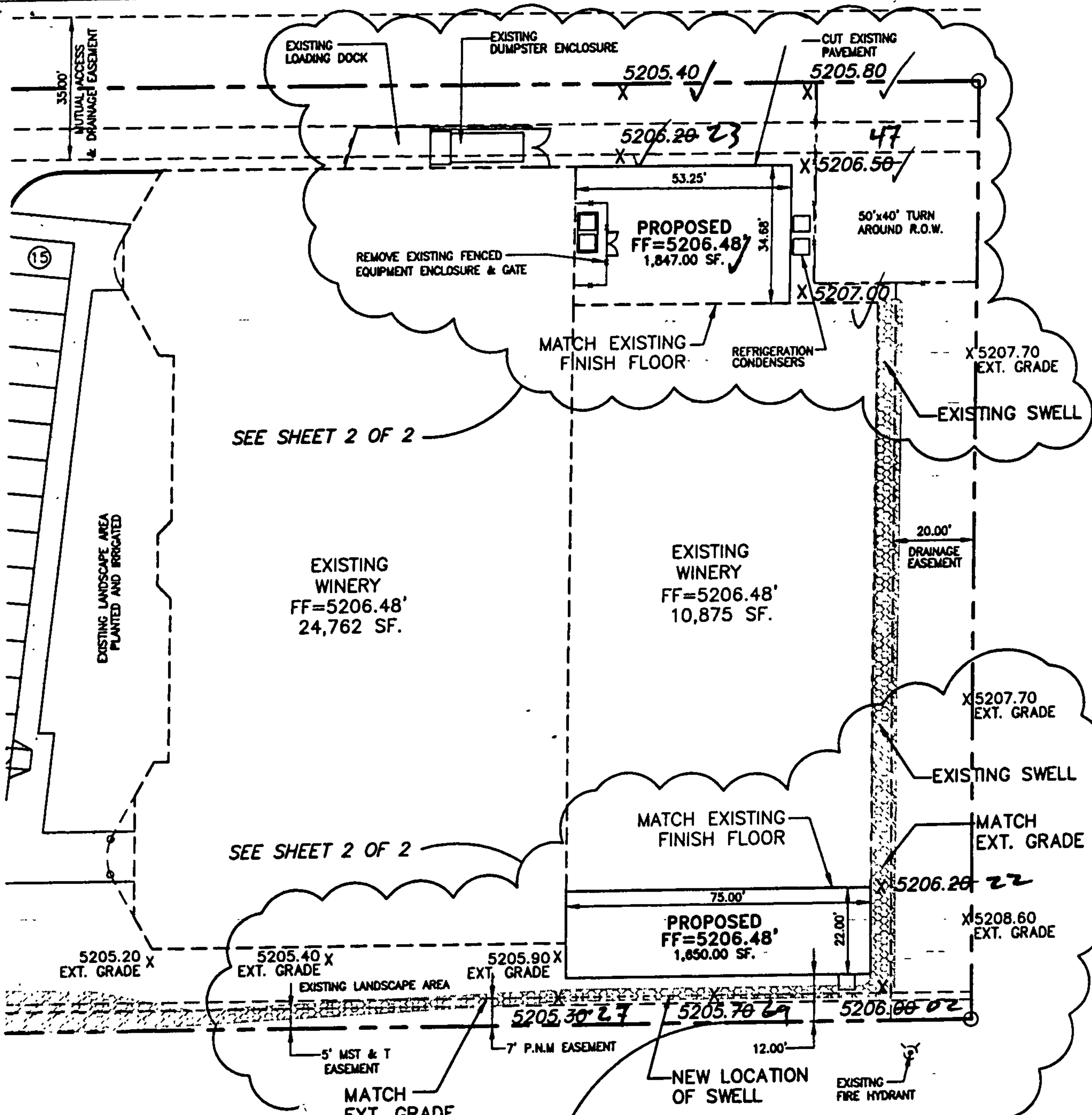
DATE SUBMITTED: 10 / 08 / 2003

BY: Shahab Biazar, P.E.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittals may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5)
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or containing five (5) acres or more





SEE SHEET 2 OF 2

SEE SHEET 2 OF 2

DRAINAGE CERTIFICATION

I, SHAHAB BIAZAR, NMPE 13479, OF THE FIRM ADVANCED ENGINEERING AND CONSULTING, LLC HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 06/06/2003. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR GRADING CERTIFICATION.

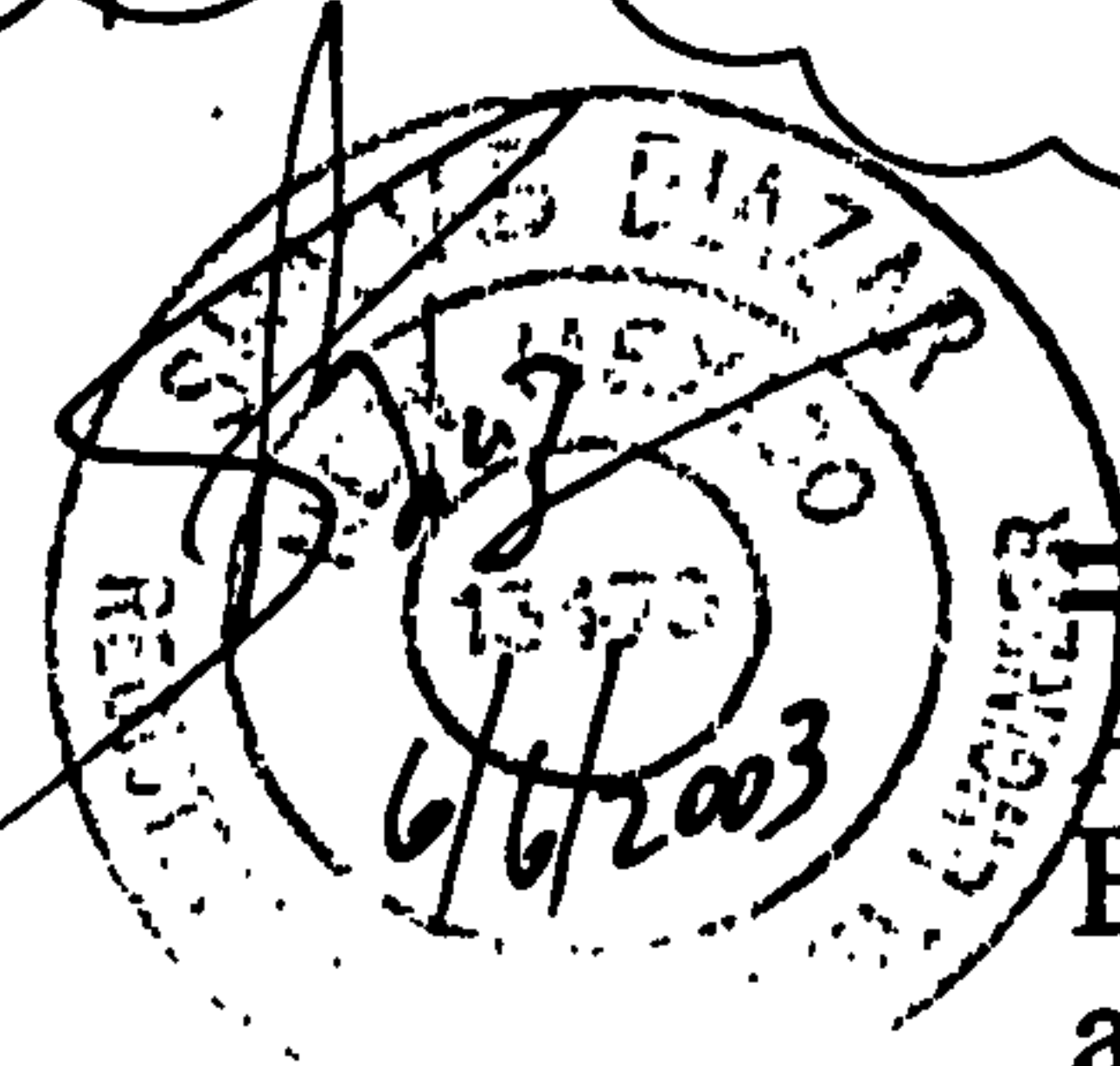
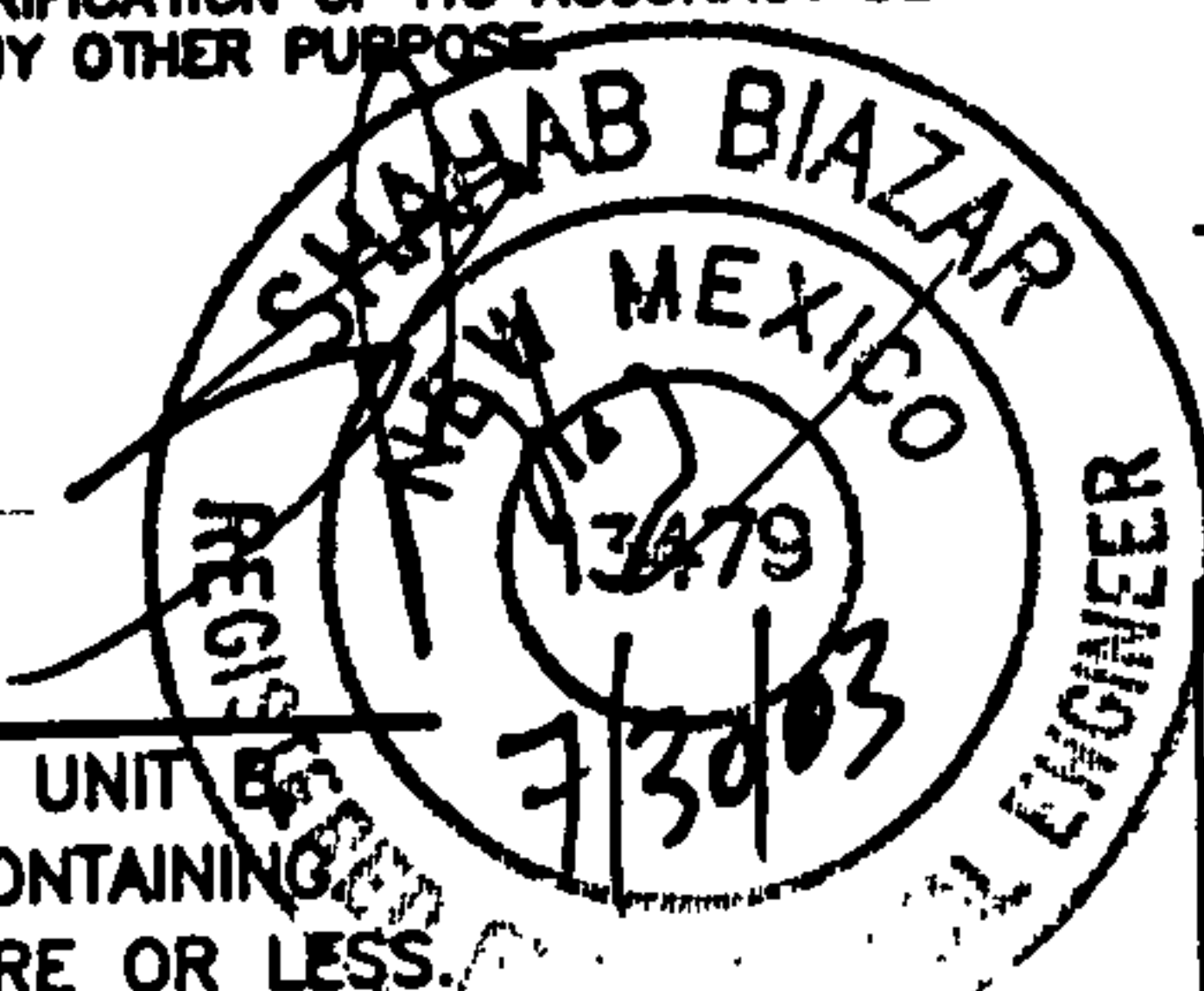
THE RECORD INFORMATION REPRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



SCALE: 1"=40'

LEGAL DESCRIPTION:

LOT 25-A, BLOCK 15, TRACT A, UNIT 15, NORTH ALBUQUERQUE ACRES, CONTAINING 89049.55 S.F. (2.0443 AC), MORE OR LESS.



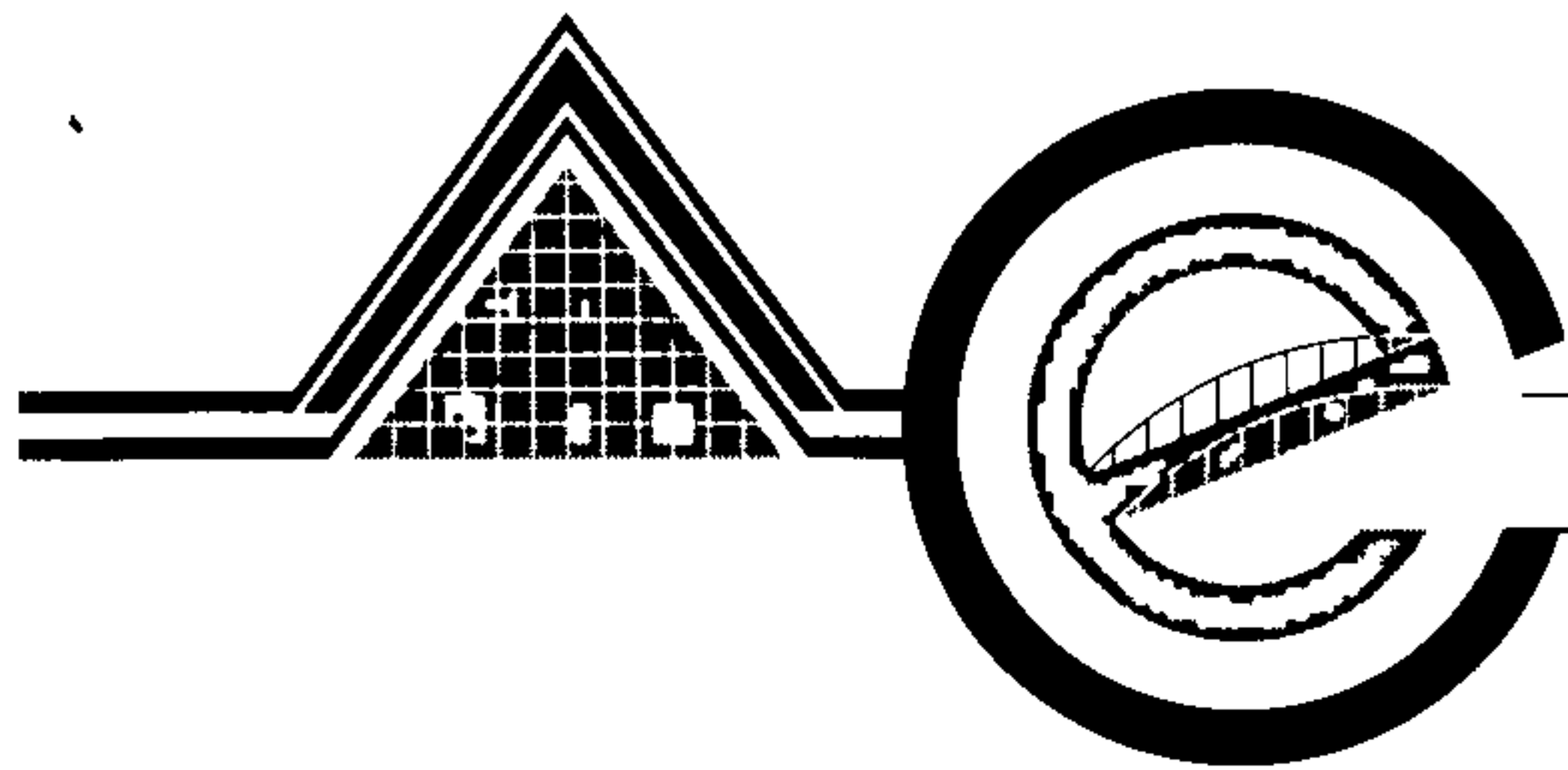
**ADVANCED
ENGINEERING
and CONSULTING, LLC**

SHAHAB BIAZAR
P.E. #13479

10205 SNOWFLAKE CT., NW
ALBUQUERQUE, NEW MEXICO 87114
(505)899-5570

**GRUET WINERY ADDITION
GRADING AND DRAINAGE PLAN**

DRAWING:	DRAWN BY:	DATE:	SHEET #
200314-GR.DWG	SBB	05-12-03	1 OF 2



ADVANCED ENGINEERING and CONSULTING, LLC

*Consulting
Design
Development
Management
Inspection*

October 8, 2003

Mr. Carlos A. Montoya, P.E.
City Floodplain Administrator, PWD
Development and Building Services
Plaza Del Sol-2nd Floor West
600 2nd Street NW
Albuquerque, NM 87102

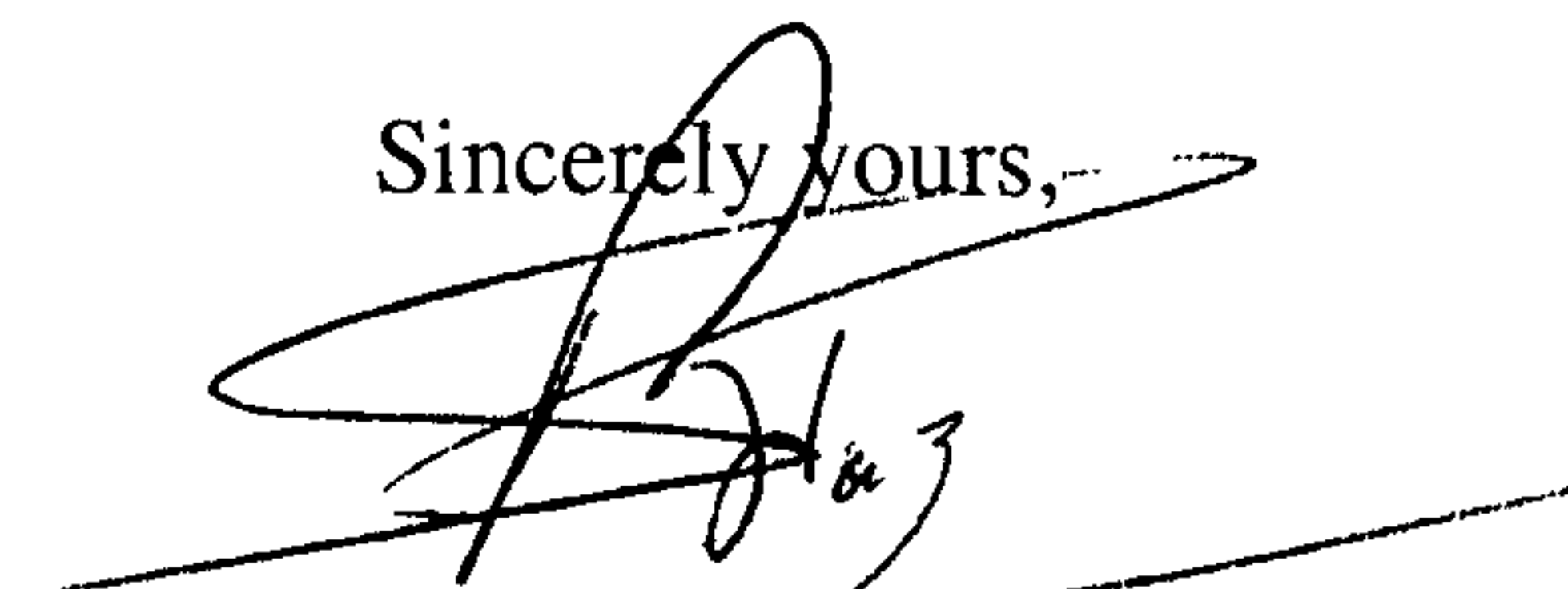
RE: As-Built Certification For City Drainage Number C18 / ~~D17~~ ⁰⁰²

Dear Mr. Montoya:

Enclosed please find one copy of the as-built Grading Plan for the above mentioned site. We previously submitted the attached as-built for Temporary Certification of Occupancy July 30, 2003. We are now requesting approval on the Final Certification of Occupancy.

Please contact me if there are any questions or concerns regarding this submittal.

Sincerely yours,



Shahab Biazar, P.E.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

August 6, 2003

Shahab Biazar, P.E.
Advanced Engineering
10205 Snowflake Ct NW
Albuquerque, New Mexico 87114

RE: GRUET WINERY= ADDITION (C-18/D2)
(8400 Pan American Fwy NE)
CERTIFICATE OF OCCUPANCY APPROVAL-*Temporary*
ENGINEERS CERTIFICATION DATED 7/30/2003

Dear Shahab:

Based on the information provided in your submittal dated 7/30/2003, the above referenced project is approved for a **TEMPORARY** Certificate of Occupancy.

A Temporary Certificate of Occupancy has been issued for 30 days, allowing the remaining drainage issues to be completed within this time scope:

If I can be of further assistance, please feel free to contact me at 924-3981.

Sincerely,

Teresa A. Martin
Hydrology Plan Checker
Development and Building Services Division
BLB

c: ~~Certificate of Occupancy Clerk, COA~~
~~Drainage file~~
Approval file

DRAINAGE INFORMATION SHEET
(REV. 1/28/2003rd)

C-18/D002

PROJECT TITLE: GRUET WINERY ADDITION ZONE ATLAS/DRG. FILE #: 212101012
DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: Lot 25-A, Block 15, Tract A, Unit B, NAA
CITY ADDRESS: 8400 Pan American Frwy, NE Albuquerque, NM 87113

ENGINEERING FIRM: Advanced Engineering and Consulting, LLC CONTACT: Shahab Biazar
ADDRESS: 10205 Snowflake Ct. NW PHONE: (505) 899-5570
CITY, STATE: Albuquerque, New Mexico ZIP CODE: 87114

OWNER: Devalmont Vineyard Inc. CONTACT: Farid Himeur
ADDRESS: 8400 Pan American Frwy, NE PHONE: (505) 281-0055
CITY, STATE: Albuquerque, NM ZIP CODE: 87113

ARCHITECT: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

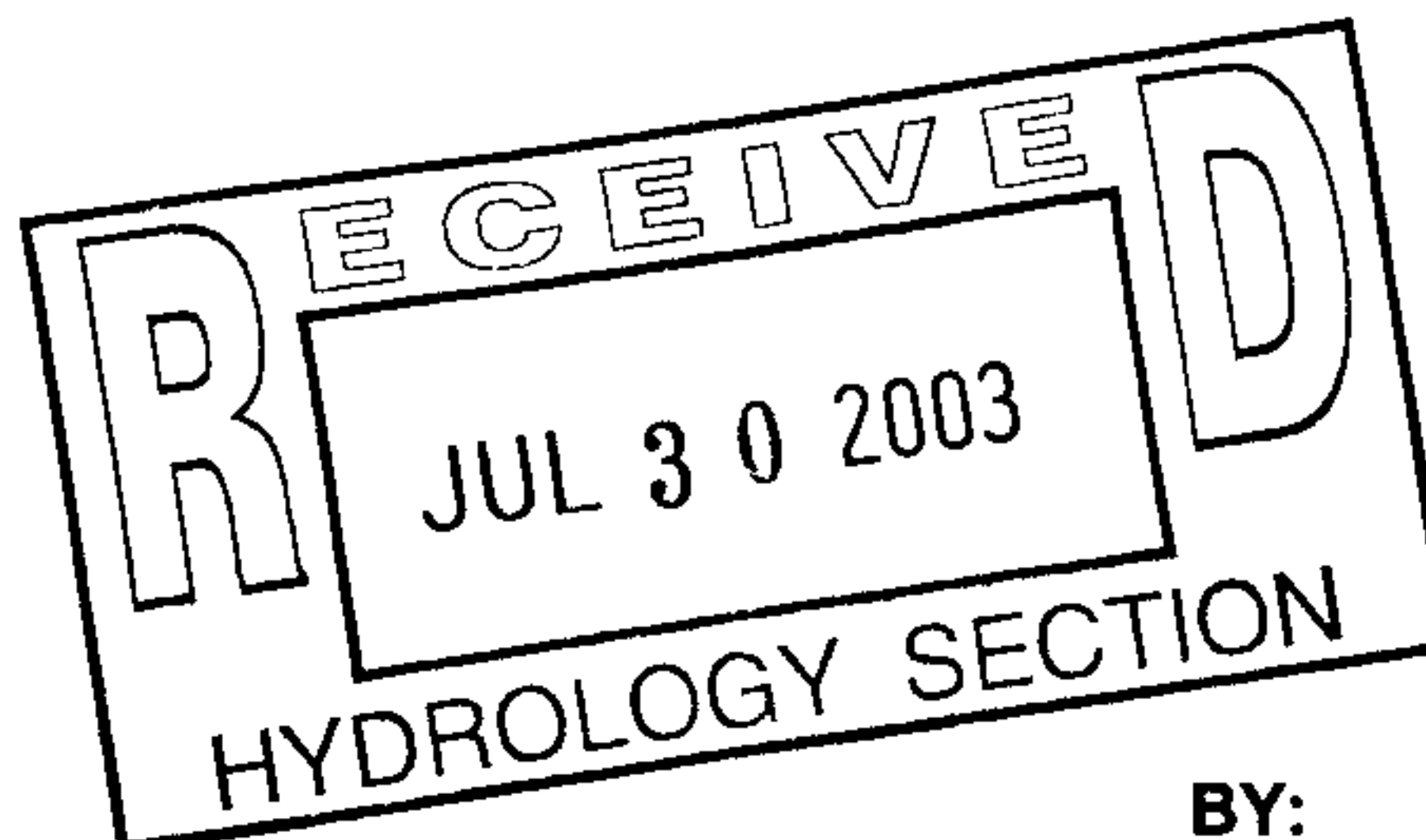
_____ DRAINAGE REPORT
_____ DRAINAGE PLAN 1ST SUBMITTAL, REQUIRES TCL OR EQUAL
_____ CONCEPTUAL GRADING & DRAINAGE PLAN
_____ GRADING PLAN
_____ EROSION CONTROL PLAN
☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
_____ CLOMR / LOMR
_____ TRAFFIC CIRCULATION LAYOUT (TCL)
_____ ENGINEER'S CERTIFICATION (TCL)
_____ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
_____ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

_____ SIA / FINANCIAL GUARANTEE RELEASE
_____ PRELIMINARY PLAT APPROVAL
_____ S. DEV. PLAN FOR SUB'D. APPROVAL
_____ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
_____ SECTOR PLAN APPROVAL
_____ FINAL PLAT APPROVAL
_____ FOUNDATION PERMIT APPROVAL
_____ BUILDING PERMIT APPROVAL
~~_____~~ CERTIFICATE OF OCCUPANCY (PERM.)
~~_____~~ CERTIFICATE OF OCCUPANCY (TEMP.) (30 DAY)
_____ GRADING PERMIT APPROVAL
_____ PAVING PERMIT APPROVAL
_____ WORK ORDER APPROVAL
_____ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

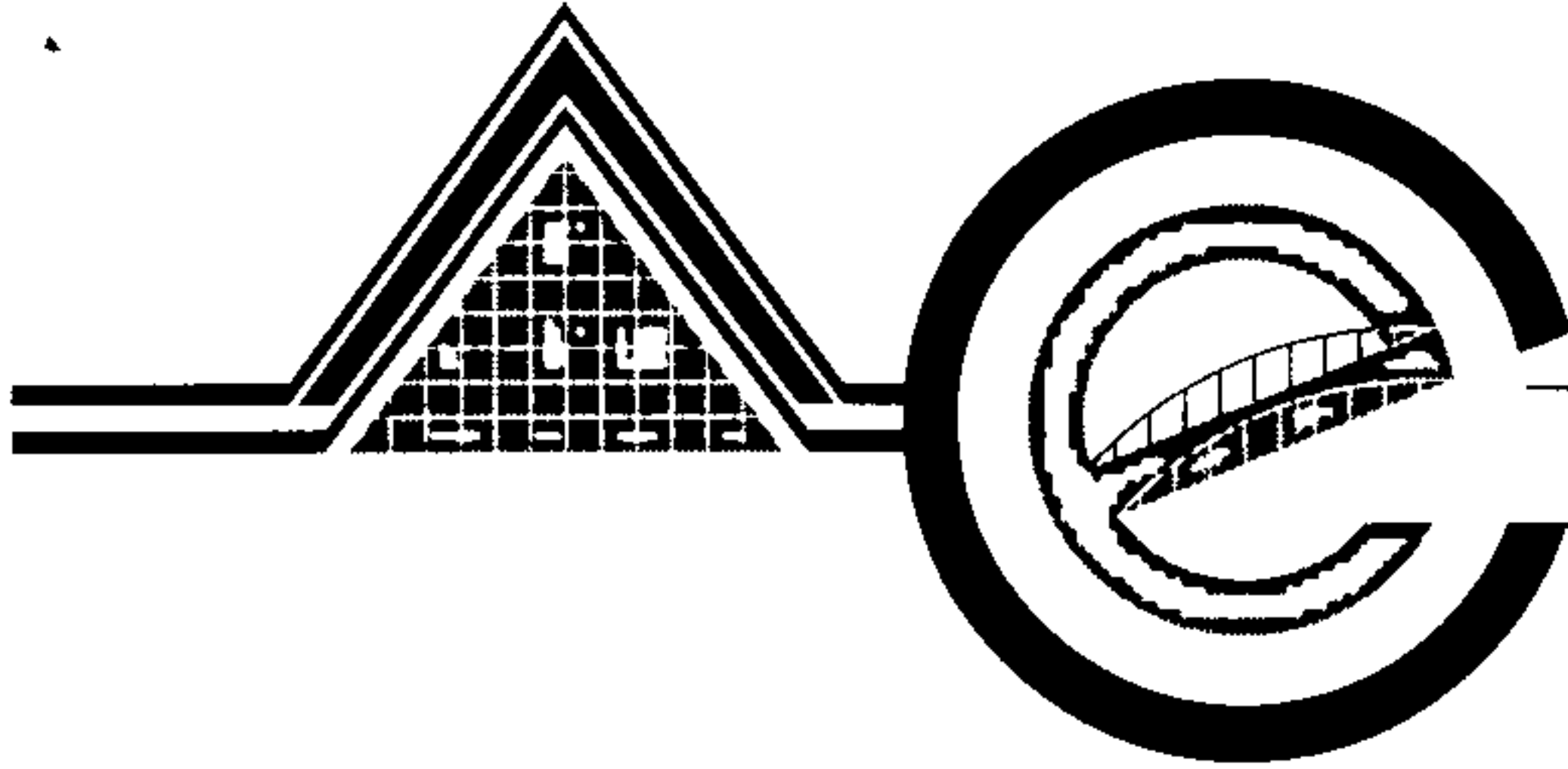
_____ YES
☒ NO
_____ COPY PROVIDED



DATE SUBMITTED: 07/30/2003 BY: Shahab Biazar, P.E.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittals may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5)
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or containing five (5) acres or more



ADVANCED ENGINEERING and CONSULTING, LLC

*Consulting
Design
Development
Management
Inspection
Surveying*

July 30, 2003

Mr. Carlos A. Montoya, P.E.
City Floodplain Administrator, PWD
Development and Building Services
Plaza Del Sol-2nd Floor West
600 2nd Street NW
Albuquerque, NM 87102

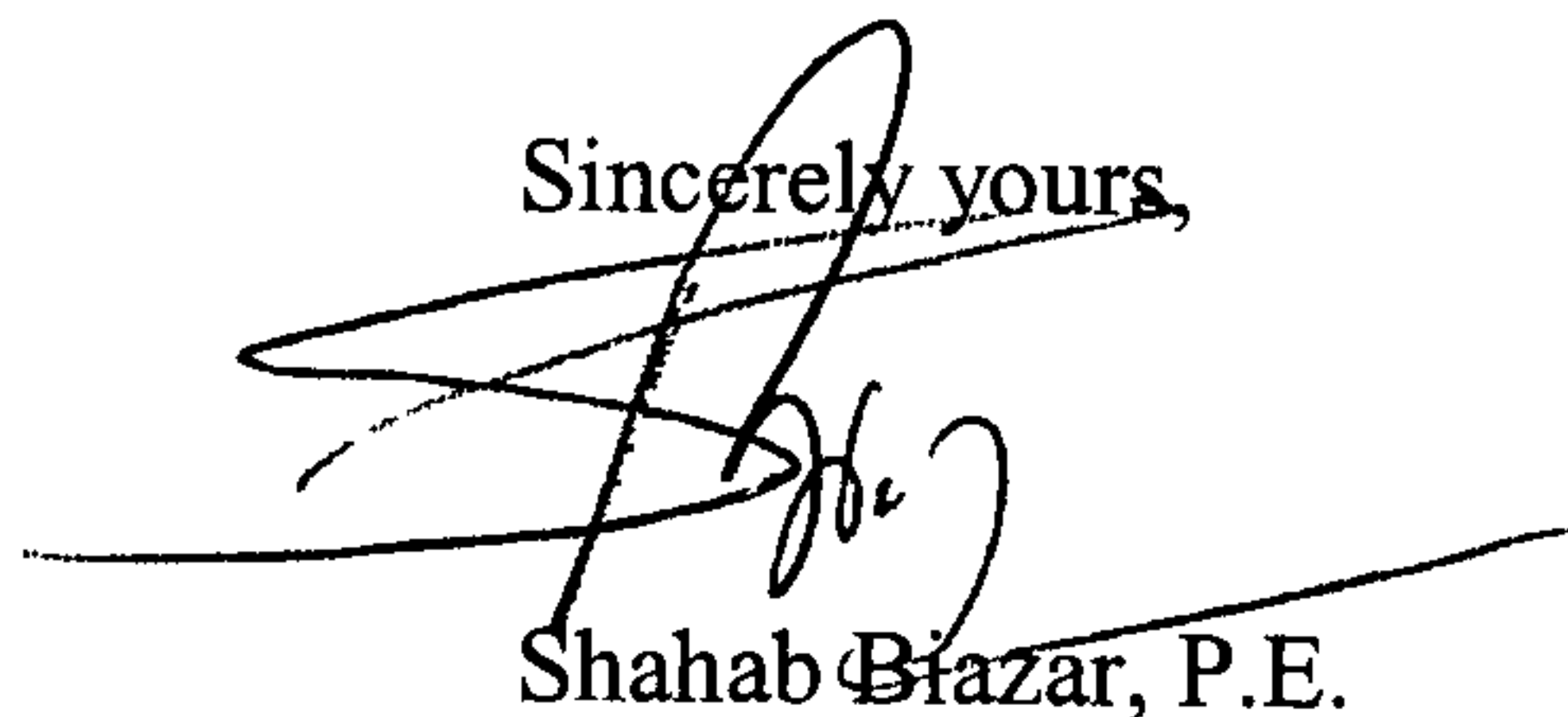
RE: As-Built Certification For City Drainage Number C18 / *D2*

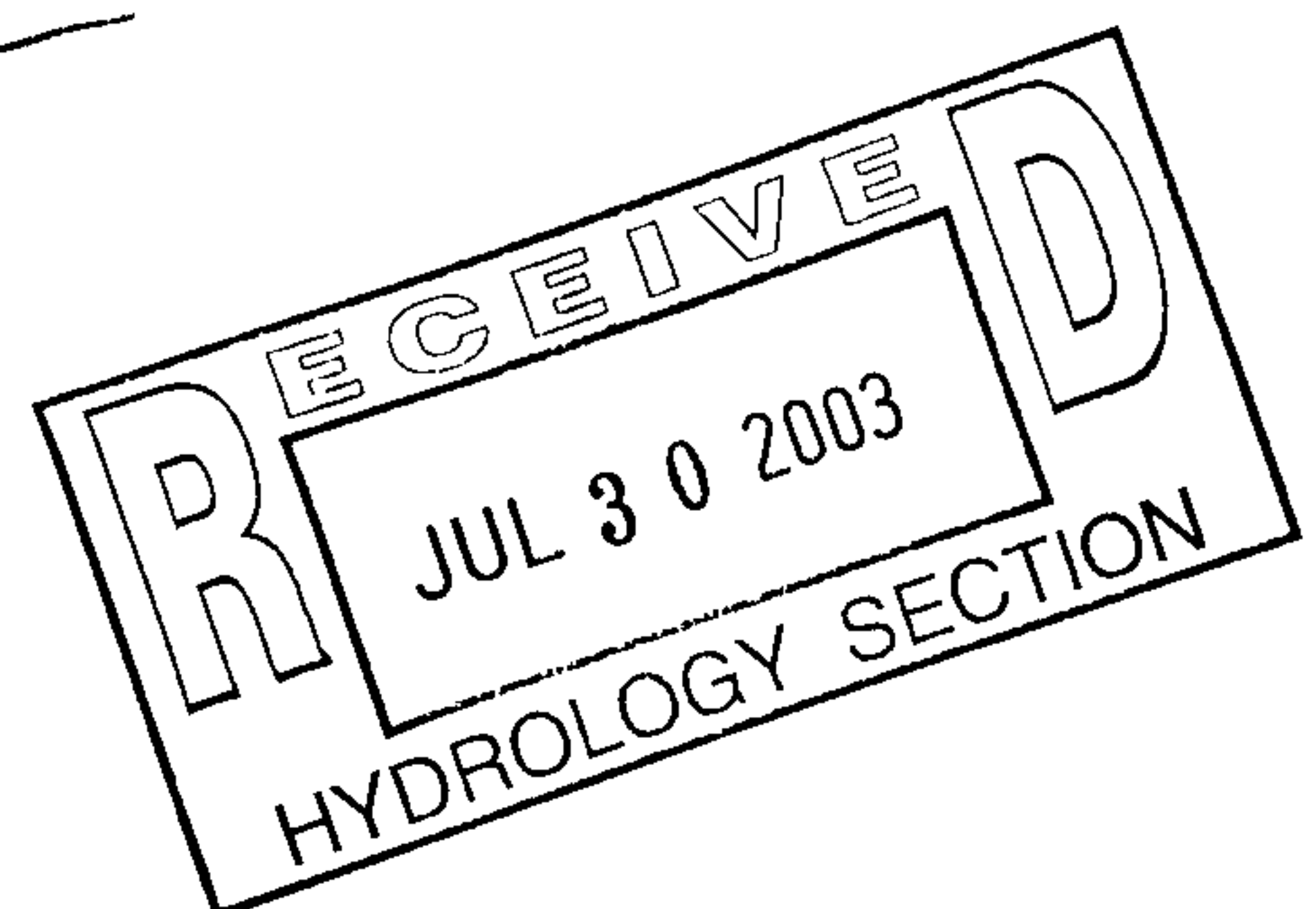
Dear Mr. Montoya:

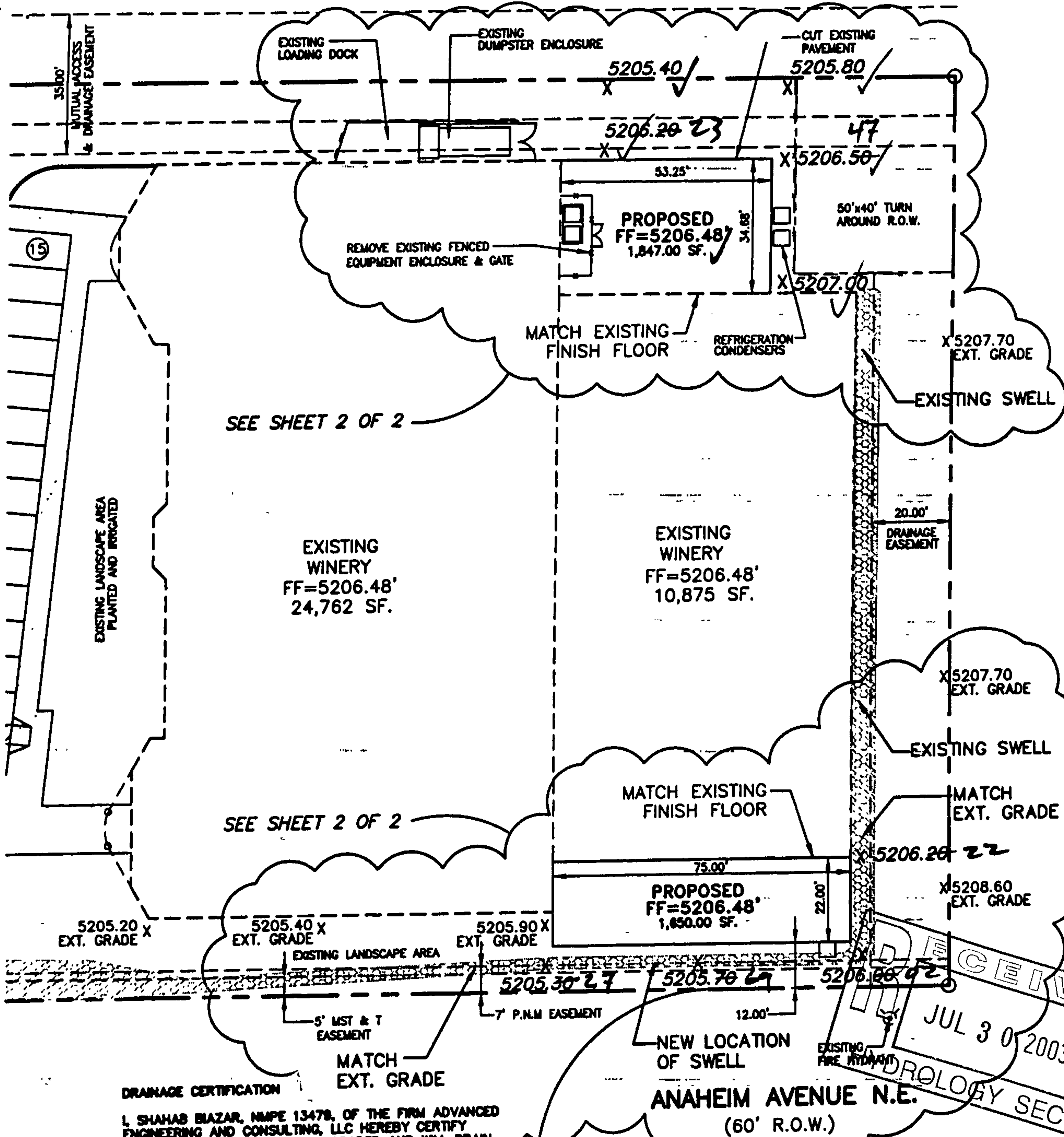
Enclosed please find one copy of the as-built Grading Plan for the above mentioned site. The grades are built according to the approved grading & drainage plan with engineering stamp date of 06/06/2003. The as-built was done on 07/29/2003. The actual stamped date of the submitted grading plan is 06/06/2003, but you had mentioned that the stamped date is 03/06/2003 on the approved grading plan.

Please contact me if there are any questions or concerns regarding this submittal.

Sincerely yours,


Shahab Bazar, P.E.





DRAINAGE CERTIFICATION

I, SHAHAB BIAZAR, NMPE 13479, OF THE FIRM ADVANCED ENGINEERING AND CONSULTING, LLC HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 06/08/2003. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR GRADING CERTIFICATION.

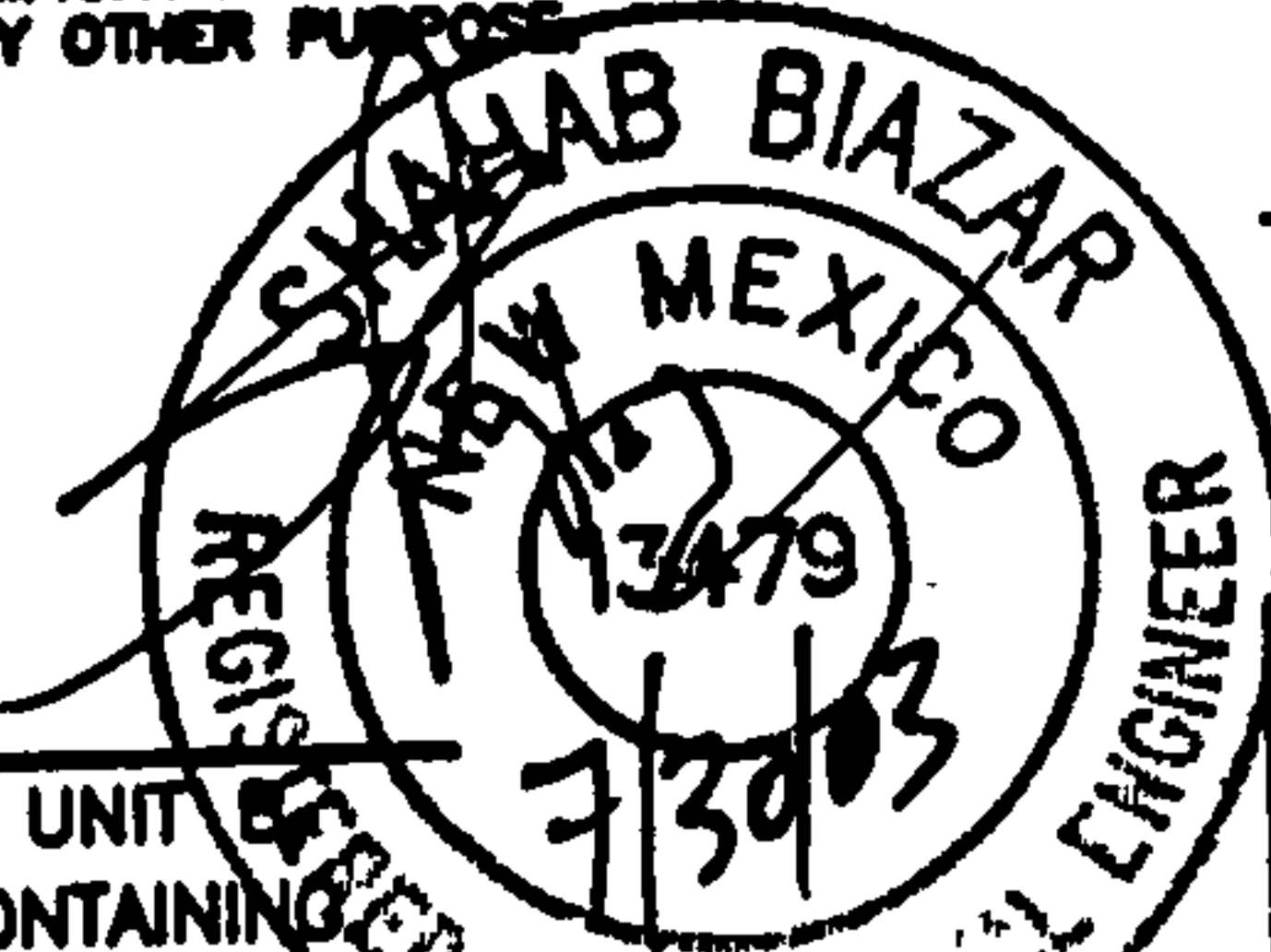
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SCALE: 1"=40'

LEGAL DESCRIPTION:

LOT 25-A, BLOCK 15, TRACT A, UNIT 1, NORTH ALBUQUERQUE ACRES, CONTAINING 89049.55 S.F. (2.0443 AC), MORE OR LESS.



SHAHAB BIAZAR
P.E. #13479

10205 SNOWFLAKE CT., NW
ALBUQUERQUE, NEW MEXICO 87114
(505) 899-5570

ADVANCED
ENGINEERING
and CONSULTING, LLC

GRUET WINERY ADDITION GRADING AND DRAINAGE PLAN

DRAWING:

200314-GR.DWG

DRAWN BY:

SBB

DATE:

05-12-03

SHEET #

1 OF 2



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

June 13, 2003

Shahab Biazar
Advanced Engineering and Consulting, LLC
10205 Snowflake Ct. NW
Albuquerque, New Mexico 87114

**RE: Grading and Drainage Plan for Gruet Winery Addition (C18-D2) Dated
March 6, 2003**

Dear Mr. Biazar:

The above referenced drainage plan is approved for Building Permit. Upon completion of the project please certify the project per the DPM for Certificate of Occupancy release. If you have any questions please call me at 924-3982.

Sincerely,

Carlos A. Montoya
City Floodplain Administrator

DRAINAGE INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: GRUET WINERY ADDITION

ZONE ATLAS/DRG. FILE #: C18/D2

DRB #: _____ EPC #: _____

WORK ORDER #: _____

LEGAL DESCRIPTION: Lot 25-A, Block 15, Tract A, Unit B, NAA

CITY ADDRESS: 8400 Pan American Frwy, NE 87113

ENGINEERING FIRM: Advanced Engineering and Consulting, LLC

ADDRESS: 10205 Snowflake Ct. NW

CITY, STATE: Albuquerque, New Mexico

CONTACT: Shahab Biazar

PHONE: (505) 899-5570

ZIP CODE: 87114

OWNER: Devalmont Vineyards Inc.

ADDRESS: 8400 Pan American Frwy, NE

CITY, STATE: Albuquerque, NM

CONTACT: Farid Himeur

PHONE: (505) 821-0055

ZIP CODE: 87113

ARCHITECT: Masterworks Architect Inc.

ADDRESS: 4200 Wyoming Blvd. NE Suite B-1

CITY, STATE: Albuquerque, NM

CONTACT: Jim Clark

PHONE: (505) 242-1866

ZIP CODE: 87111

SURVEYOR: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CONTRACTOR: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

☐ DRAINAGE PLAN 1ST SUBMITTAL, REQUIRES TCL OR EQUAL

☐ CONCEPTUAL GRADING & DRAINAGE PLAN

☒ GRADING PLAN

☐ EROSION CONTROL PLAN

☐ ENGINEER'S CERTIFICATION (HYDROLOGY)

☐ CLOMR / LOMR

☐ TRAFFIC CIRCULATION LAYOUT (TCL)

☐ ENGINEER'S CERTIFICATION (TCL)

☐ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)

☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA / FINANCIAL GUARANTEE RELEASE

☐ PRELIMINARY PLAT APPROVAL

☐ S. DEV. PLAN FOR SUB'D. APPROVAL

☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL

☐ SECTOR PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☒ BUILDING PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY (PERM.)

☐ CERTIFICATE OF OCCUPANCY (TEMP.)

☒ GRADING PERMIT APPROVAL

☐ PAVING PERMIT APPROVAL

☐ WORK ORDER APPROVAL

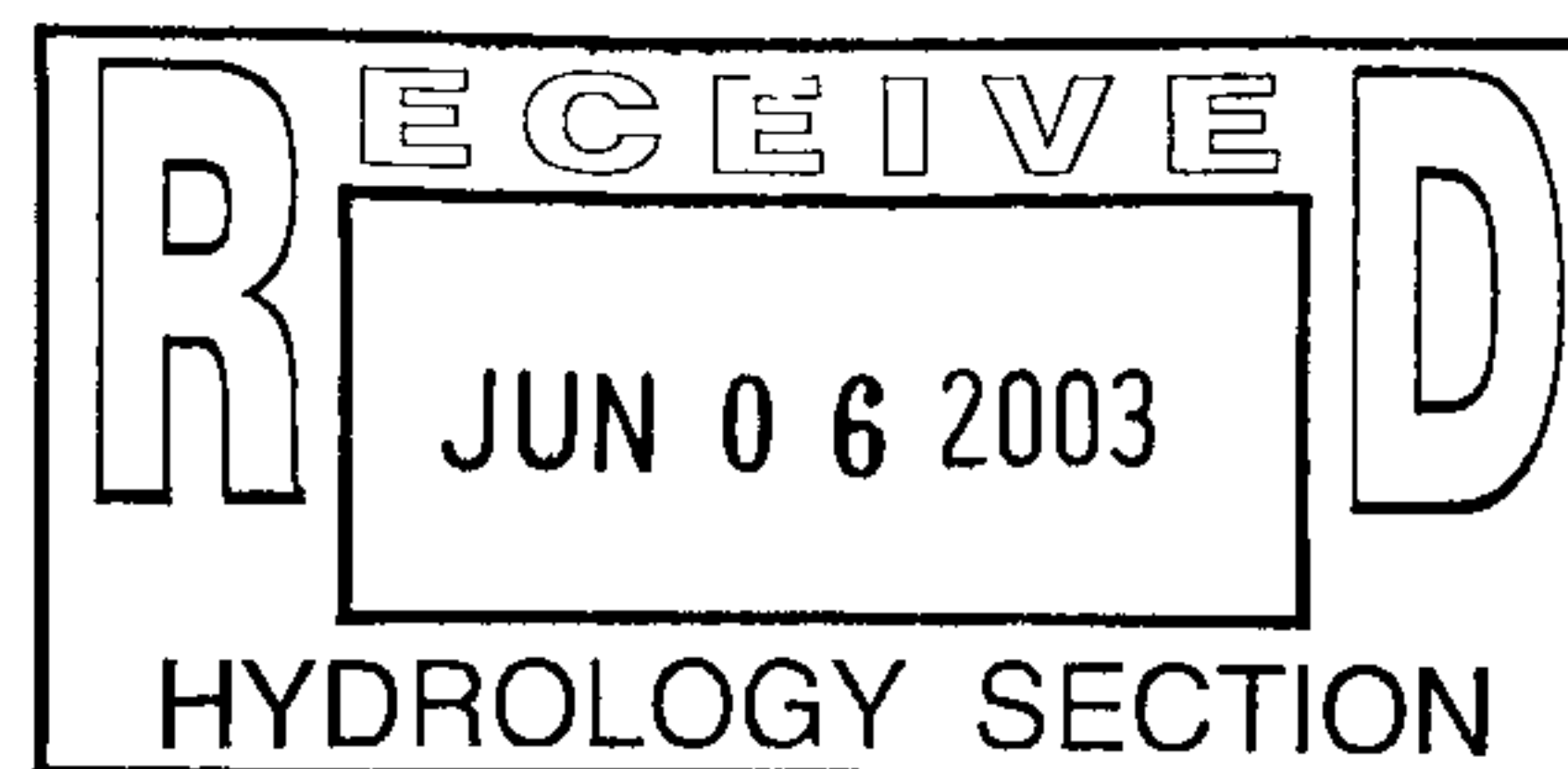
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES

☒ NO

☐ COPY PROVIDED

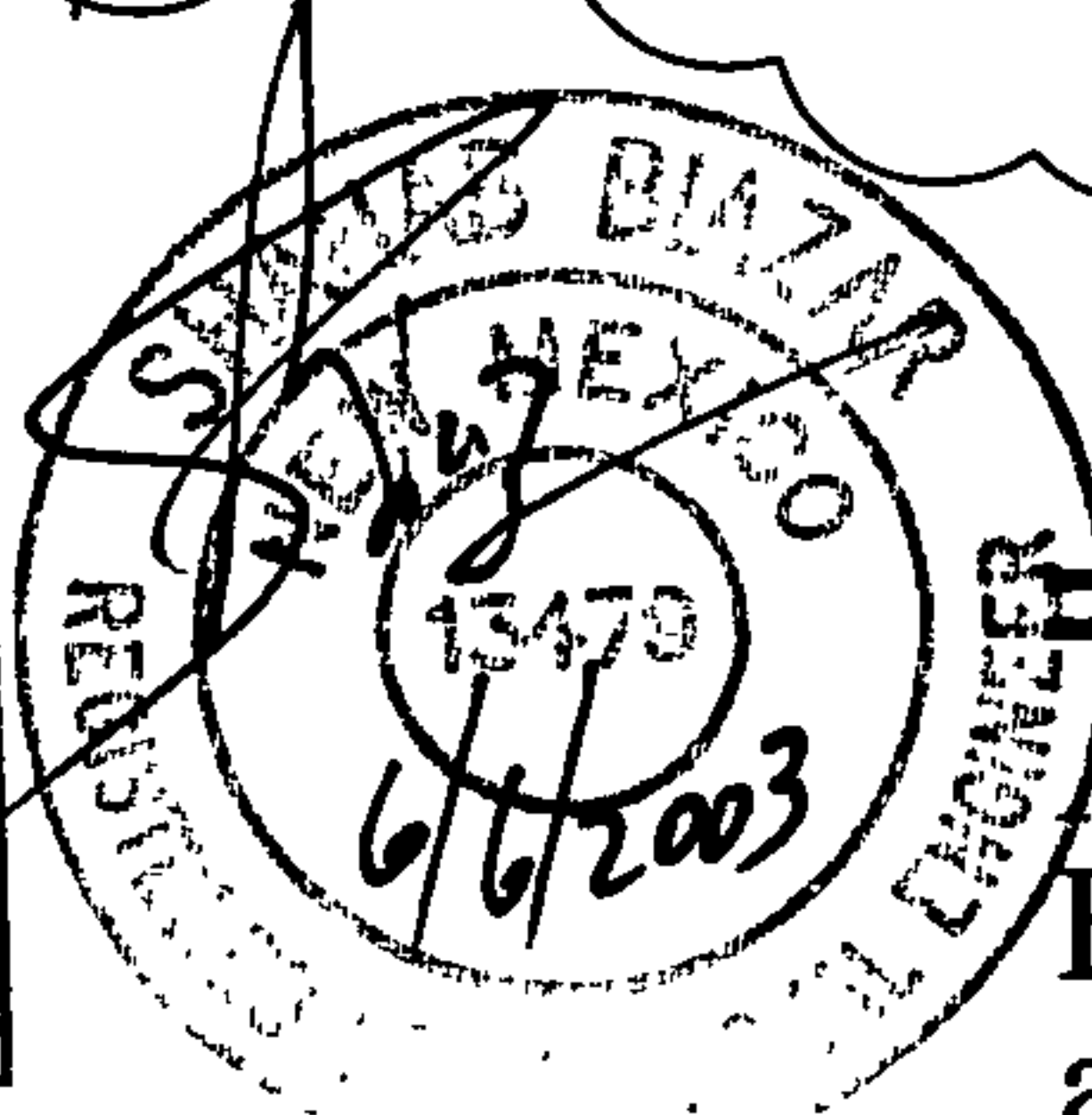
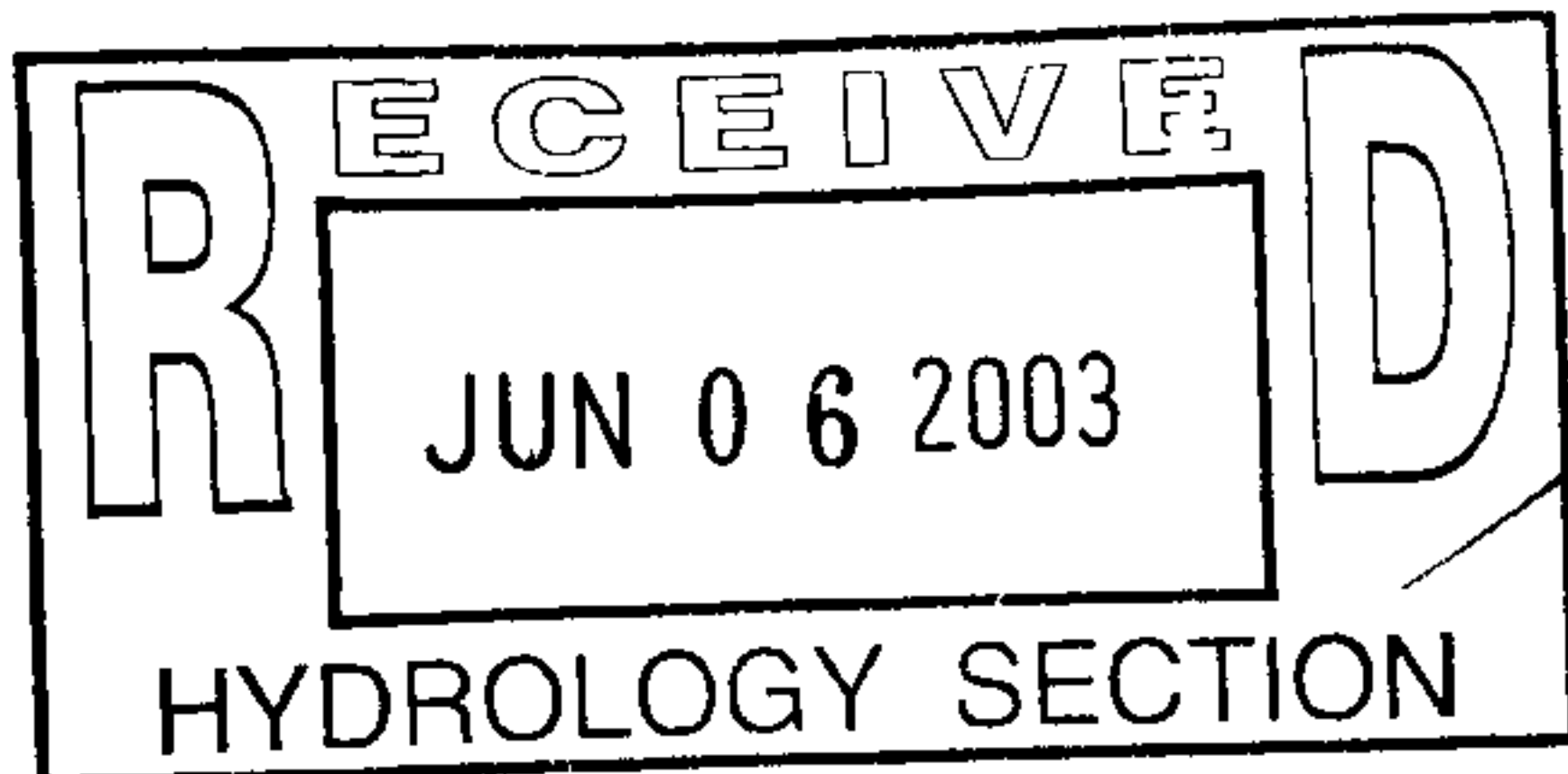
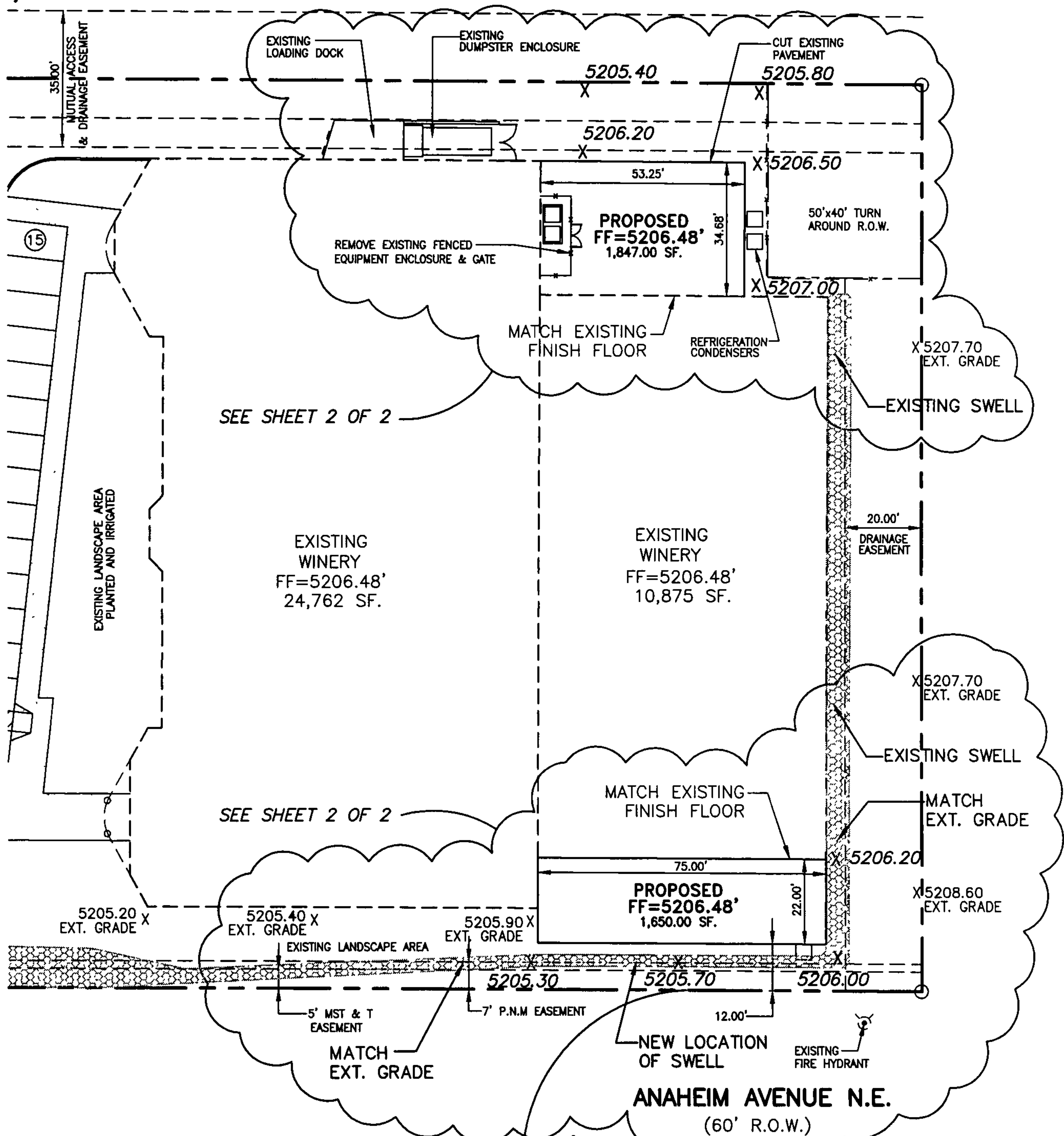


DATE SUBMITTED: 06/06/2003

BY: Shahab Biazar, P.E.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittals may be required based on the following:

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3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or containing five (5) acres or more



ADVANCED
ENGINEERING
and CONSULTING, LLC

SCALE: 1"=40'

SHAHAB BLAZAR
P.E. #13479

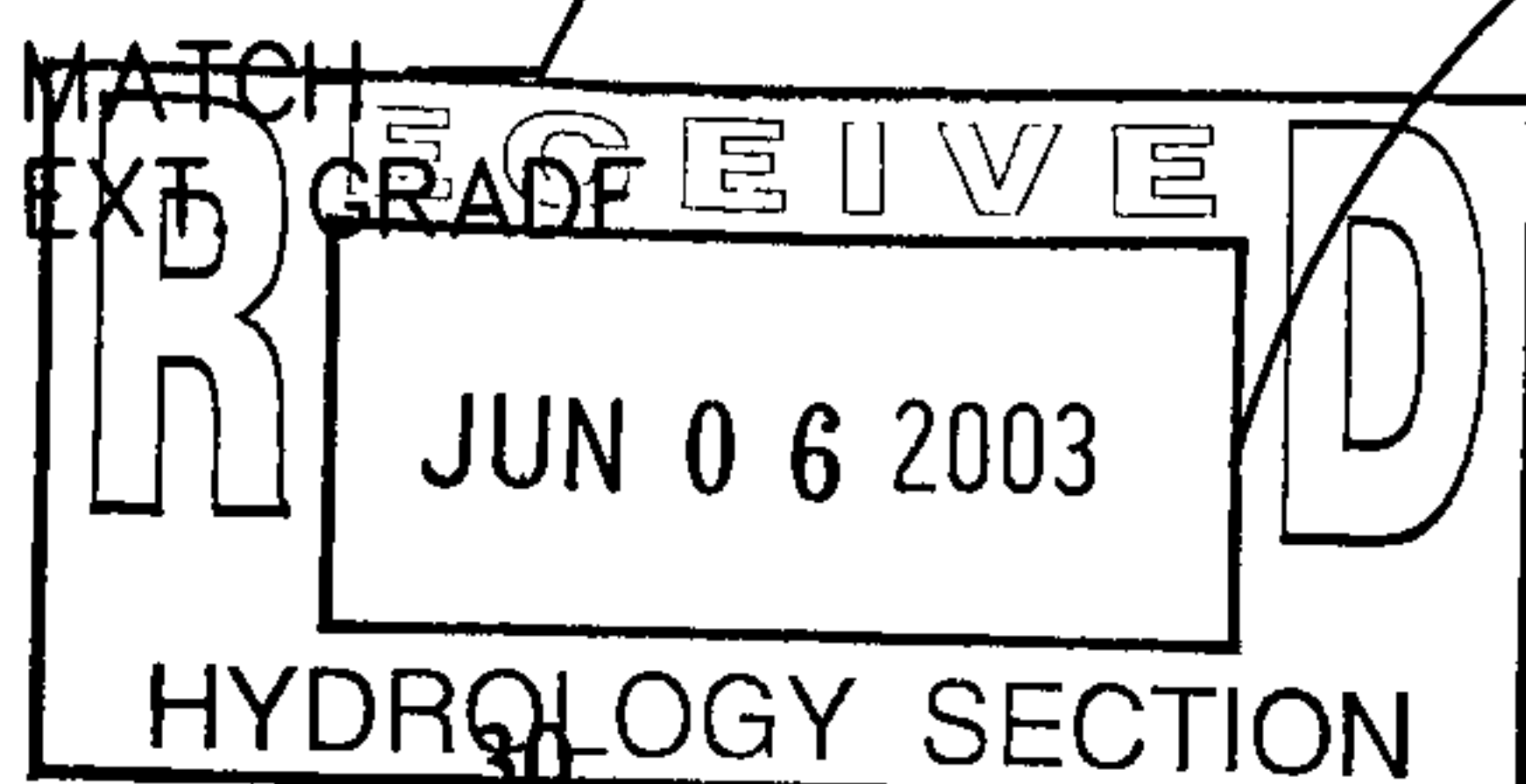
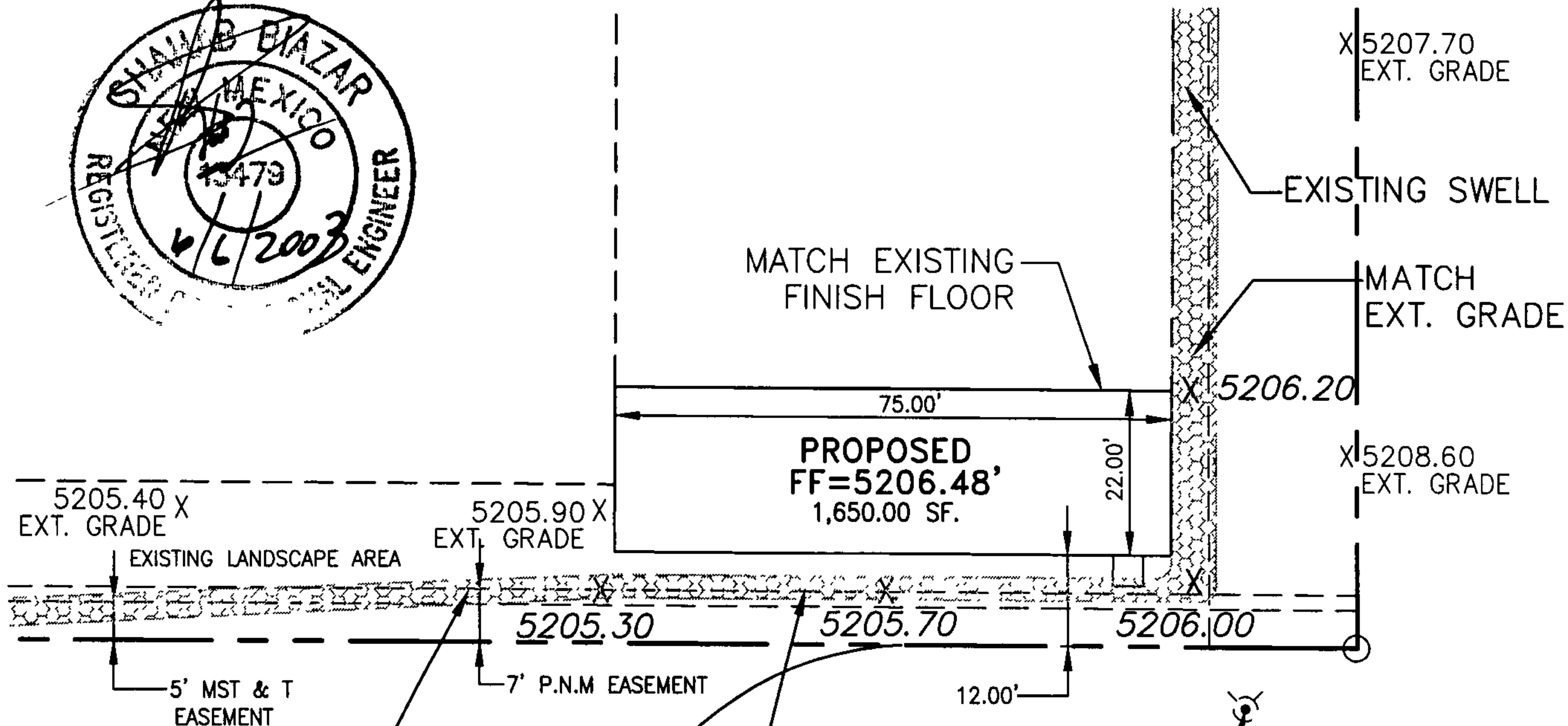
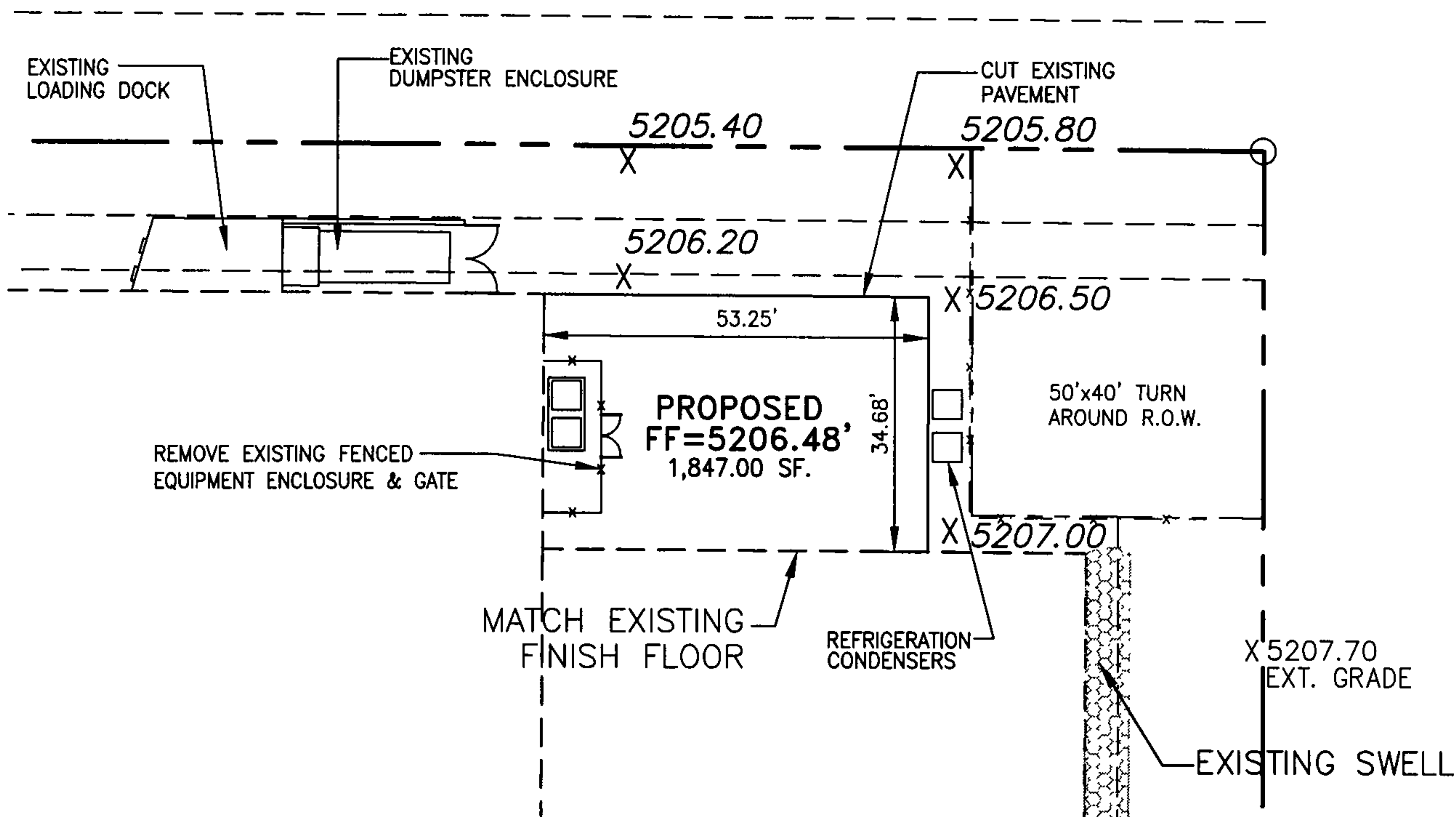
10205 SNOWFLAKE CT., NW
ALBUQUERQUE, NEW MEXICO 87114
(505)899-5570

LEGAL DESCRIPTION:

LOT 25-A, BLOCK 15, TRACT A, UNIT B,
NORTH ALBUQUERQUE ACRES, CONTAINING
89049.55 S.F. (2.0443 AC), MORE OR LESS.

**GRUET WINERY ADDITION
GRADING AND DRAINAGE PLAN**

DRAWING:	DRAWN BY:	DATE:	SHEET #
200314-GR.DWG	SBB	05-12-03	1 OF 2



SCALE: 1"=30'

LAST REVISION 06-06-03

GRUET WINERY ADDITION GRADING AND DRAINAGE PLAN

DRAWING:

200314-GR.DWG

DRAWN BY:

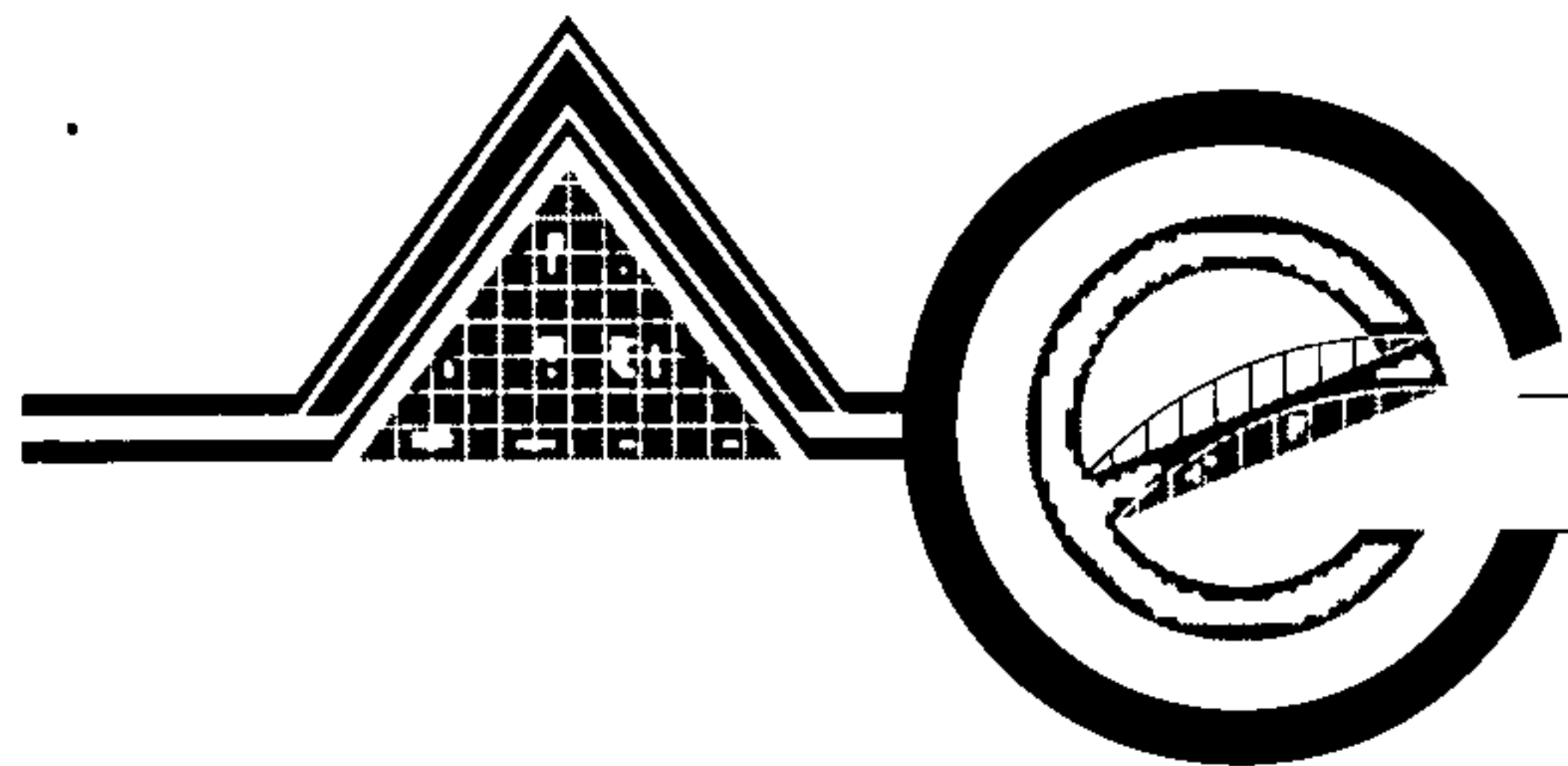
SBB

DATE:

05-12-03

SHEET #

2 OF 2



ADVANCED ENGINEERING and CONSULTING, LLC

*Consulting
Design
Development
Management
Inspection*

June 6, 2003

Mr. Carlos A. Montoya, P.E.
City Floodplain Administrator, PWD
Development and Building Services
Plaza Del Sol-2nd Floor West
600 2nd Street NW
Albuquerque, NM 87102

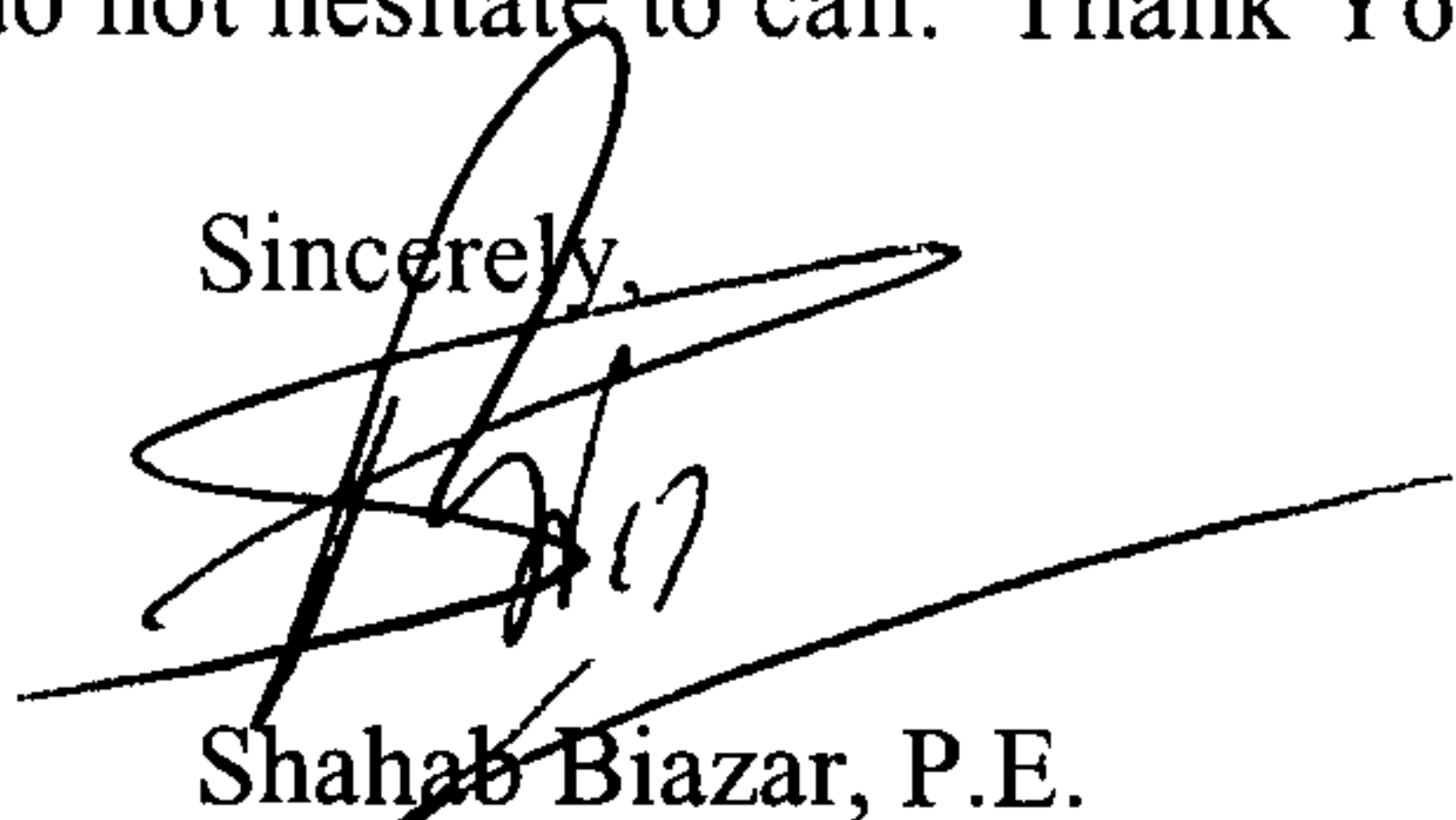
RE: Gruet Winery Addition, 8400 Pan American Frwy, NE, C18 / D2

Dear Mr. Montoya:

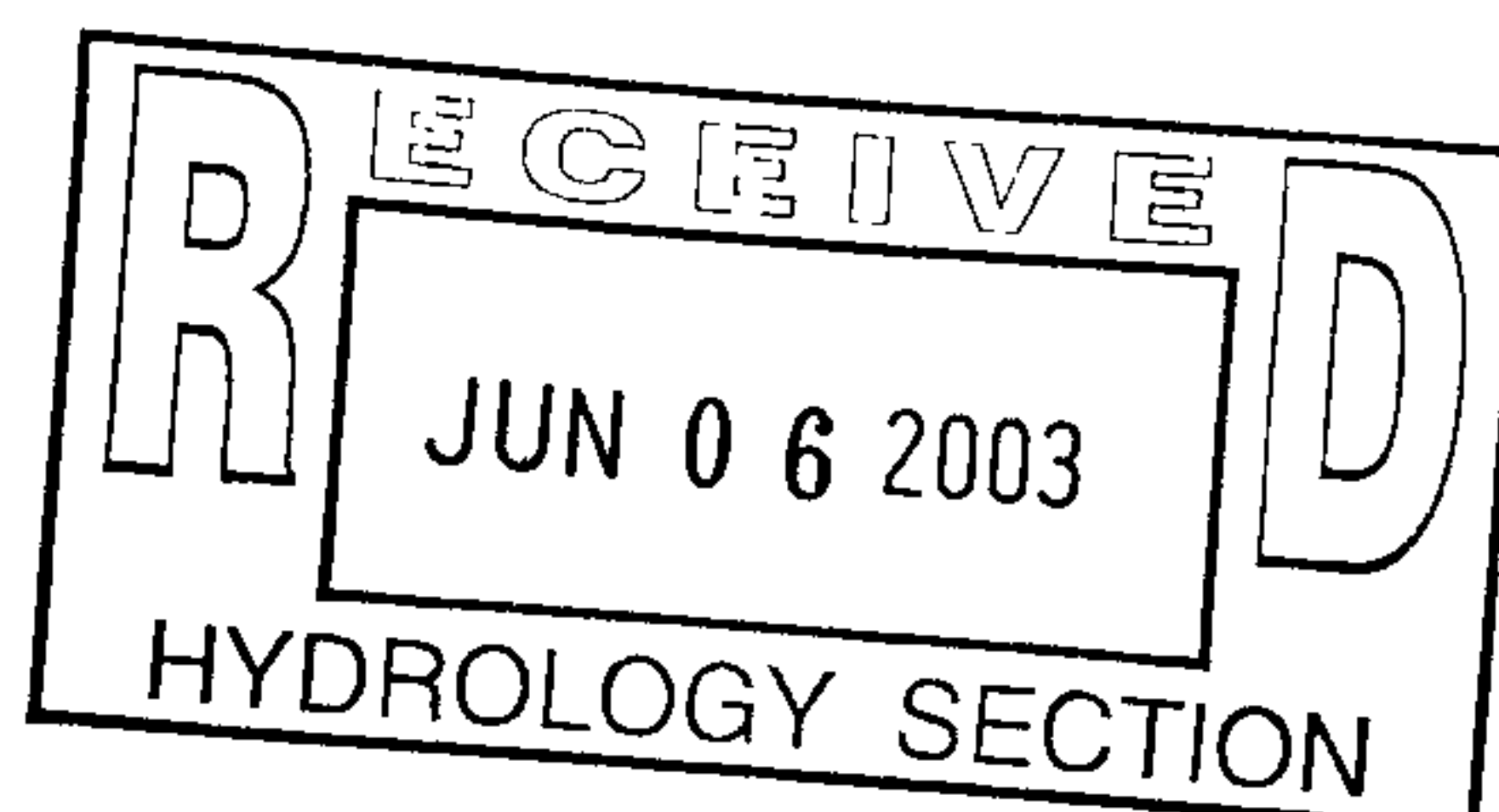
Attached please find a copy of the original approved Grading Plan for above referenced site. We are proposing 3,497 SF addition to the existing 35,637 SF building. This small addition has very minimal impact on the overall drainage. Attached please find the new Grading Plan showing the additions. This addition consists of 1,847 SF to the northeast corner of the building and 1,650 SF to the southeast corner of the building.

If you have any questions, please do not hesitate to call. Thank You.

Sincerely,



Shahab Biazar, P.E.





November 27, 1998

Richard Hall
Hall Engineering
1116 2nd St. NW
Albuquerque, New Mexico 87102

RE: ENGINEER CERTIFICATION FOR GRUET WINERY PHASE II (C18-D2)
CERTIFICATION STATEMENT (PLAN RECEIVED 11/19/98)

Dear Mr. Hall:

Based on the information provided on your November 19, 1998 submittal, Engineer Certification for the above referenced site is acceptable.

If I can be of further assistance, please feel free to contact me at 924-3986.

C: Andrew Garcia
File ✓

Sincerely

Bernie J. Montoya CE
Associate Engineer

Good for You, Albuquerque!



DRAINAGE INFORMATION SHEET

PROJECT TITLE: PHASE 2, GRUET WINERY

ZONE ATLAS/DRNG. FILE #: C-18/D002

DRB #: 93-78/ ZA 93-38 EPC #:

WORK ORDER #:

LEGAL DESCRIPTION: LOT 25A, BLOCK 15, TR.A, UNIT B, NORTH ALBUQUERQUE ACRES

CITY ADDRESS: 8400 PAN AMERICAN FREEWAY, NE 87113

ENGINEERING FIRM: HALL ENGINEERING, INC.

CONTACT: RICHARD HALL

ADDRESS: 6840 2ND ST., NW 87107

PHONE: 345-1064 FAX 344-5404

OWNER: GRUET

CONTACT: FARID HIMEUR

ADDRESS: 8400 PAN AMERICAN

PHONE: 821-0555/FAX 857-0066

ARCHITECT: JAMES B. CLARK

CONTACT:

ADDRESS: 516 11TH ST. NW 87102-1806

PHONE: 242-1866/FAX 242-1802

SURVEYOR:

CONTACT:

ADDRESS:

PHONE:

CONTRACTOR:

CONTACT:

ADDRESS:

PHONE:

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERTIFICATION / AMAFDA CERTIFICATION
☐ OTHER

PRE-DESIGN MEETING:

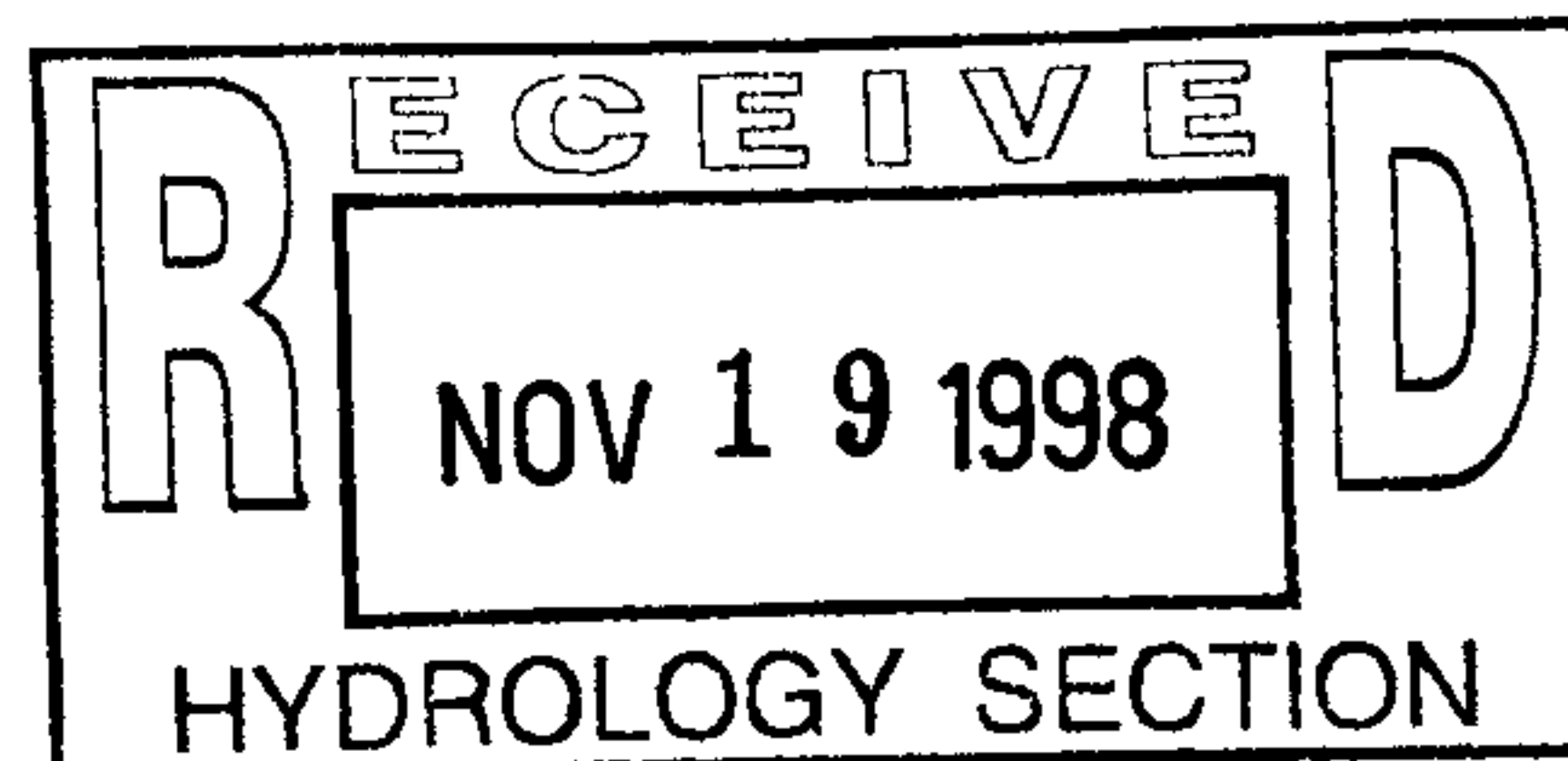
☐ YES
☐ NO
☐ COPY PROVIDED

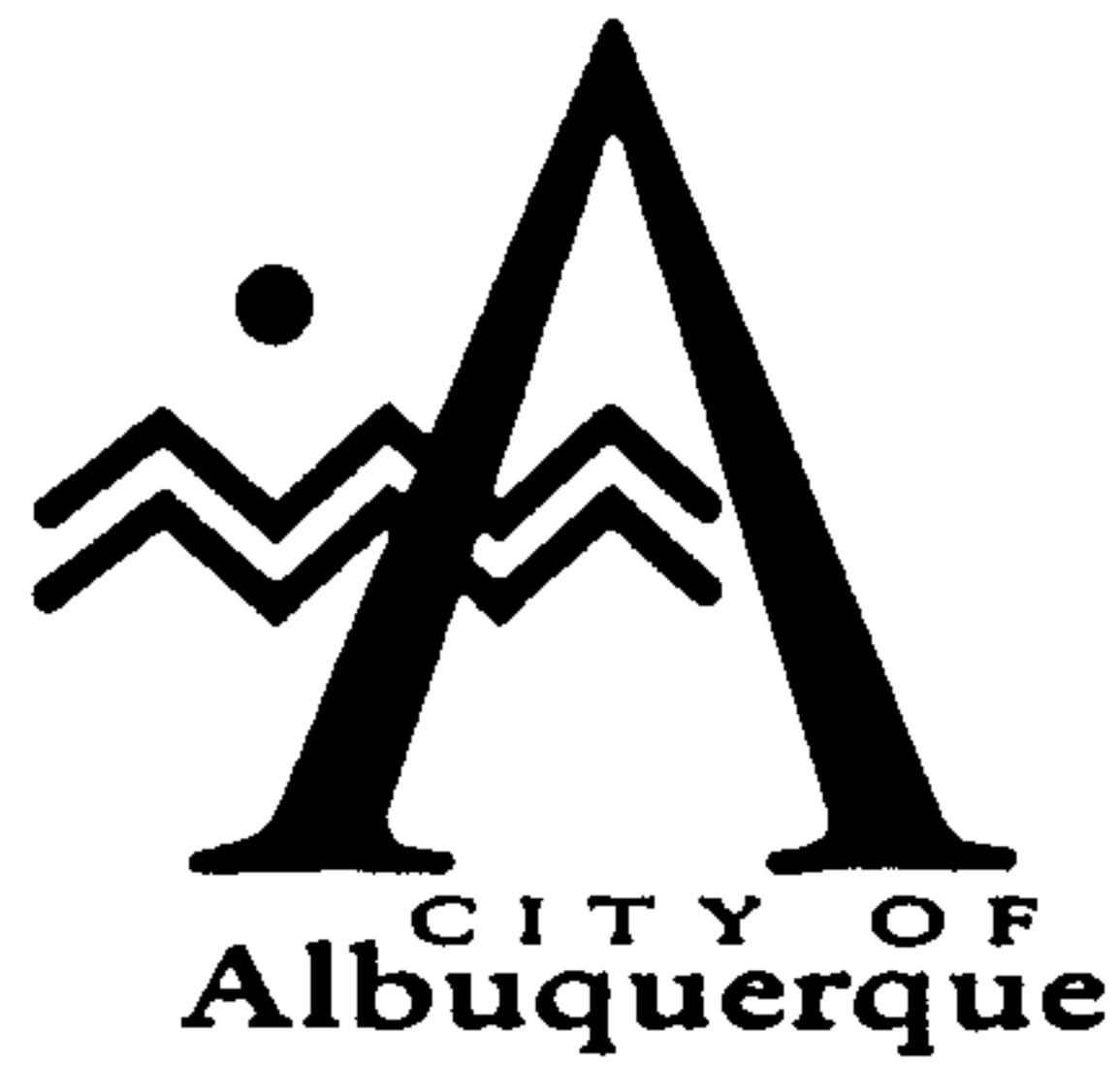
CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER (SPECIFY)

DATE SUBMITTED: SEPTEMBER 30, 1998

BY: E. W. KIESS





April 7, 1998

Richard Hall
Hall Engineering
1116 2nd. St. NW
Albuquerque, new Mexico 87102

RE: REVISED DRAINAGE PLAN FOR GRUET WINERY PHASE II (C18-D2) REVISION
DATED 4/1/98

Dear Mr. Hall:

Based on the information provided on your April 1, 1998 resubmittal, the above referenced site is approved for Site Development Plan For Building Permit.

Please be advised that prior to Building Permit release, the following must be addressed:

1. Some type of protection for the footing on the east side of the Building where the proposed swale is located.

If I can be of further assistance, please feel free to contact me at 924-3986.

C: Andrew Garcia

File

Sincerely

Bernie J. Montoya CE
Associate Engineer

Good for You, Albuquerque!



HALL ENGINEERING COMPANY INC
ENGINEERING - SURVEYING - PLANNING- CONSTRUCTION

1116 2ND ST., NW, ALBUQUERQUE, NM 87102
PHONE: (505) 848-7822 FAX: (505) 848-7825

April 1, 1998

Mr. Bernie Montoya, C.E.
Public Works Department, Hydrology
Albuquerque, NM 87102

RE: GRUET WINERY PHASE 2 (C18-D2), REVISED

Dear Mr. Montoya:

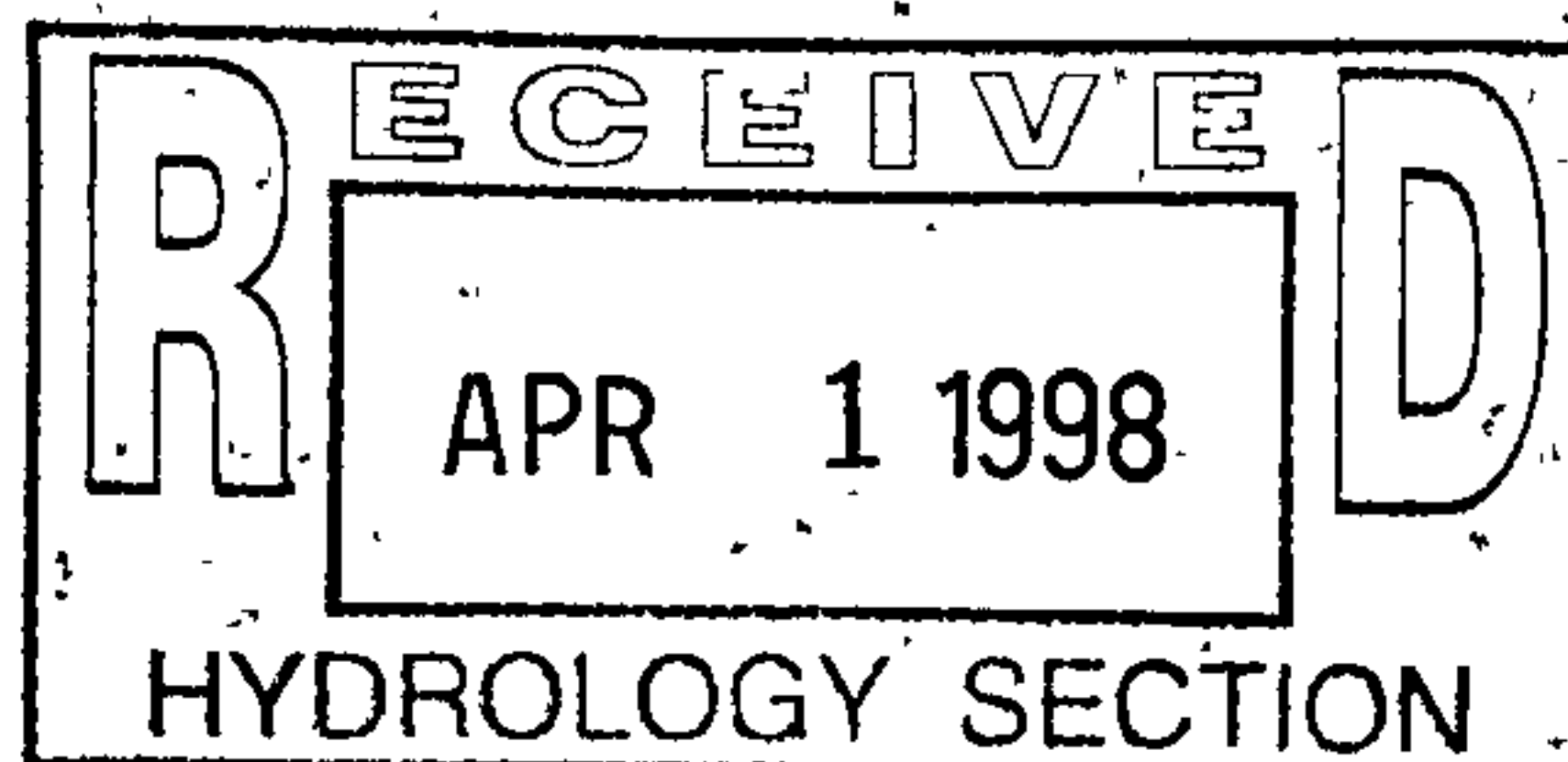
In response to your comments in a letter Dated March 4, 1998, we have provided the following amendments:

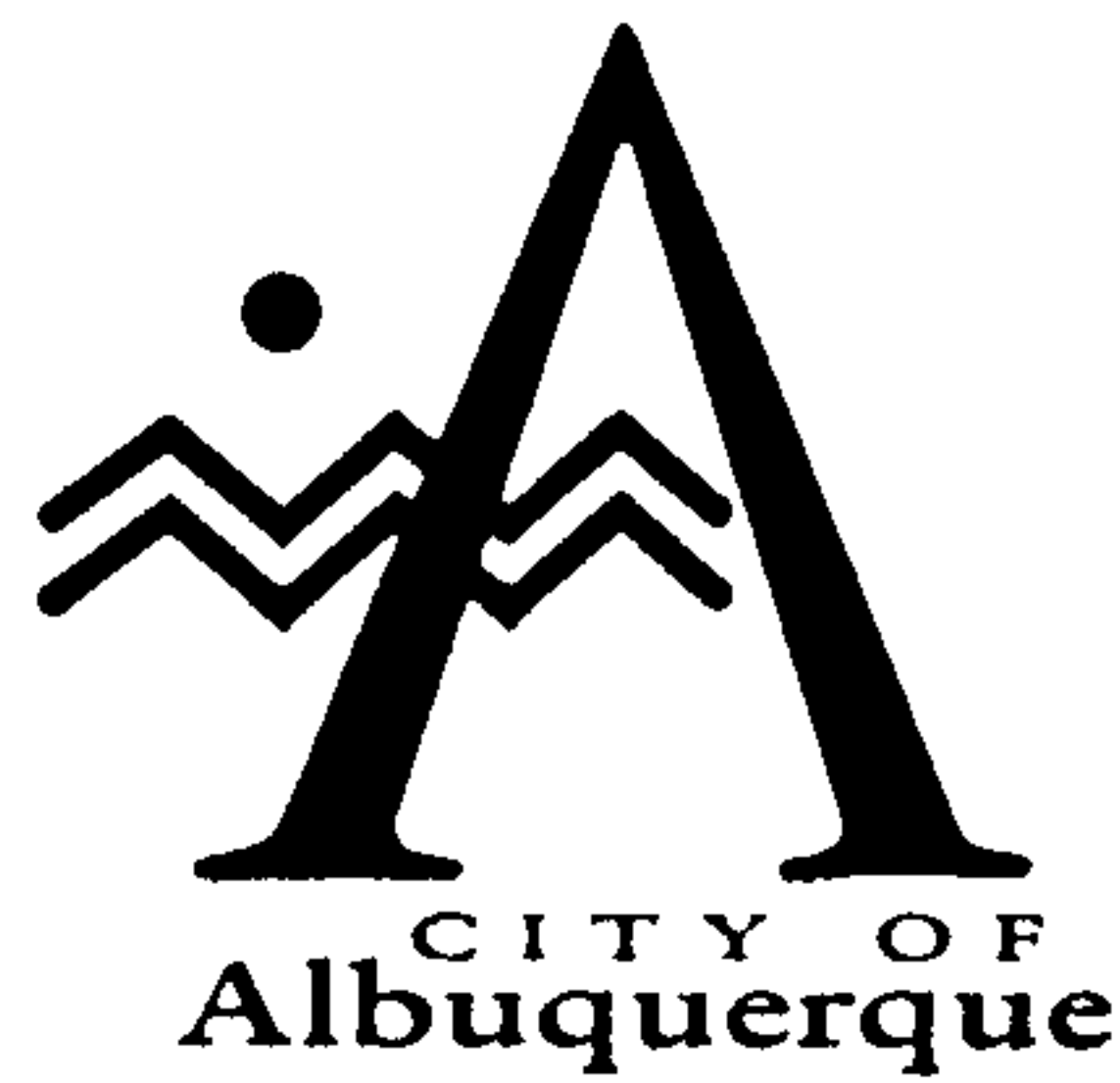
1. A.M.A.F.C.A. has reviewed and approved the proposed lining within its right-of way.
2. Hydraulic calculations for the proposed swales are included with this resubmittal.
3. Swale section south of proposed building based on those calculations has been added to the plan and section south of the existing building has been amended.
4. Compaction specifications for berm have been added to plan.

Sincerely;

E. W. Kiess

file 971530.re3





March 4, 1998

Richard Hall
Hall Engineering
1116 2nd St. NW
Albuquerque, New Mexico 87102

RE: DRAINAGE PLAN FOR AN ADDITION TO GRUET WINERY PHASE 2
(C18-D2) ENGINEER'S STAMP DATED 3/3/98

Dear Mr. Hall:

Based on the information provided on your February 19, 1998 submittal, listed are some concerns that will need to be addressed prior to final approval:

1. Concurrence from AMAFCA for work within their R/W. Include a sign-off block for AMAFCA. Recommend that approval be obtained prior to resubmittal.
2. Hydraulics for the proposed swales.
3. Include detail or cross-section of the proposed swale past the building area.
4. Include on the plan drawing the compaction guidelines for the proposed berm.

If I can be of further assistance, please feel free to contact me at 924-3986.

C: Andrew Garcia

File

Sincerely

Bernie J. Montoya CE
Associate Engineer

Good for You, Albuquerque!





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

February 2, 1994

John M MacKenzie, P.E.
D. Mark Goodwin & Assoc. PA
P.O. Box 90606
Albuquerque, New Mexico 87199

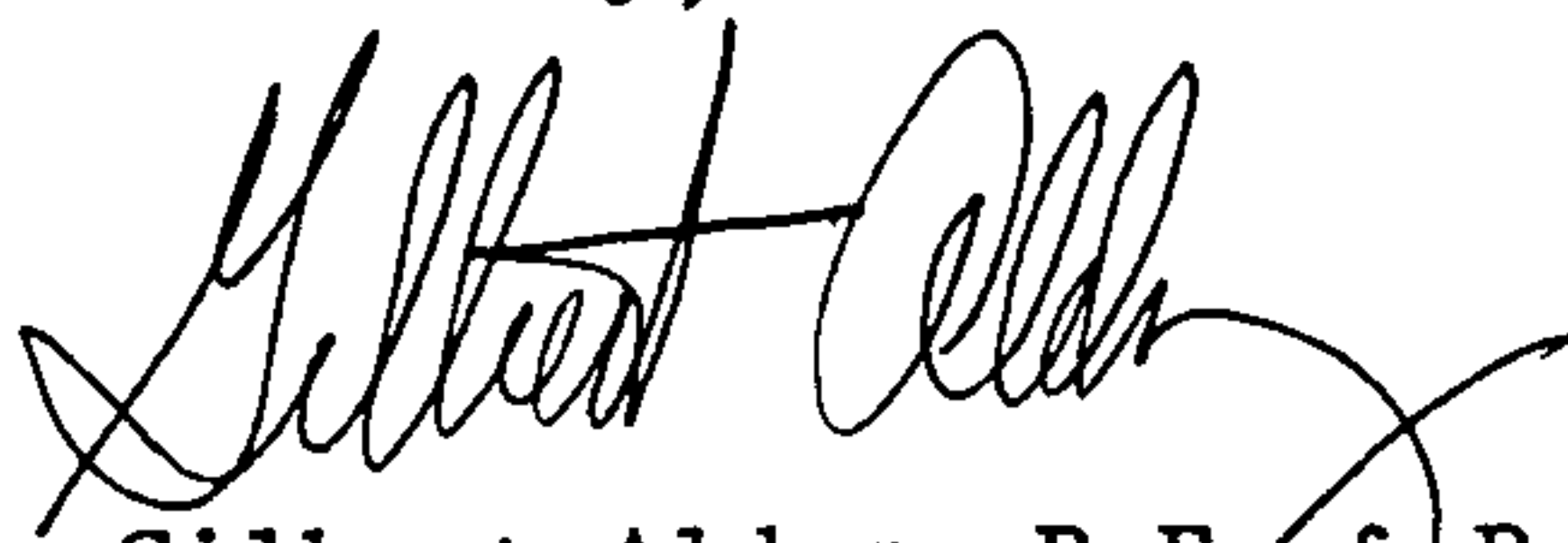
RE: ENGINEER'S CERTIFICATION FOR GRUET WINERY, (C-18/D02)
ENGINEER'S STAMP DATED JANUARY 24, 1994.

Dear Mr. MacKenzie:

Based on the information provided on the referenced submittal received January 25, 1994, and your statement that the plan is in substantial compliance with the approved drainage plan for this site, this office has no objection to release of the permanent Certification of Occupancy.

If you should have any questions, please do not hesitate to call me at 768-2650.

Cordially,



Gilbert Aldaz, P.E. & P.S.
City/County Floodplain Adm.

xc: Clifford E. Anderson, AMAFCA
Andrew Garcia, City Hydrology
File

wp+7637



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 20, 1993

John M MacKenzie, P.E.
D. Mark Goodwin & Assoc. PA
P.O. Box 90606
Albuquerque, New Mexico 87199

RE: DRAINAGE PLAN FOR GRUET WINERY (C-18/D02), ENGINEER'S STAMP DATED
APRIL 6, 1993.

Dear Mr. MacKenzie:

Based on the information provided on the referenced submittal received April 14, 1993, the plan is acceptable for Building Permit release.

Please be advised that prior to Certification of Occupancy release, an Engineer's Certification that the site was built in substantial compliance with the approved plan must be submitted and approved by this office.

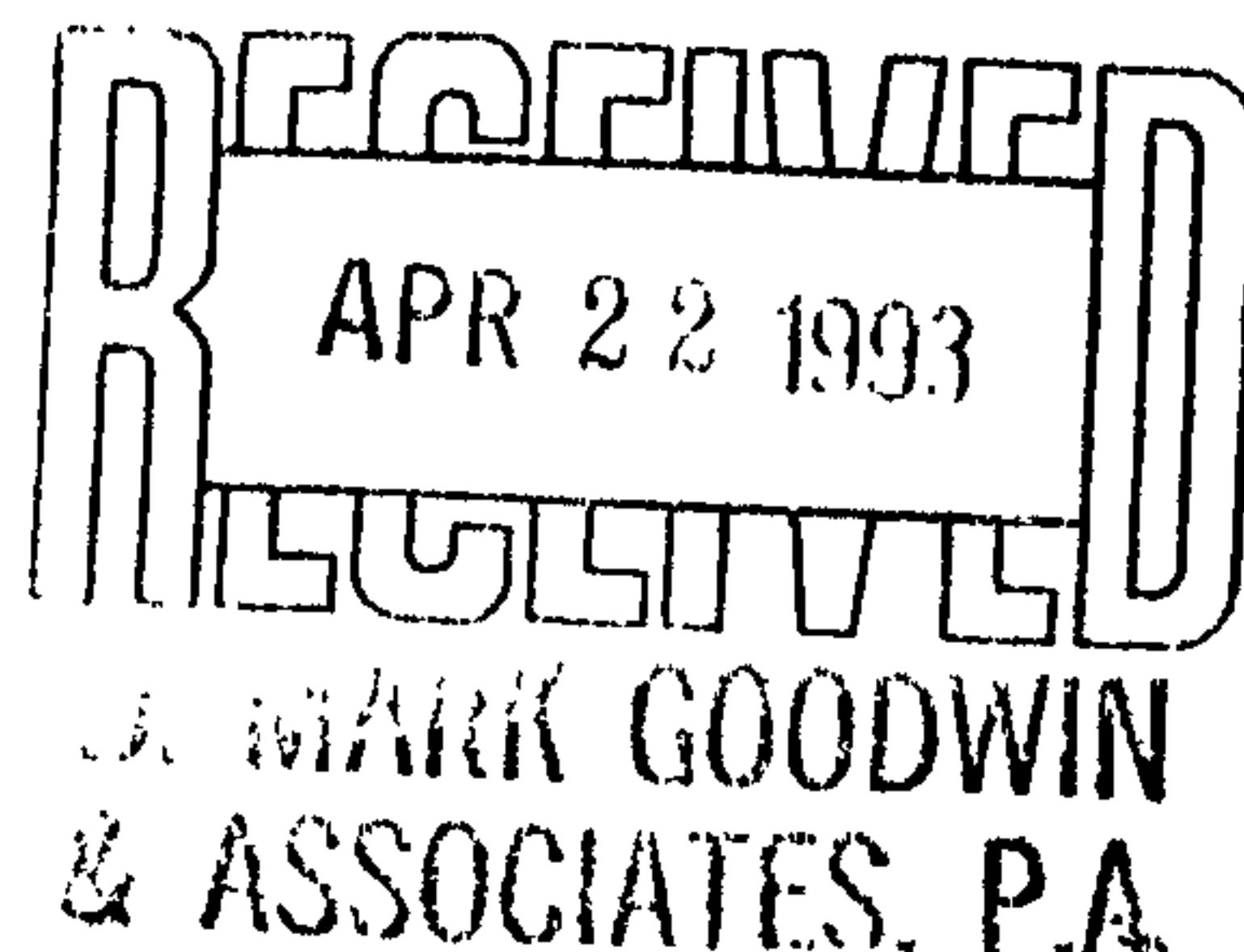
If you should have any questions, please do not hesitate to call me at 768-2650.

Cordially,

Gilbert Aldaz, P.E. & P.S.
City/County Floodplain Adm.

xc: Alan Martinez, City Hydrology
Bill Wieman, Owner

wp+7637



7 - 100

APR 22 1993

PUBLIC WORKS DEPARTMENT

DRAINAGE INFORMATION SHEET

PROJECT TITLE: Gruet Winery ZONE ATLAS/DRNG, FILE#: C-18-Z / D 2

LEGAL DESCRIPTION: Lots 23, 24 & portions of 25, Block 15, Tract A, North
CITY ADDRESS: East Pan American Frontage Rd & Anaheim / Albuquerque Acres

ENGINEERING FIRM: D. Mark Goodwin & Assoc., PA CONTACT: John M. MacKenzie, PE
ADDRESS: P.O. Box 90606 PHONE: 828-2200

OWNER: Devalmont CONTACT: Bill Wieman
ADDRESS: 4900-C Jefferson NE PHONE: 881-8879

ARCHITECT: Design Collaborative SW CONTACT: Dave Dekker
ADDRESS: 105 4th Street SW PHONE: 843-9639

SURVEYOR: Aldrich Land Surveying CONTACT: Tim Aldrich
ADDRESS: 3916 Carlisle, NE Ste G PHONE: 884-1990

CONTRACTOR: n/a CONTACT: _____
ADDRESS: _____ PHONE: _____

PRE-DESIGN MEETING

☒ YES
☐ NO
☐ COPY OF CONFERENCE RECAP
SHEET PROVIDED

DRB NO. 93-78
EPC NO. _____
PROJ NO. _____

TYPE OF SUBMITTAL

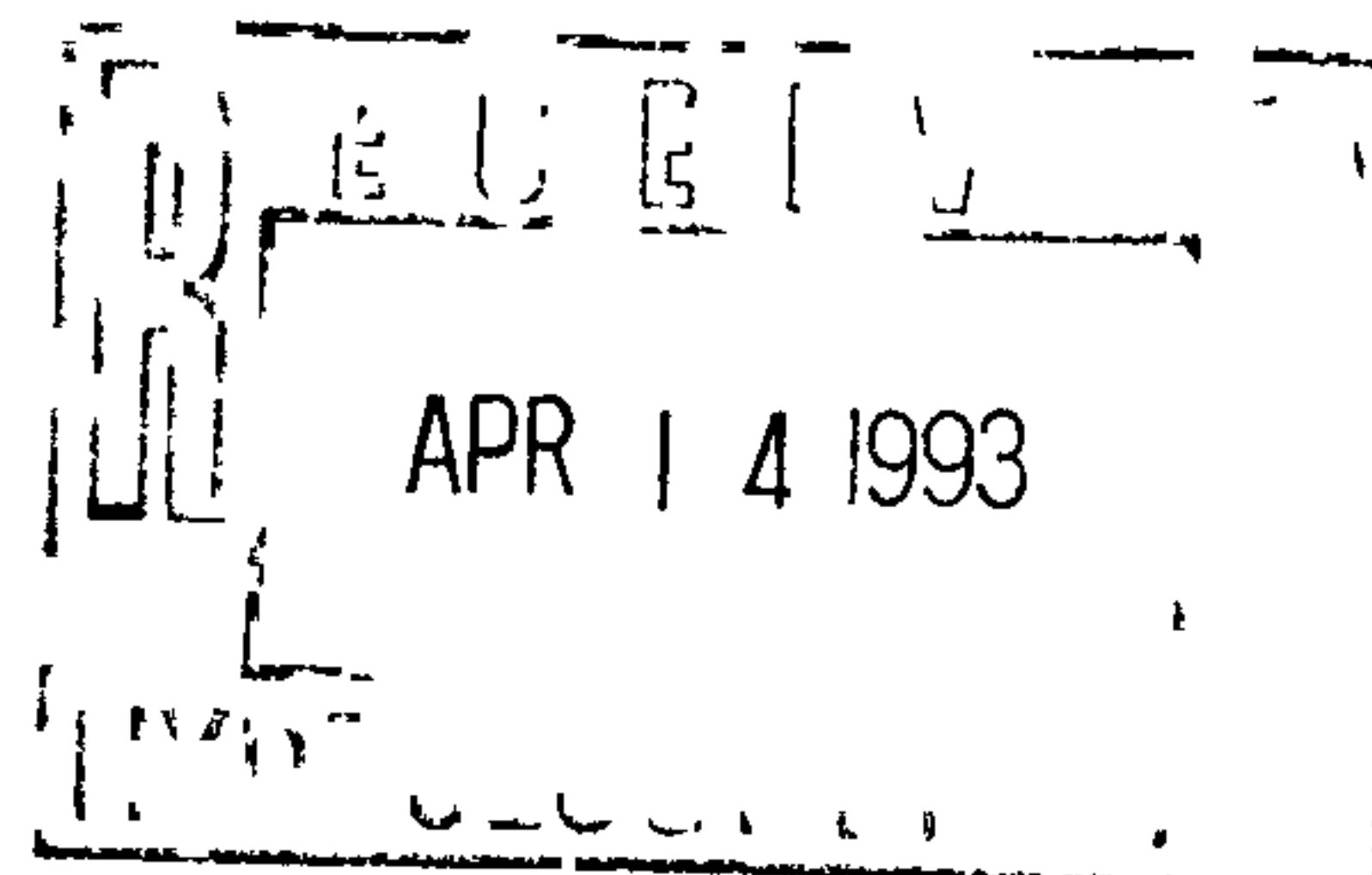
☐ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING &
DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION PLAN
☐ ENGINEER'S CERTIFICATION

TYPE OF APPROVAL SOUGHT

☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ SITE DEVELOPMENT PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ CERTIFICATION OF OCCUPANCY APPROVAL
☒ ROUGH GRADING PERMIT APPROVAL
☐ GRADING / PAVING PERMIT APPROVAL
☐ OTHER _____

DATE SUBMITTED: April 6, 1993

BY: John M. MacKenzie
John M. MacKenzie, PE



DRAINAGE INFORMATION SHEET

PROJECT TITLE: Gruet Winery ZONE ATLAS/DRNG, FILE#: C-18-Z/D2

LEGAL DESCRIPTION: Lots 23, 24 & portions of 25, Block 15, Tract A, North
CITY ADDRESS: East Pan American Frontage Rd & Anaheim / Albuquerque Acres

ENGINEERING FIRM: D. Mark Goodwin & Assoc., PA CONTACT: John M. MacKenzie, PE
ADDRESS: P.O. Box 90606 PHONE: 828-2200

OWNER: Devalmont CONTACT: Bill Wieman
ADDRESS: 4900-C Jefferson NE PHONE: 881-8879

ARCHITECT: Design Collaborative SW CONTACT: Dave Dekker
ADDRESS: 105 4th Street SW PHONE: 843-9639

SURVEYOR: Aldrich Land Surveying CONTACT: Tim Aldrich
ADDRESS: 3916 Carlisle, NE Ste G PHONE: 884-1990

CONTRACTOR: n/a CONTACT: _____
ADDRESS: _____ PHONE: _____

PRE-DESIGN MEETING

☒ YES

☐ NO

☐ COPY OF CONFERENCE RECAP
SHEET PROVIDED

DRB NO. 93-78

EPC NO. _____

PROJ NO. _____

TYPE OF SUBMITTAL

☐ DRAINAGE REPORT

☒ DRAINAGE PLAN

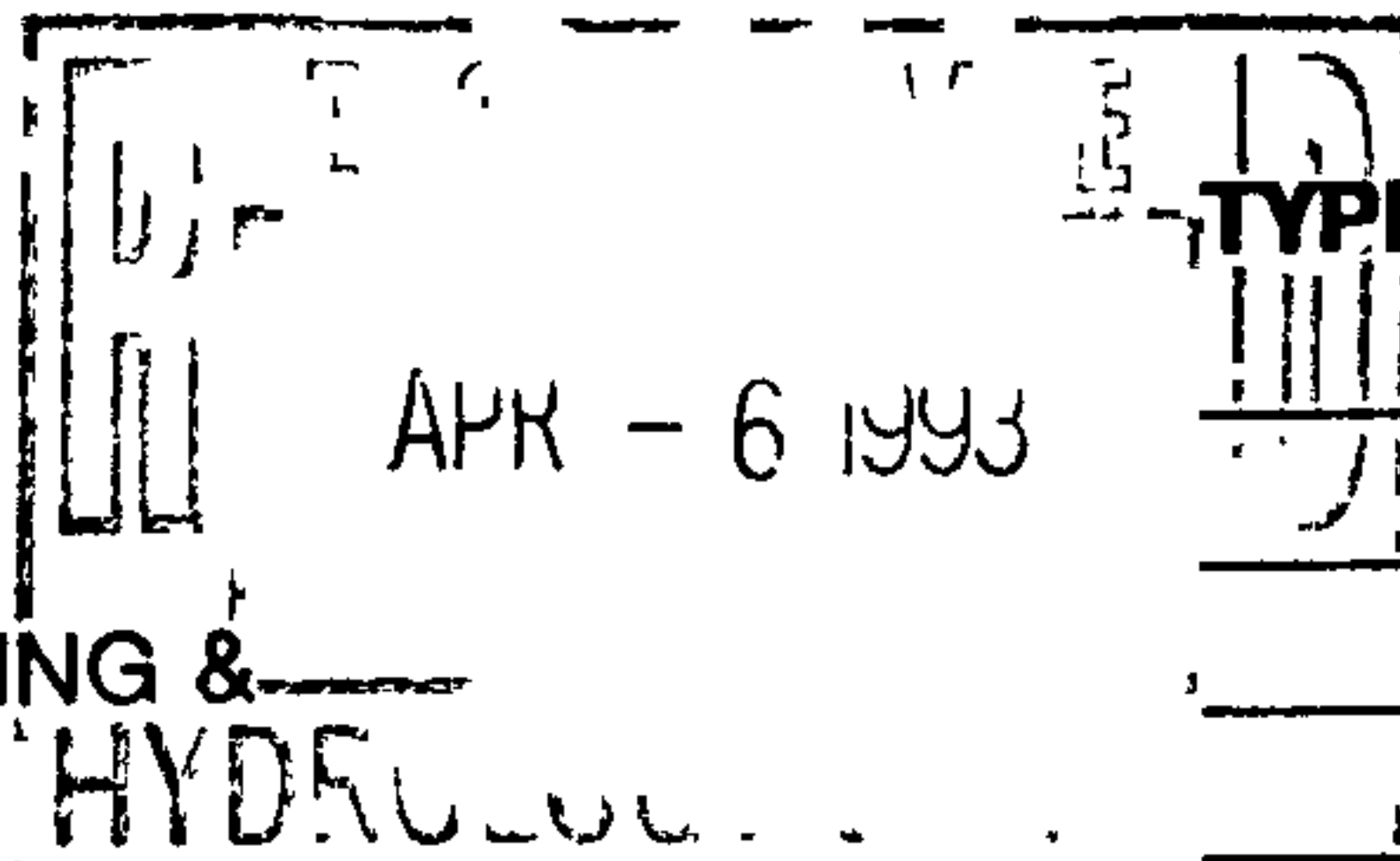
☐ CONCEPTUAL GRADING &

☐ DRAINAGE PLAN

☒ GRADING PLAN

☐ EROSION PLAN

☐ ENGINEER'S CERTIFICATION



TYPE OF APPROVAL SOUGHT

☐ SKETCH PLAT APPROVAL

☐ PRELIMINARY PLAT APPROVAL

☐ SITE DEVELOPMENT PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☒ BUILDING PERMIT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☐ CERTIFICATION OF OCCUPANCY APPROVAL

☐ ROUGH GRADING PERMIT APPROVAL

☐ GRADING / PAVING PERMIT APPROVAL

☐ OTHER _____

DATE SUBMITTED: April 6, 1993

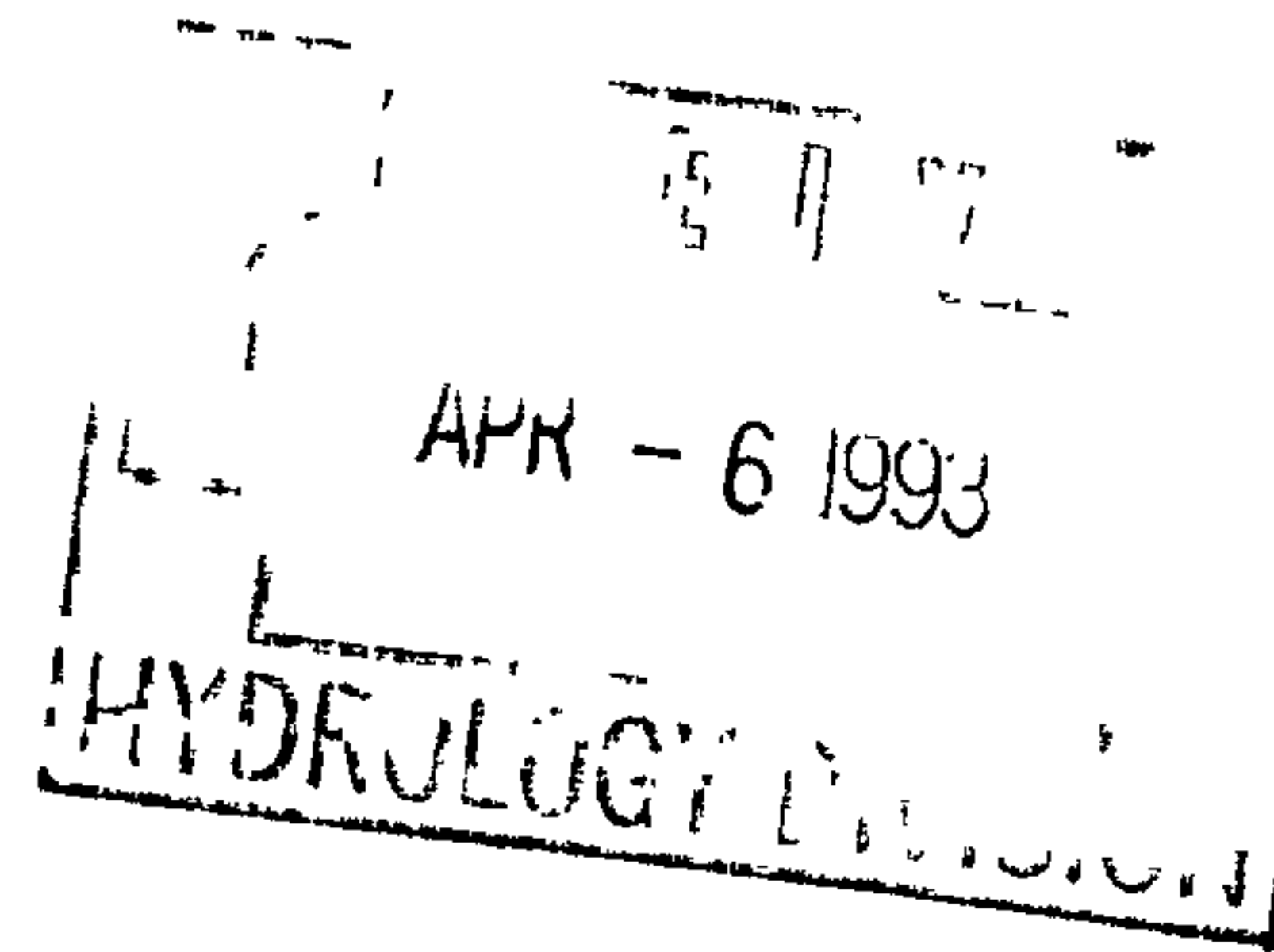
BY: John M. MacKenzie
John M. MacKenzie, PE



D. Mark Goodwin & Associates, P.A.
Consulting Engineers and Surveyors
P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 828-2200

April 6, 1993

Mr. Gilbert Aldaz, P.E. & P.S.
City/County Floodplain Administrator
Hydrology Department
City of Albuquerque
PO Box 1293
Albuquerque, New Mexico 87103



**Re: DRAINAGE PLAN FOR GRUET WINERY - REPLIES TO COMMENTS RECEIVED
MARCH 30, 1993, (C-18/D02)**

Dear Mr. Aldaz:

At this time, we are providing replies and/or additional information to address your comments that were received in our office on March 31, 1993. We appreciate your efforts to fax these comments to our office on March 26, 1993.

The reason for our analysis was to evaluate the area's present hydrologic conditions and to determine if the proposed building's position and adjacent properties would be impacted during a 100-year flood occurrence under existing conditions. A report entitled "North and South Domingo Baca Arroyos and Paseo del Norte Corridor Drainage Management Plan" (DBADMP) dated December 1991, by Resource Technology, Inc., as referenced in our original submittal, has been endorsed by AMAFCA and was the primary source of hydrologic information for our site analysis. To manage increased runoff due to future development within this Plan's area, construction of a storm water detention facility upstream from our site near Louisiana Boulevard was recommended in the DBADMP. Anticipated gradual release of detained flow will consist of a 48" storm drain connected into one of the concrete box culverts presently existing under I-25. In addition, with storm water inlet improvements planned within the Vumoor Mobile Home Park and in Anaheim Avenue NE (S.A.D 221), local surface flows generated between the proposed dam location and I-25 will be virtually eliminated. However, since the timing of property acquisition and facilities construction has not been finalized (although construction may begin as early as the fall of 1993), we will analyze the site's hydrologic aspects based upon the existing, undeveloped upstream conditions.

As presented in TABLE 5-6 of the DBADMP (copy enclosed), existing 100-yr. 24-hr. storm flows on the North Branch and South Branch of the North Domingo Baca Arroyo at Interstate 25 are 626 cfs and 392 cfs, respectively. These flows were confirmed by Mr. Don Dixon at Resource Technologies, Inc.

With this resubmittal, we are requesting issuance of a Floodplain Variance for this site. Also of note, the proposed building's position has been shifted slightly north, thus further removing it from the floodplain's reach.

The following numbered items refer directly to each of the received comments:

1. A copied section of the official Flood Insurance Rate Map, panel no. 3500020010 C, has been included with this submittal.

2. Placement of the referenced detention facility will likely remove the 100-year floodplain condition from our site. Since the establishment of the present floodplain boundary was not a site-specific task, we have performed a more detailed study of the floodplain at this site to show this is a safe property to develop. As displayed on the attached plan, the theoretical high-water mark (sequent depth) during the 100-year, 24-hour storm will not be altered due to the building's proposed location and parking lot layout. This should demonstrate good and sufficient cause for the City to grant this applicant a Floodplain Variance.

To deny this variance when we have credibly shown that development of this site will not endanger the public's interests, would result in hardship to the applicant. In addition, no grading of the ground surface beneath the floodplain water surface should occur with this development. Therefore, with no change to the existing conditions, there will not be an increase in flood heights, there will not be a decline in public safety nor an increase in public expense, it will not create a nuisance, it will not involve fraud or public victimization, nor will it conflict with existing local laws or ordinances.

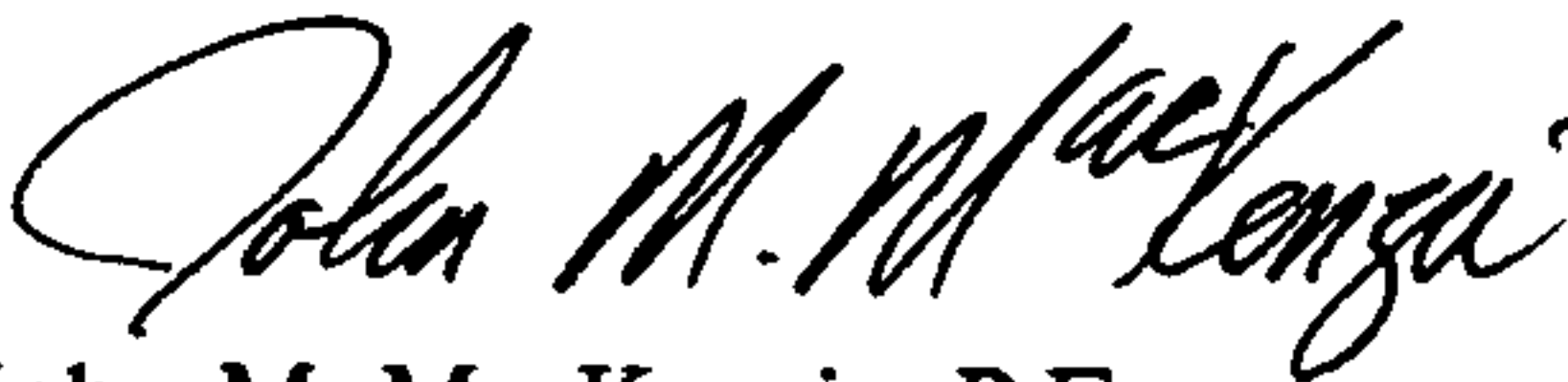
3. The applicant recognizes that this site is in the official 100-year floodplain, and, for an unknown period, the property could be subject to flood insurance until a Letter of Map Revision or a FEMA restudy is completed in this area.
4. The north and south branches of the North Domingo Baca Arroyo (with existing 100-year, 24-hour flows prior to upstream dam construction) have been labeled on the plan.
5. Erosion setback limits at 6 feet per 100 cfs have been shown on the plan. The parking lot setback of 2 feet per 100 cfs is consistent with what has been accepted on similar project submittals in the recent past (MCT Industrial Park, adjacent to the North El Camino Arroyo between San Mateo and I-25, February 1993).
6. The planned 20' drainage easement along the eastern site boundary was imposed during the creation of Special Assessment District 221. It is likely that any design of facilities in this easement will be submitted for approval by Wilson & Co. Engineers.
7. A profile of the arroyo flowline, high-water surface, top of footing and finished floor will be included with this submittal.
8. The initially proposed cutoff is no longer planned for this site.
9. HEC2 cross-sections have been rearranged, and reach lengths were shortened in an effort to eliminate the error message "CONVEYANCE CHANGE OUTSIDE OF ACCEPTABLE RANGE."
10. Based upon an evaluation of the culverts in and around the intersection of I-25 and Paseo del Norte by Resource Technology, Inc. (Figure 6-1 in the DBADMP), the North Domingo Baca Arroyo's South Branch 100-year, 24-hour flow beneath I-25 is approximately 35% of the culvert's estimated total capacity. Therefore, we felt a HEC2 analysis was not warranted. The estimated headwater depth on the North Domingo Baca Arroyo's North Branch as shown on the plan, was determined from the Department of Transportation Highway Culverts Capacity nomograph (CHART 2) to be 0.46 feet above the inlet soffits of the culvert group. This method has been accepted on previous submittals (Don Morgan Subdivision, November 1992).

11. Bulking factor selection is a poorly defined gray area. Factors can range anywhere from zero to twenty percent. Thirteen is an arbitrary, relatively conservative estimate for this area of North Albuquerque Acres.
12. Existing grades along the frontage road are now show on the revised grading and drainage plan. Near the intersection of this site's north property line and the I-25 R.O.W., there is an existing high-point from which the natural terrain slopes down toward the north branch and down toward the south branch. A traffic entrance at this location would not interfere with present or future surface runoff patterns.
13. The 2' wide concrete channel was sized to accommodate the on-site runoff of 9.38 cfs (see AHYMO output and calculations).
14. The plan scale has been changed.
15. A storm drain easement will be dedicated to AMAFCA on the plat.
16. A reciprocal use agreement between the applicant and the owner(s) of the property to the north will be executed and a copy provided to your office as soon as it has been completed.
17. The finished floor elevation has been adjusted, but still remains 12 inches above the maximum floodplain elevation at the building's southeast corner.

If you should have and further questions about any of the covered issues, please do not hesitate to contact me at 828-2200.

Sincerely,

D. MARK GOODWIN & ASSOCIATES, P.A.


John M. MacKenzie, P.E.

JMM/smr



D. Mark Goodwin & Associates, P.A.
Consulting Engineers and Surveyors

PROJECT _____

SUBJECT _____

BY _____ DATE _____

CHECKED _____ DATE _____

SHEET 1 OF 17

*Design Analysis
Gruct Winery
April 1993*





PROJECT Gruet Winery
SUBJECT Drainage
BY JMM DATE 4/6/93
CHECKED _____ DATE _____
SHEET 2 OF 17

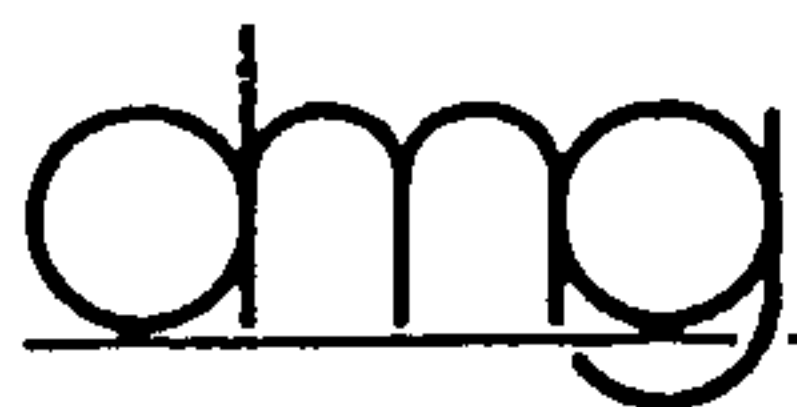
Section No.	* AREA	* TOP WIDTH	* ACH	Hydraulic depth d_H	Froude N_F	* DEPTH	Segment Depth d_s	* EL MIN	Design Water Surface
5	70.36	12.90	4.30	0.97	1.13	3.01	3.54	203	206.54
6	55.29	39.05	8.01	1.42	1.18	2.71	3.37	202	205.37
7	42.36	31.61	9.35	1.50	1.34	2.29	3.34	201	204.34
8	51.06	35.80	8.68	1.43	1.28	2.12	2.92	200	202.92
9	58.09	32.64	7.63	1.78	1.01	2.41	2.44	199	201.44

Hydraulic Depth = $\frac{ACH}{TOP WIDTH}$

Segment Depth (d_s) = $DEPTH(0.5)(\sqrt{1 + 8N_F} - 1)$

Design Water Surface = $EL MIN + d_s$

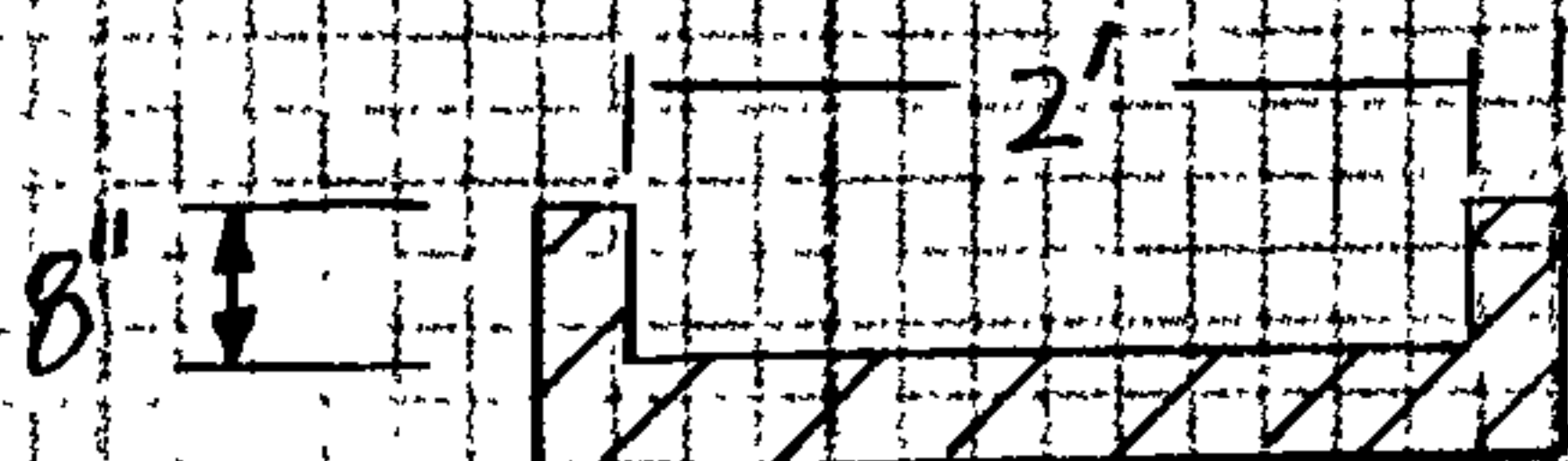
* Obtained from HEC-2 output



D. Mark Goodwin & Associates, P.A.
Consulting Engineers and Surveyors

PROJECT Gruet Winery
SUBJECT Drainage
BY JMM DATE 4/6/93
CHECKED _____ DATE _____
SHEET 3 OF 17

2' wide Concrete Swale Capacity



$$W.P. = 3.34 \quad \text{Area} = 1.34 \text{ ft}^2$$

$$R_H = \frac{1.34}{3.34} = 0.401$$

$$Q = \frac{1.49}{0.015} (1.34)^{0.67} (0.401)^{0.5} (0.0175)^{0.5}$$

Channel Slope = 1.75%

$$Q = 9.55 \text{ cfs}$$

Require Capacity (from AttyMo):

$$Q_{\text{peak}} = 9.38 \text{ cfs}$$

TABLE 5-6

SUMMARY OF FLOWS
NORTH DOMINGO BACA ARROYO
EXISTING CONDITIONS 100-YR. 24-HR. STORM

STREET NAME OR COMMENT	ANALYSIS POINT	DRAINAGE AREA (sq mi)	RUNOFF DEPTH (in.)	RUNOFF VOLUME (ac-ft)	TIME TO PEAK (hrs)	100-YR PEAK DISCHARGE (cfs)
TOT FLOW @ TRAMWAY	902.90	0.92	1.44	71	1.90	912
MAIN ARROYO AT LOWELL	910.19	1.04	1.39	77	1.95	912
MAIN ARROYO AT BROWNIN	912.90	1.33	1.29	92	2.00	966
TOTAL INFLOW AT N DAM	914.19	1.53	1.25	102	2.10	963
OUTFLOW HYD N DAM HAMI	914.99	1.53	1.25	102	3.35	144
DAM HYD @ HOLBROOK	919.19	1.64	1.23	108	1.55	185
DAM HYD AT VENTURA	921.99	2.02	1.15	124	2.10	228
DAM HYD AT BARSTOW	926.79	2.36	1.11	140	1.70	360
DAM HYD @ WYOMING	930.99	2.60	1.12	155	1.65	535
DAM HYD @ LOUISIANA	935.99	2.69	1.11	159	1.75	535
DAM HYD @ SAN PEDRO	940.99	1.60	1.08	92	1.85	380
NB S ARROYO AT I-25	943.99	1.62	1.08	94	1.90	392
NBSA OUTFALL CM H PARK	945.99	1.64	1.09	96	1.90	402
NB N ARROYO AT I-25	942.99	1.87	1.11	111	1.80	626
NBNA OUTFALL CMH PARK	944.99	1.90	1.13	115	1.85	648
CONF N&S NB A CMH PARK	945.09	3.55	1.11	211	1.90	1049