

SITE DATA

PROPOSED USAGE:	BUILDING
LOT AREA:	96,922.58 S.F. (2.2250 ACRES)
TOTAL BUILDING AREA:	62,954.05 S.F.
EXISTING BUILDING AREA:	39,134.00 S.F.
ADDITION BUILDING AREA:	24,962.36 S.F.

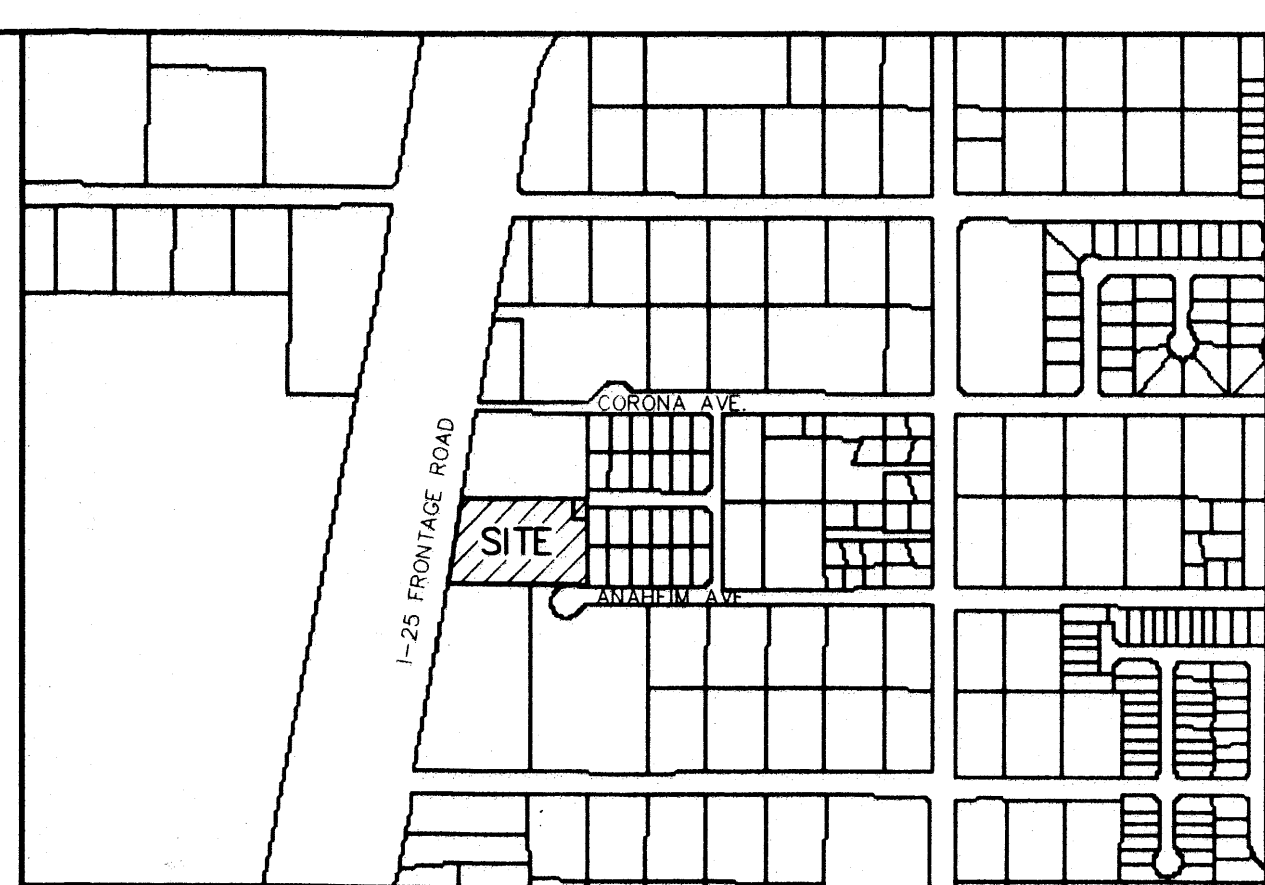
PARKING CALCULATIONS

MANUFACTURING	2,000 SF @ 1/1000	2
EXISTING WAREHOUSE	30,000.00 SF	
UNDERGROUND WAREHOUSE	16,654.77 SF	28
NEW WAREHOUSE	8,307.59 SF	
RECEPTION RETAIL/OFFICE	1,200 SF @ 1/200	6
WATCHMAN'S QTRS	4,253 SF	2
TOTAL REQUIRED		38
TOTAL PARKING PROVIDED		42
HC PARKING REQUIRED		3
HC PARKING PROVIDED		3
MOTORCYCLE PARKING REQUIRED		2
MOTORCYCLE PARKING PROVIDED		2

LEGEND

	BOUNDARY LINE
	NEW BUILDING
	NEW HEADER CURB
	EXISTING BUILDING
	EXISTING HEADER CURB
	EASEMENT
	NEW SIDEWALK PER COA STD. DWG #

CURVE	LENGTH	RADIUS	DELTA ANGLE	TANGENT	CHORD	CHORD DIRECTION
C1	53.25	45.00	67°47'45"	30.24	50.19	S53°40'52"W



VICINITY MAP:

C-18-Z

LEGAL DESCRIPTION:

LOT 25-A, BLOCK 15, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES, CONTAINING 96922.58 S.F. (2.2250 AC)

GENERAL NOTES:

1. CURRENT ZONING IS SU-2 IP.

PROJECT NUMBER: 1002691

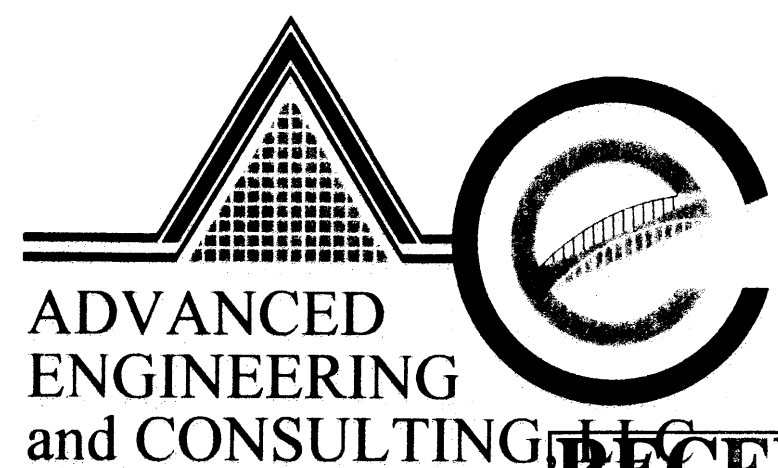
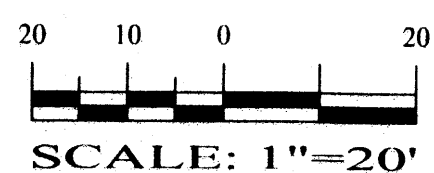
APPLICATION NUMBER: 01DRB-70125

IS AN INFRASTRUCTURE LIST REQUIRED? () YES (X) NO IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

	7/25/07
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
	7/25/07
WATER UTILITIES DEPARTMENT	DATE
	7/25/07
PARKS AND RECREATION DEPARTMENT	DATE
	7/25/07
CITY ENGINEER	DATE
	7/25/07
SOLID WASTE MANAGEMENT	DATE
	7/26/07
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

GRAPHIC SCALE



ADVANCED
ENGINEERING
and CONSULTING

4416 ANAHEIM AVE. NE
ALBUQUERQUE, NEW MEXICO 87113
(505)899-5570

JUN 27 2008

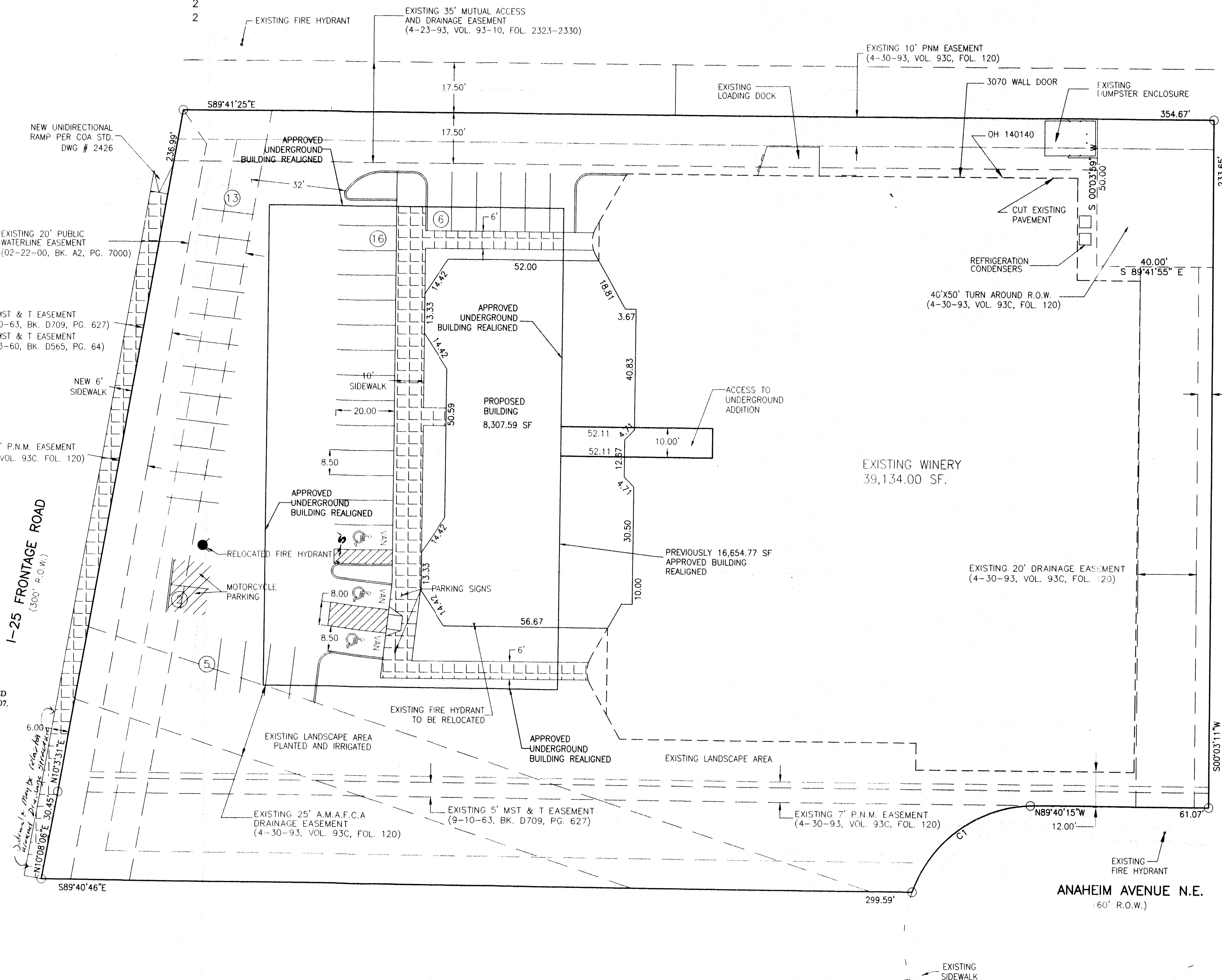
HYDROLOGY
SECTION

GRUET WINERY

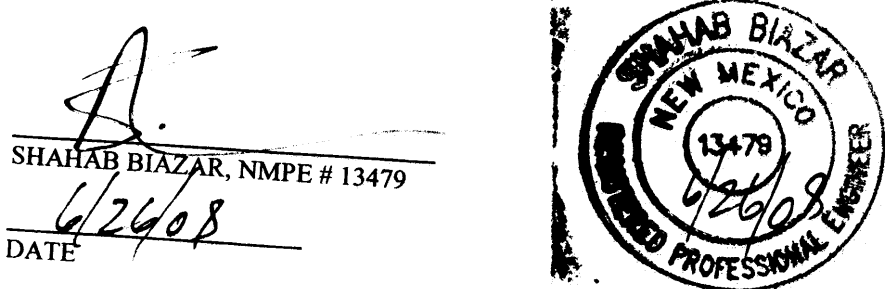
SITE PLAN AMENDMENT FOR BUILDING PERMIT

DRAWING:	DRAWN BY:	DATE:	SHEET #
200619-SITE.DWG	JT	0-08-07	1 OF 1

LAST REVISION: 07-24-07



I SHAHAB BIAZAR, A REGISTERED ENGINEER, CERTIFY THAT THIS PROJECT WAS BUILT IN SUBSTANTIAL COMPLIANCE TO THE APPROVED AMENDED SITE PLAN (BY CITY TRANSPORTATION) DATED JULY 23, 2007. THE SITE WAS INSPECTED BY ADVANCED ENGINEERING AND CONSULTING, LLC ON JUNE 25, 2008.



SHAHAB BIAZAR, NMPE #13479
DATE: 6/26/08



- 1: ADD 5200 TO SPOT ELEVATIONS TO SHOW TRUE ELEVATION.
- 2: CONTOUR INTERVAL IS ONE (1) FOOT.
- 3: ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION MON-9-C18 HAVING AN ELEVATION OF 5236.47 FEET ABOVE SEA LEVEL.
- 4: UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/ OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
- 5: THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
- 6: SLOPES ARE AT 3:1 MAXIMUM.
- 7: DRIVE PADS AND INLET CONSTRUCTION TO BE DONE UNDER THE CITY WORK ORDER.
- 8: ALLEY GUTTER ON-SITE TO BE BUILT BASED ON CITY STD 2415A.

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. ALL THE DISTURBED AREAS MUST BE REVEGETATED.

EXISTING SAS MANHOLE

EXISTING METER

EXISTING VALVE W/BOX

EXISTING FIRE HYDRANT

EXISTING AIR RELEASE VALVE

EXISTING REDUCER

EXISTING SANITARY SEWER LINE

EXISTING WATER LINE

EXISTING CURB & GUTTER

PROPOSED CURB & GUTTER

EXISTING CONTOUR (MAJOR)

EXISTING CONTOUR (MINOR)

BOUNDARY LINE

EASEMENT

LIMITS OF TOP OF EXISTING SLOPE

PROPOSED SIDEWALK

PROPOSED GRADE

PROPOSED SPOT ELEVATION

EXISTING GRADE

EXISTING POWER LINES

100-YEAR WSEL (FROM HEC-RAS OUTPUT)

FLOODPLAIN LIMITS FROM FEMA MAP

PROPOSED EXTENDED STEM WALL

TOP OF RETAINING WALL

TOP OF FOOTING

TOP OF EXTENDED STEM WALL

TOP OF FOOTING

EXISTING DROP INLET

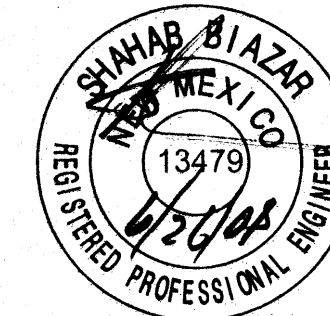
EXISTING STREET LIGHT

EXISTING ANCHOR

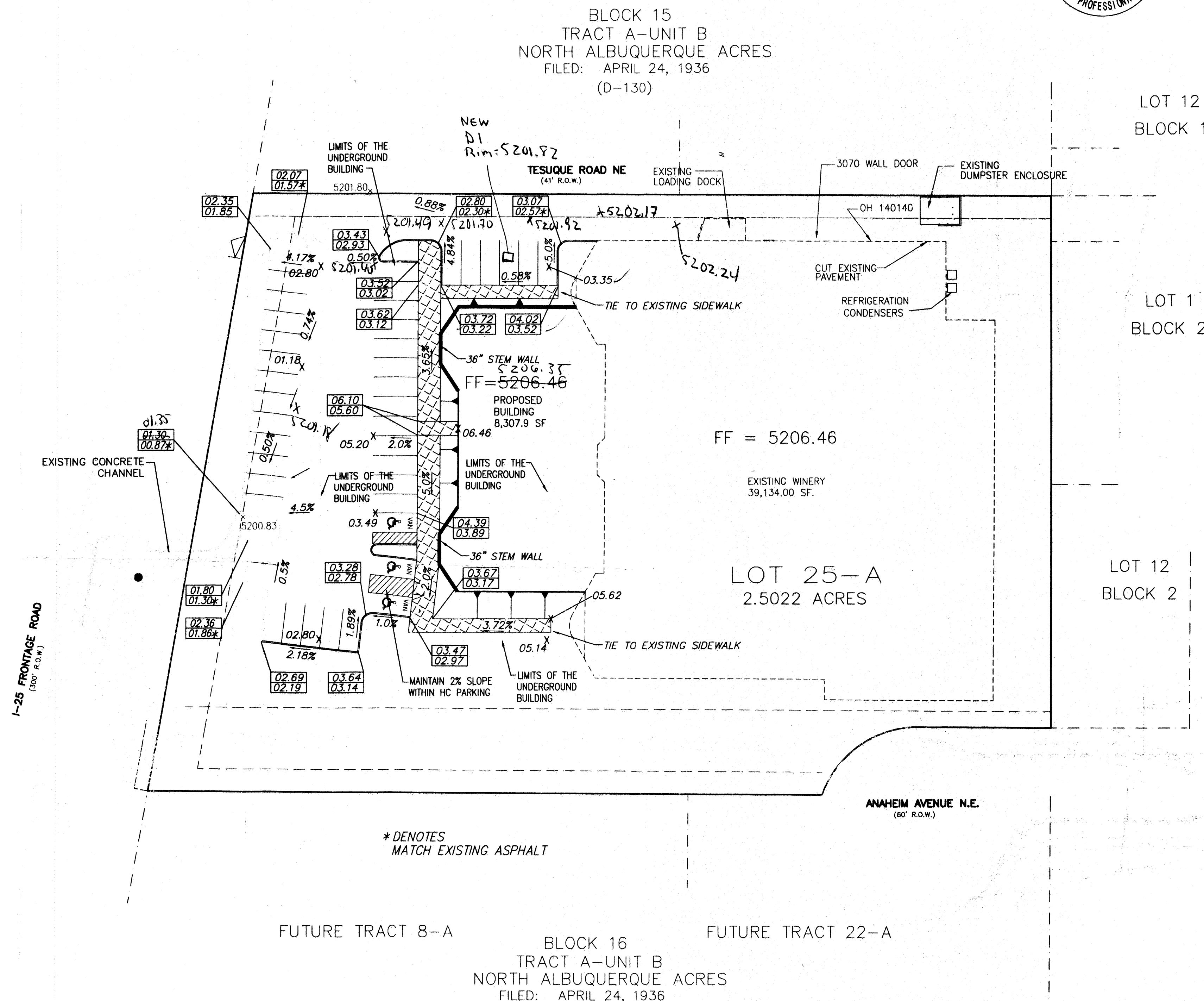
EXISTING POWER POLE

EXISTING RIPRAP

SHAHAB BIAZAR, NMPE # 13479 DATE 6/26/04



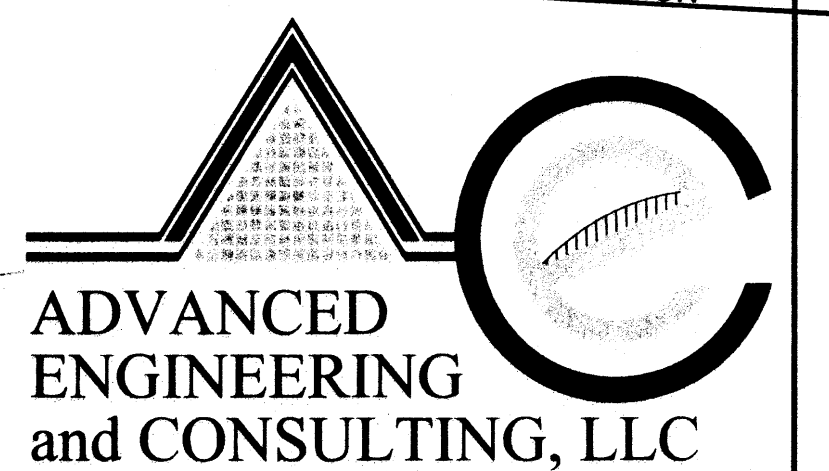
ZONED SU-2 IP



LOT 1
BLOCK 2

LOT 12
BLOCK 2

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

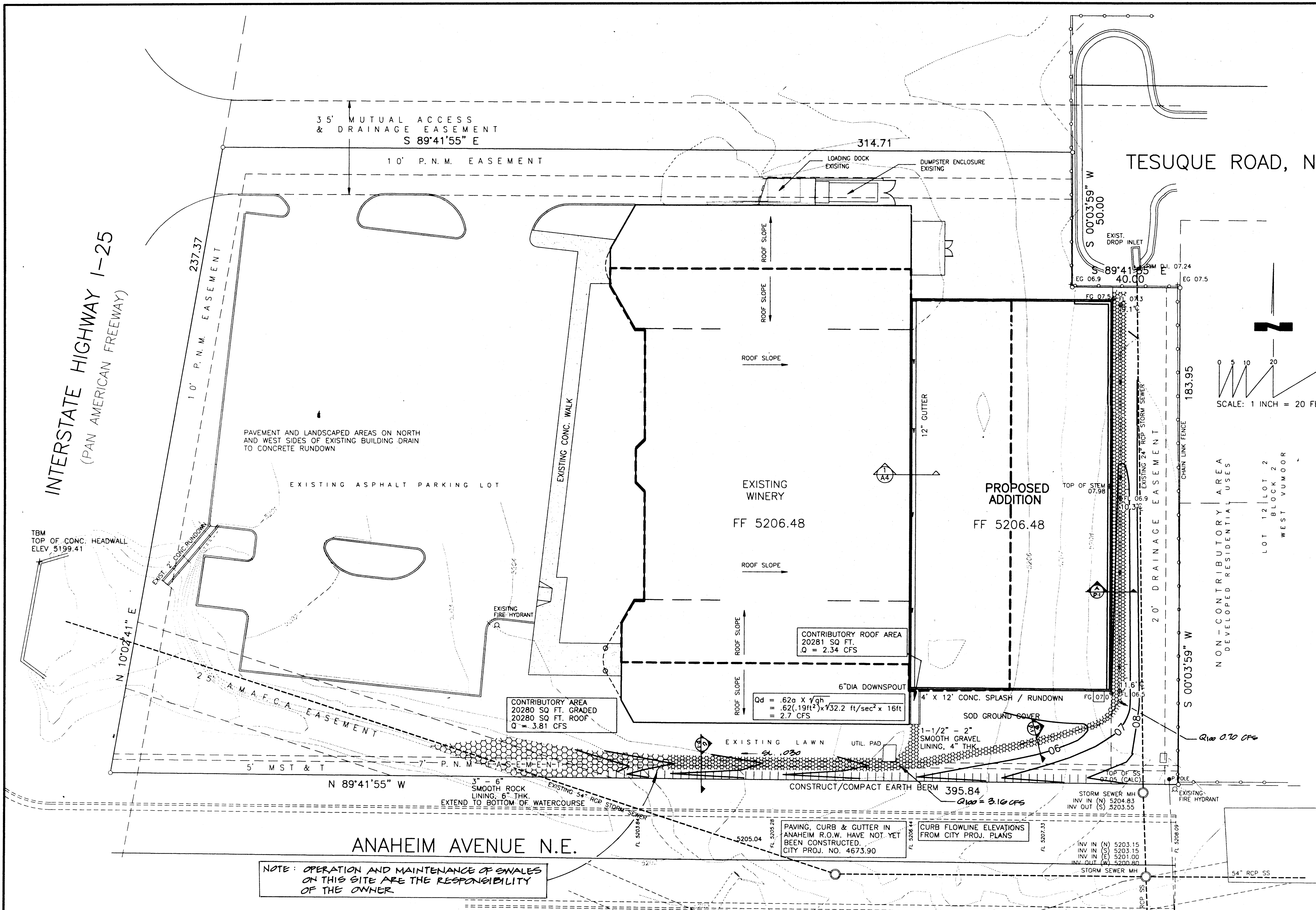
HYDROLOGY
SECTION

4416 ANAHEIM AVE., NE
ALBUQUERQUE, NEW MEXICO 87113
(505)899-5570

DRAWING:	DRAWN BY:	DATE:	SHEET #
200619-GR.DWG	SBB	08-21-2007	16

OF 1

LAST REVISION: 09.21.2007



LEGEND

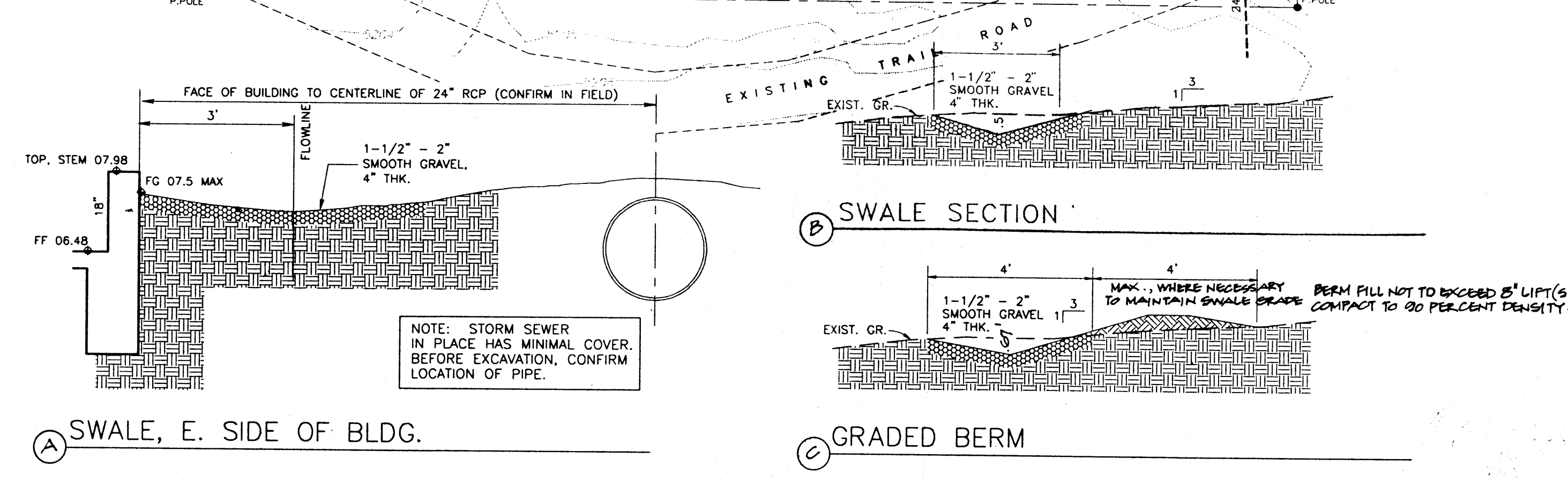
- EXISTING CONTOURS @ 1.0' INTERVALS
- PROPOSED CONTOURS @ 1.0' INTERVALS
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- FLOW LINE
- EXISTING CHAIN LINK FENCE

NOTICE TO CONTRACTOR

PROPOSED CONTOURS SHOWN ARE TO FINISH SURFACES AND ARE PROVIDED FOR THE PURPOSE OF SHOWING FLOW ROUTING.

CONTRACTOR IS RESPONSIBLE FOR THE ABATEMENT OF SEDIMENT ONTO ADJOINING PUBLIC RIGHTS-OF-WAY DURING CONSTRUCTION AND FOR THE REMOVAL OF ANY SEDIMENT DEPOSITED IN PUBLIC RIGHT-OF-WAY.

CONTRACTOR SHALL OBTAIN A "TOPSOIL DISTURBANCE PERMIT" PRIOR TO ANY GRADING OR CONSTRUCTION.



EXISTING ON-SITE CONDITIONS

THE AREA TO BE BUILT UPON IS AN UNPAVED AND UNIMPROVED PORTION OF THE LOT. THERE IS NO PERENNIAL GROWTH WITHIN IT. WITH LITTLE EXCEPTION, EXPOSED SOIL SURFACE HAS BEEN COMPACTED BY VEHICULAR ACTIVITY. FOR THE PURPOSE OF CALCULATIONS, IT HAS BEEN GIVEN TREATMENT VALUE "C"

PROPOSED DEVELOPMENT

10,800 SQUARE FOOT BUILDING ANNEX. NO NEW PARKING OR OTHER PAVEMENT IS TO BE CONSTRUCTED. GRADING IS LIMITED TO OUTLINE DELINEATED HEREON. UNTIL CONSTRUCTION OF PERMANENT STREET IMPROVEMENTS, RUNOFF FROM THIS AREA IS TO BE DIRECTED, WITHIN THE CONFINES OF THIS PROPERTY, VIA A GRADED BERM TO AN OUTFALL POINT AT THE PLATTED A.M.A.F.C.A. EASEMENT.

GRADING AND LINING IMPROVEMENTS ALONG SOUTHERLY LINE ARE TEMPORARY AND ARE TO BE CONSTRUCTED AND AREMAIN IN PLACE UNTIL STREET IMPROVEMENTS ARE COMMENCED AND AN APPROPRIATE LOCATION OF A SIDEWALK CULVERT IS DETERMINED.

DRAINAGE DATA

THIS SITE LIES WITHIN PRECIPITATION ZONE 3

CONDITION	STORM RETURN PERIOD YEAR	TREATMENT TYPE	TREATMENT AREA	EXCESS PEAK RUNOFF		RUNOFF VOLUME CU.FT.	RUNOFF RATE CFS
				PRECIP IN.	CFS/AC		
EXISTING	100	A	18200	0.66	1.87	1927	1.44
		B		0.92	2.60		
		C		1.29	3.45		
		D		2.36	5.02		
EXISTING	10	A	18200	0.19	0.58	940	0.83
		B		0.36	1.19		
		C		0.62	2.00		
		D		1.50	3.39		
DEVELOPED	100	A	3225	0.66	1.87	247	0.19
		B		0.92	2.60		
		C		1.29	3.45		
		D		2.36	5.02		
DEVELOPED	10	A	10800	0.19	0.58	2124	0.33
		B		0.36	1.19		
		C		0.62	2.00		
		D		1.50	3.39		
TOTAL	100		18200			2820	1.76
	10		18200			1663	1.12

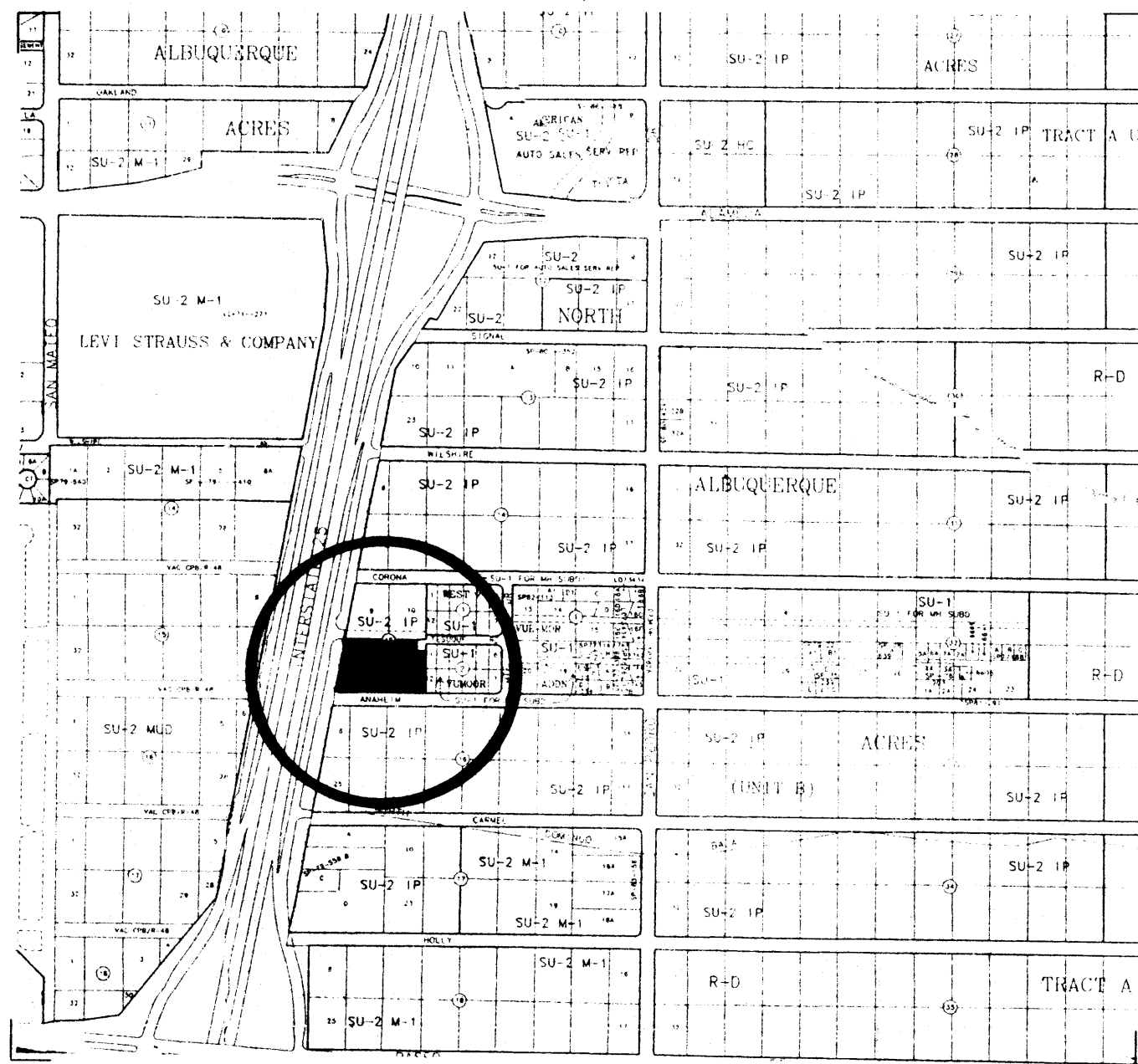
FLOW RATE INCREASES OF 0.32 CFS AND 0.29 CFS FOR THE 100-YEAR AND 10-YEAR STORMS MAY BE EXPECTED. THE 6-HOUR RUNOFF VOLUMES WILL INCREASE BY 893 CUBIC FEET FOR THE 100-YEAR STORM AND 723 CUBIC FEET FOR THE 10-YEAR STORM.

BENCH MARK

9-C18 ACS ALUMINUM CAP IN SW QUADRANT OF THE INTERSECTION OF WILSHIRE AVENUE AND SANPEDRO DRIVE, NE
ELEV. 5229.79

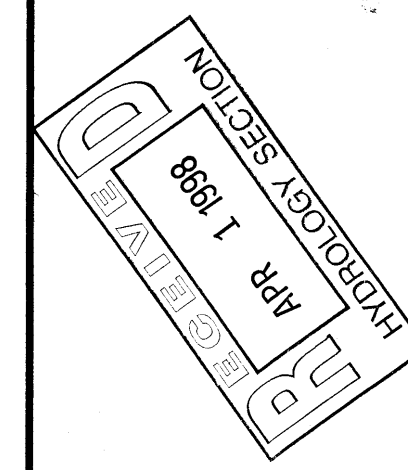
T.B.M.

TOP OF CONCRETE HEADWALL, NORTH SIDE OF CONCRETE BOX CULVERT RUNNING UNDER I-25
ELEV. 5199.41



C-18-Z

HALL ENGINEERING COMPANY INC.
ENGINEERING • SURVEYING • PLANNING • CONSTRUCTION
1116 2ND ST., NW ALBUQUERQUE, NEW MEXICO 87102
PHONE (505) 848-7822 FAX (505) 848-7825



FILE # 756SITE
10 DEC 97

A NEW ADDITION FOR
GRUET WINERY
8400 PAN AMERICAN FRWY N.E.
ALBUQUERQUE, NEW MEXICO

DRAINAGE PLAN

SHEET
D1
OF 1

97 1530

APPROVED A.M.A.F.C.A. REGARDING 25' EASEMENT DATE 3-26-98
Richard Hall 3/18/98