

CITY OF ALBUQUERQUE



March 9, 2018

Eric V. Munn, R.A.
T. I. Design Services
717 Cagua Dr. NE
Albuquerque, NM 87108

Re: Ninja Fitness Academy, 8600 Pan American Fwy NE
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's Stamp dated 12-18-17 (C18D005)
Certification dated 3-8-18

Dear Mr. Munn,

Based upon the information provided in your submittal received 3-8-18, Transportation Development cannot approve the release of Certificate of Occupancy for the above referenced project.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- Label the compact parking spaces by placing the words "**COMPACT**" on the pavement of each space
- Remove ADA marking from pavement on the northwest side of the building.

Once corrections are complete resubmit acceptable package along with a completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. For digital submittal please submit to PLNDRS@cabq.gov. If you have any questions, please contact me at (505) 924-3991.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

MA/RM via: email
C: File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 1/2016)

17AA-10133 Project #1007955

Project Title: Ninja Fitness Acad. Building Permit #: BP-2017-40399 Hydrology File #: CKSP005

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Lot 22A Block 13 NABQ ACRES

City Address: 8600 Pan American Freeway NE ABQ NM 87110

Applicant: T.I. Design Services / Poulin Design Contact: Eric Munn

Address: 717 Cagua Dr. NE ABQ NM 87108

Phone#: 688-2914 Fax#: _____ E-mail: holybarbarian@ga.hoo.com

Other Contact: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ AS-BUILT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ NEIGHBORHOOD IMPACT ASSESMENT (NIA)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☒ OTHER (SPECIFY) AA certify

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY
☐ GRADING/ESC PERMIT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ PRE-DESIGN MEETING?
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

DATE SUBMITTED: 3.8.18 By: [Signature]

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____

FEE RECEIVED: _____

T.I. Design Services - Eric Munn
717 Cagua Drive NE Albuquerque NM

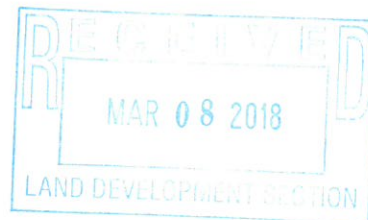
ADMINISTRATIVE AMENDMENT CERTIFICATION

Project #1007955
EM

I, Eric Munn, NMRA/Owner, OF THE FIRM, TI Design Services, HEREBY CERTIFY THAT THIS PROJECT, Ninja Fitness Academy, 8600 Pan American Fwy NE, BP2017-40399, IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED ADMINISTRATIVE AMENDMENT PLAN DATED 12-18-2017. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY Eric Munn OF THE FIRM TI Design Services. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON March 8, 2018_ AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED AND AMENDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR Certificate of Occupancy. *EM*

<LIST EXCEPTIONS, IF ANY>

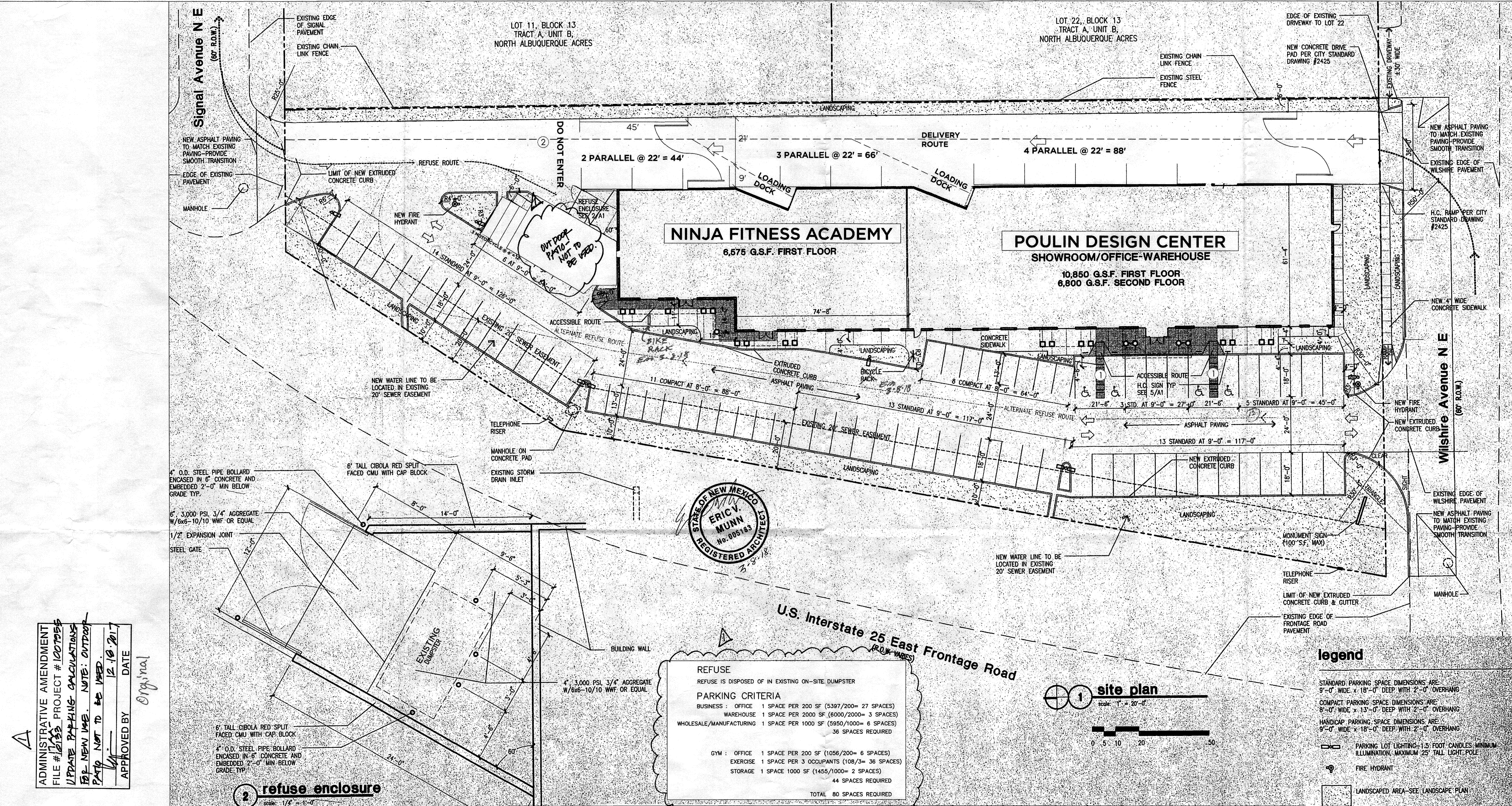
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



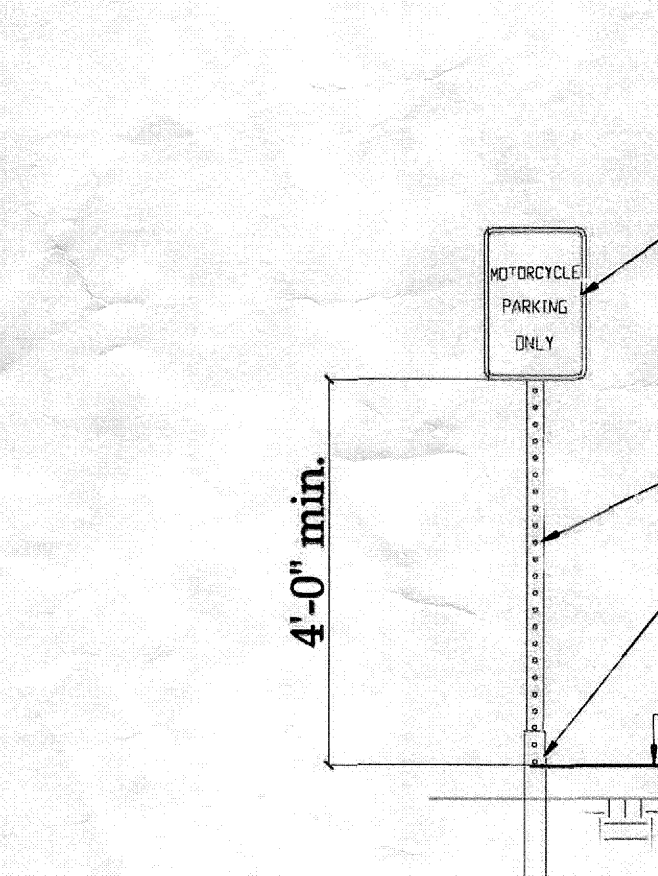
ENGINEER'S OR ARCHITECT'S STAMP

Signature of Engineer or Architect

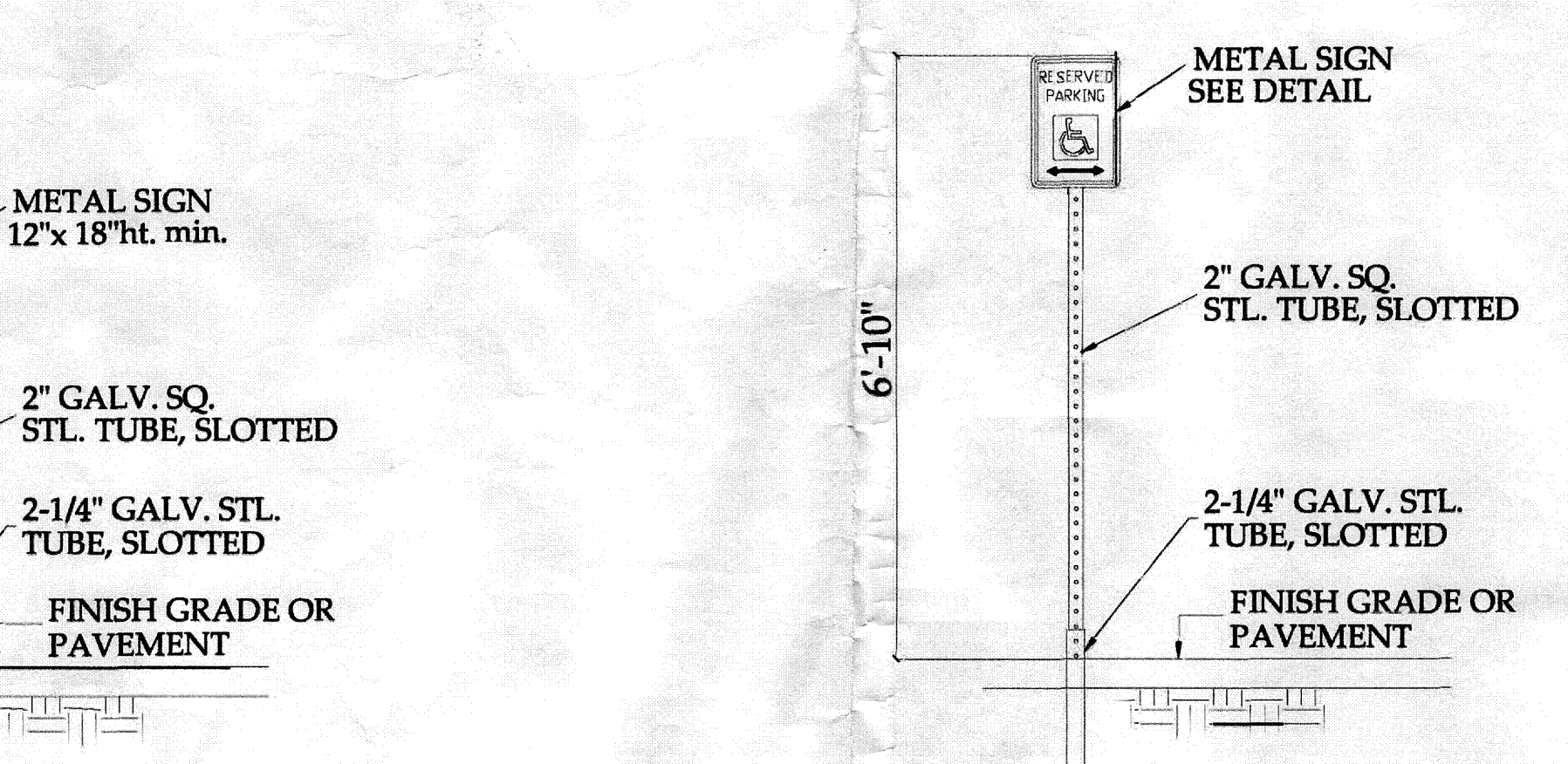
March 8, 2018
Date



ADMINISTRATIVE AMENDMENT
FILE #17-133 PROJECT #100715
UPDATE PARKING CALCULATIONS
FOR NEW USE. NOTE: OUTDOOR
PATIO NOT TO BE USED.
APPROVED BY DATE
12.10.2017
Original



Motorcycle Parking Sign
N.T.S. NMAC, SECTION 14.7.2.19 J



Handicap Sign
N.T.S. NMAC, SECTION 14.7.2.19 J

REFUSE

REFUSE IS DISPOSED OF IN EXISTING ON-SITE DUMPSTER

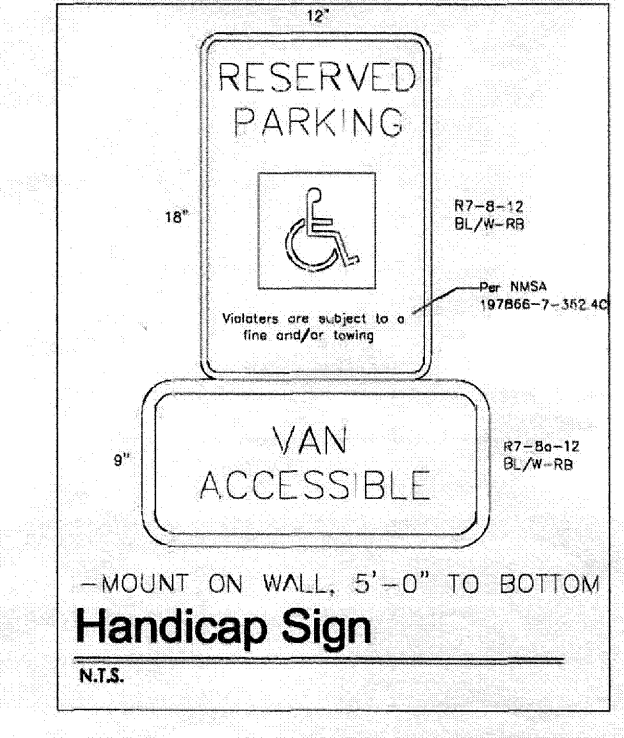
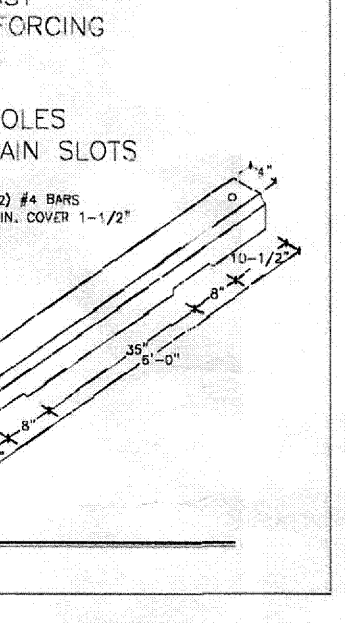
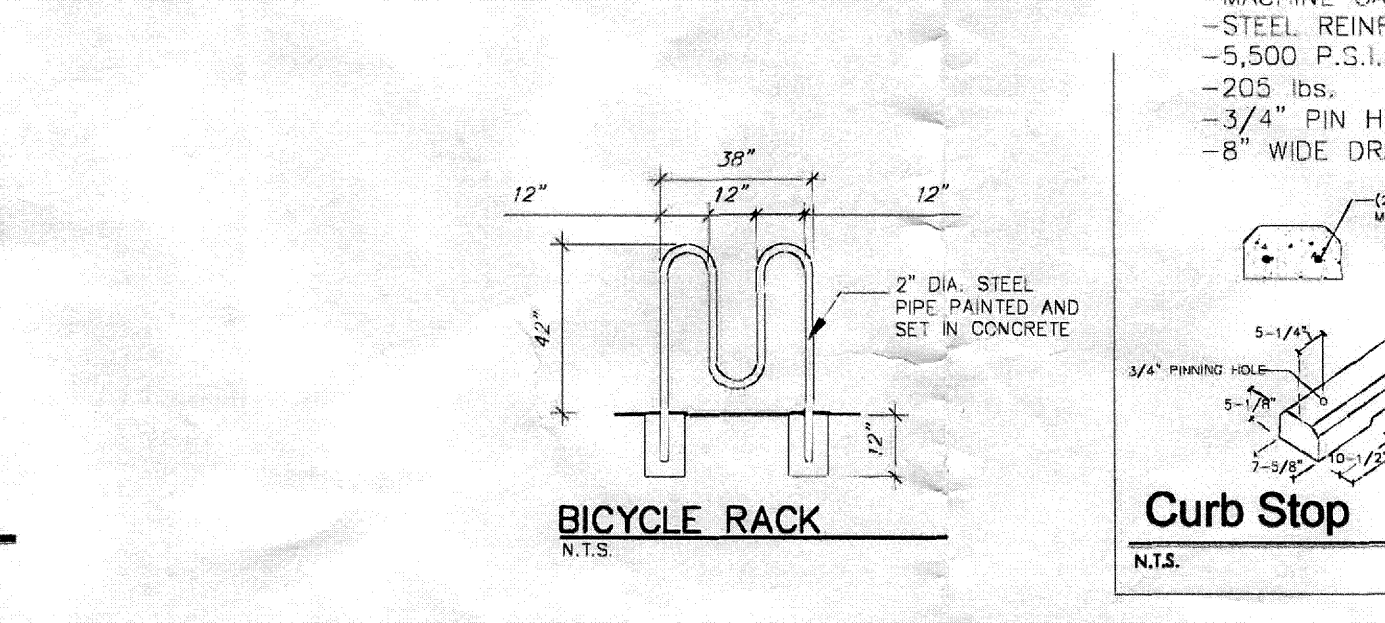
PARKING CRITERIA

BUSINESS : OFFICE	1 SPACE PER 200 SF (5397/200= 27 SPACES)
WAREHOUSE	1 SPACE PER 2000 SF (8000/2000= 3 SPACES)
WHOLESALE/MANUFACTURING	1 SPACE PER 1000 SF (5950/1000= 6 SPACES)
	36 SPACES REQUIRED
GYM : OFFICE	1 SPACE PER 200 SF (1056/200= 6 SPACES)
EXERCISE	1 SPACE PER 3 OCCUPANTS (108/3= 36 SPACES)
STORAGE	1 SPACE 1000 SF (1455/1000= 2 SPACES)
	44 SPACES REQUIRED
	TOTAL 80 SPACES REQUIRED

KEYED NOTES

1. ACCESS AISLE SHALL HAVE THE WORDS "NO PARKING" IN CAPITAL LETTERS EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST 2" WIDE PLACED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S REAR TIRES WOULD BE PLACED (66-1-4.1.B NMSA 1978)

2. PAINT NEW LETTERS AND CHARACTERS ON EXISTING ASPHALT PAVEMENT



site plan
scale: 1" = 20'-0"

0 5 10 20 30 40 50

legend

STANDARD PARKING SPACE DIMENSIONS ARE:
9'-0" WIDE x 18'-0" DEEP WITH 2'-0" OVERHANG

COMPACT PARKING SPACE DIMENSIONS ARE:
9'-0" WIDE x 13'-0" DEEP WITH 2'-0" OVERHANG

HANDICAP PARKING SPACE DIMENSIONS ARE:
9'-0" WIDE x 18'-0" DEEP WITH 2'-0" OVERHANG

PARKING LOT LIGHTING-1.5 FOOT CANDLES MINIMUM ILLUMINATION MAXIMUM 25' TALL LIGHT POLE

FIRE HYDRANT

LANDSCAPED AREA-SEE LANDSCAPE PLAN

EDGE OF EXISTING PAVEMENT/ROAD

ADA COMPLIANT ACCESSIBLE ROUTE
36" MINIMUM CLEAR WIDTH 1:20 MAXIMUM RUNNING SLOPE 1:48 MAXIMUM CROSS SLOPE

note

SITE TO BE REPLANTED TO REMOVE INTERMEDIATE LOT LINE. PROPERTY LINES SHOWN INDICATE REPLANT.

SITE PLAN
1" = 20'-0"

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THESE PLANS ARE COPYRIGHTED AND PROTECTED UNDER SEC. 802 OF THE UNITED STATES COPYRIGHT ACT, AS AMENDED, 17 U.S.C. SEC. 101 et seq. (THE ACT) AS BOTH "ARCHITECTURAL PLANS" AND "ARCHITECTURAL WORK". THE ACT PROTECTS THESE PLANS AND ANY OTHER WORKS OF ART OR LETTERS, INCLUDING BUT NOT LIMITED TO, THE PROTECTION EXTENDS TO THE OVERALL FORM AS WELL AS THE ARRANGEMENTS AND COMPOSITION OF THE SPACES AND ELEMENTS IN THE DESIGN.

NO.	DESCRIPTION	BY	DATE

CUSTOMER AUTHORIZATION:

DATE

HOMEOWNER

POULIN REPRESENTATIVE

DATE

PROJECT ADDRESS

Suite A
8600 Pan American Fwy NE
Albuquerque, NM, 87110

DATE 12/14/2017

1 OF 1
TCL