

Martin J. Chávez, Mayor

July 11, 1996

Chris Weiss, P.E.
C.L. Weiss Engineering, Inc.
Post Office Box 97
Sandia Park, New Mexico 87047

**RE: ENGINEER'S CERTIFICATION FOR LOT 30, BLOCK 33, TRACT A, UNIT B, NAA
(C18/D6), SUBMITTED FOR CERTIFICATE OF OCCUPANCY APPROVAL,
ENGINEER'S STAMP DATED 6/25/96.**

Dear Mr. Weiss:

The above referenced Engineer's Certification provided on June 25, 1996 for the Gold Cup Gymnastics School located at 6201 Carmel NE is acceptable for Certificate of Occupancy release.

If you should have any questions, or if I may be of further assistance to you, please do not hesitate to call me.

Sincerely,

Susan M. Calongne, P.E.
City/County Floodplain Administrator

c: Andrew Garcia, City Hydrology
File



DRAINAGE INFORMATION SHEET

Δ6

PROJECT TITLE: Lot 30, Block 33, Tract A, Unit B, NAA ZONE ATLAS / DRNG. FILE #: C18-D16
LEGAL DESCRIPTION: Lot 30, Block 33, Tract A, Unit B, NAA, Albuquerque, New Mexico
CITY ADDRESS: N/A

ENGINEERING FIRM: <u>C.L. Weiss Engineering</u>	CONTACT: <u>Chris Weiss</u>
ADDRESS: <u>P.O. Box 97, Sandia Park NM, 87047</u>	PHONE: <u>281-1800</u>
OWNER: _____	CONTACT: _____
ADDRESS: _____	PHONE: _____
ARCHITECT: <u>N/A</u>	CONTACT: _____
ADDRESS: _____	PHONE: _____
SURVEYOR: <u>Forstbauer Surveying Co.</u>	CONTACT: <u>Ron Forstbauer</u>
ADDRESS: <u>1100 Alvarado Dr. NE - 87110</u>	PHONE: <u>268-2112</u>
CONTRACTOR FIRM: <u>N/A</u>	CONTACT: _____
ADDRESS: _____	PHONE: _____

PRE-DESIGN MEETING:

☐ YES
☒ NO
☐ COPY OF CONFERENCE RECAP
SHEET PROVIDED

DRB NO. _____
EPC NO. _____
PROJ. NO. (C18/D16)

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT
☐ PRELIMINARY PLAT
☐ SITE DEVELOPMENT PLAN
☐ FINAL PLAT
☐ BUILDING PERMIT
☐ FOUNDATION PERMIT
☒ CERT. OF OCCUPANCY
☐ ROUGH GRADING PERMIT
☐ GRADING / PAVING PERMIT
☐ OTHER _____

DATE SUBMITTED: June 25, 1996
BY: C.L. Weiss Engineering, Inc.

JUN 25 1996



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

November 13, 1995

Chris Weiss, P.E.
C.L. Weiss Engineering, Inc.
Post Office Box 97
Sandia Park, New Mexico 87047

**RE: GRADING AND DRAINAGE PLAN FOR LOT 30, BLK 33, TR A, UNIT B,
NAA, (C18/D6), SUBMITTED FOR BUILDING PERMIT APPROVAL,
ENGINEER'S STAMP DATED 10/16/95.**

Dear Mr. Weiss:

Since the easement and covenant for the proposed pond on Lot 31 is in place, the above referenced plan is approved for Building Permit release

The Engineer's Certification per the D.P.M. will be required prior to Certificate of Occupancy release. This certification must also include the pond on Lot 31.

If you should have any question, please call me at 768-2666.

Sincerely,

Susan M. Calongne, P.E.
City/County Floodplain Administrator

c: Andrew Garcia, City Hydrology
File

DRAINAGE INFORMATION SHEET

PROJECT TITLE: Lot 30, Block 33, Tract A, Unit B, NAA ZONE ATLAS / DRNG. FILE #: C-18/116
LEGAL DESCRIPTION: Lot 30, Block 33, Tract A, Unit B, NAA, Albuquerque, New Mexico
CITY ADDRESS: N/A

ENGINEERING FIRM: C.L. Weiss Engineering CONTACT: Chris Weiss

ADDRESS: P.O. Box 97, Sandia Park NM, 87047 PHONE: 281-1800

OWNER: _____ CONTACT: _____

ADDRESS: _____ PHONE: fax 266-8560

ARCHITECT: N/A CONTACT: _____

ADDRESS: _____ PHONE: _____

SURVEYOR: Forstbauer Surveying Co. CONTACT: Ron Forstbauer

ADDRESS: 1100 Alvarado Dr. NE - 87110 PHONE: 268-2112

CONTRACTOR FIRM: N/A CONTACT: _____

ADDRESS: _____ PHONE: _____

PRE-DESIGN MEETING:

____ YES

X NO

____ COPY OF CONFERENCE RECAP
SHEET PROVIDED

DRB NO. _____

EPC NO. _____

PROJ. NO. (C18/D16)

TYPE OF SUBMITTAL:

____ DRAINAGE REPORT

X DRAINAGE PLAN

____ CONCEPTUAL GRADING & DRAINAGE PLAN

X GRADING PLAN

____ EROSION CONTROL PLAN

____ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

____ SKETCH PLAT

____ PRELIMINARY PLAT

____ SITE DEVELOPMENT PLAN

____ FINAL PLAT

X BUILDING PERMIT

____ FOUNDATION PERMIT

____ CERT. OF OCCUPANCY

____ ROUGH GRADING PERMIT

____ GRADING / PAVING PERMIT

____ OTHER _____

DATE SUBMITTED: October 18, 1995

BY: C.L. Weiss Engineering, Inc.

OCT 23 1995



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 31, 1995

Chris Weiss, P.E.
C.L. Weiss Engineering, Inc.
Post Office Box 97
Sandia Park, New Mexico 87047

**RE: GRADING AND DRAINAGE PLAN FOR LOT 30, BLK 33, TR A, UNIT B,
NAA, (C18/D6), SUBMITTED FOR BUILDING PERMIT APPROVAL,
ENGINEER'S STAMP DATED 10/16/95.**

Dear Mr. Weiss:

Based on the information provided in the submittal of October 23, 1995, the above referenced plan is approved for Building Permit release, however the easement and covenant for the proposed pond on Lot 31 must be in place before the building permit will be issued. In this case the appropriate form to use is the "Private Facility Drainage Covenant and Reservation of Drainage Easement" form. Please notify me when the easement is filed.

As you are aware, the Engineer's Certification per the D.P.M. will be required prior to Certificate of Occupancy release. This certification must also include the pond on Lot 31.

Please advise the owner that he will be responsible for the construction of the on-site storm drain facilities when the ultimate storm drain is constructed in Carmel adjacent to this site. The on-site improvements must be constructed in accordance with this approved plan.

At this time, the request for the Letter of Map Revision to remove the floodplain due to the Lower North Domingo Baca Dam is still in review at the Federal Emergency Management Agency (FEMA). The existing floodplain at the northern portion of this site will remain until FEMA approves the revision. Therefore, the owner may be required to pay flood insurance until the floodplain is removed. I will notify you when the Letter of Map Revision is issued by FEMA, so that you may inform the owner.

If you should have any question, please call me at 768-2666.

Sincerely,

Susan M. Calongne, P.E.

City/County Floodplain Administrator

c: Andrew Garcia, City Hydrology
File



C.L. Weiss Engineering, Inc
Post Office Box 97
Sandia Park, N.M. 87047

Phone / Fax (505) 281-1800
Alvarado Office (505) 266-3444

October 20, 1995

Ms. Susan M. Calongne, PE
City / County Floodplain Administrator
City of Albuquerque
POBox 1293
Albuquerque, NM 87102

RE: LOT 30, BLOCK 33, TRACT A, UNIT B, NAA (C18/D6)

Dear Ms. Calongne,

Enclosed with this letter is a revised Drainage / Grading Plan and supporting data for the above mentioned property. In response to your letter dated September 29, 1995, the following revisions have been made:

1. The ultimate storm drain in Carmel adjacent to this site has been designed. See sheet 3 of the submitted set for information. We have submitted this information to the DRC and have a meeting scheduled for Wednesday, October 25 at 3:00 p.m.
2. Paved access identified (see temporary paving plan - sheet 1 - for temporary paved access, see Carmel Plan and Profile - sheet 3 - for ultimate paved access).
3. Drainage Covenant and Drainage Easement for Lots 30 and 31 have been prepared, notarized and are ready to record as soon as I enter the date of the plan approval. See copies enclosed with this submittal. No easement is required from Lot 32 as all developed flows from Lot 30 will be ponded on Lot 31 until the ultimate storm drain solution is constructed at which time, all equivalent developed flows from Lot 30 will be picked up and taken to the Paseo Del Norte Storm Drain (future).
4. The ultimate storm drain in San Pedro to Paseo Del Norte has been designed. See sheet 3 of the submitted set for information.

Our Client, Mr. Ed Burch, would greatly appreciate your expedience with this matter. Please don't hesitate to call me at 266-3444 or Chris Weiss, Project Engineer at 281-1800 with any questions, comments or concerns.

Sincerely,



Bryan J. Bobrick, Project Manager
C.L. Weiss Engineering, Inc.

::reviewed and approved by C.L. Weiss, P.E.
Principle Engineer

OCT 23 -



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

September 29, 1995

Chris Weiss, P.E.
C.L. Weiss Engineering, Inc.
Post Office Box 97
Sandia Park, New Mexico 87047

RE: GRADING AND DRAINAGE PLAN FOR LOT 30, BLK 33, TR A, UNIT B,
NAA, (C18/D6), SUBMITTED FOR FOUNDATION PERMIT AND
BUILDING PERMIT APPROVAL, ENGINEER'S STAMP DATED 9/27/95.

Dear Mr. Weiss:

Based on the information provided in the submittal of September 27, 1995, the above referenced plan is approved for Foundation Permit release only.

Prior to approval for Building Permit, the following items must be addressed:

1. The required, ultimate storm drain to be constructed in Carmel adjacent to this site must be identified. Provide the pipe size and show how the private line ties in.
2. This Lot must have one paved access.
3. The easement and covenant for the proposed pond in Lot 31, as well as the easement and covenant across Lot 32 must be in place prior to building permit approval.
4. The ultimate storm drain in San Pedro from Lot 32 to the outfall pipe in Anaheim must also be identified.

The construction plans for the storm drain pipe and the paving requirement adjacent to the site will be determined at DRC.

If you should have any question, please call me at 768-2666.

Sincerely,

Susan M. Calongne, P.E.
City/County Floodplain Administrator

c: Andrew Garcia, City Hydrology
File



C.L. Weiss Engineering, Inc
Post Office Box 97
Sandia Park, N.M. 87047

Phone / Fax (505) 281-1800
Alvarado Office (505) 266-3444

September 15, 1995

Ms. Susan M Calongne, P.E.
City/County Floodplain Administrator
City of Albuquerque
P.O.Box 1293
Albuquerque, NM 87103

Re: Grading / Drainage Plan for Lot 30, Blk 33, Tr A, Unit B, NAA, (C18 / D6).

Dear Ms. Calongne:

This letter is a follow-up of the meeting held on Wednesday, September 13, 1995, regarding the drainage requirements established for this project in order to obtain approvals for a building permit. My client, Mr. Ed Burch, has authorized me to proceed with establishing the ultimate requirements outlined in your letter dated September 8, 1995. We expect to submit a plan identifying street grades for Carmel Ave. and San Pedro, in addition to establishing SS requirements, to serve as guide lines for the development of this project as soon as possible. I talked to Mr. Terry Brown regarding the status of his project to the east of my client's site, referenced as Phase 2 of the La Cueva Oeste Subdivision. We agreed to establish our street grades for the section of Carmel Ave. between San Pedro and their site approximately one foot below existing ground. He will be establishing street grades for Carmel Ave. to the east within their site. I will send him our grades to help coordinate the two designs. In the meantime, we are submitting this letter and accompanying documents to establish the concept for the ultimate system in order to have the foundation plan released, as discussed with Mr. Fred Aguirre during the meeting.

*exist &
prop.
grades*

Referencing the documents which you provided me - i.e., the La Cueva Oeste Subdivision, Phase 1 Drainage Report, dated September 1, 1995, prepared by RTI - it can be seen that this site (lot 30) is designated as part of the drainage basin that drains to the Carmel Ave. system. However, the proposed finished site improvements (lot 30) will be tied to the existing drainage patterns of Mr. Burch's adjoining site (lot 31) that presently drains to the historic arroyo on the north. Lot 31 is part of the developed basin which will continue to drain to the historic channel, which in the ultimate condition, will contribute 14 cfs to a future storm drainage system draining to the Anaheim pipe (reference page #4, last paragraph of the La Cueva Oeste Subdivision, Phase 1 Drainage Report). Any additional flows to AP1 will be restricted because the Anaheim pipe and downstream outfall arroyos will flow at capacity.

SEP 15 1995

What we propose as an interim solution is to allow the flows generated by the site improvements of lot 30 to continue to flow to the arroyo via the existing drainage patterns of lot 31, but capture the increased volume in a pond depression located in the arroyo bed behind the existing building of lot 31 (see plan). This pond depression will be maintained by Mr. Burch as part of the interim solution. Once the ultimate solution is completed, the interim pond area can be removed.

— pond
Covenant?
Show
Contours

When the ultimate drainage system is established for the area, in particular, when the SS is installed in Carmel Ave. as part of the development required for the La Cueva Oeste Subdivision, Phase 2, Mr. Burch will install a private storm inlet in the flow path of lots 30 and 31 to intercept the equivalent peak / volume generated by lot 30 alone and direct the outflow to the SS in Carmel Ave. (see plan). This solution will accomplish an interbasin transfer by reducing the basin draining to San Pedro while allowing a portion of lot 30 to continue draining to the arroyo with no change of the final peak of 14 cfs. Additionally, the placement of the inlet at the midpoint of the existing parking for lot 31 will enable a storm drain connection to Carmel Ave. without having to regrade either lot. The preliminary grades for the inlet as shown indicate that a connection can be made to the Carmel Ave. SS for a 6 to 7' depth range.

I talked to Mr. Don Dixon, RTI, about the guidelines established with the basin requirements and he suggested this approach to adjust the basin map for the specific problems of this site. I have also talked to Mr. Burch about the requirements of directing roof gutter flows as shown on the plan and he has already contacted the contractor to make the necessary changes to the building.

Mr. Burch has already indicated that he can procure a drainage easement from the site to the west of lot 31, so if that is still a requirement associated with this concept, please advise me so that the necessary documentation can be completed. If this concept is satisfactory, we respectfully request that a foundation permit be released for lot 30. Please contact Bryan Bobrick at 266-3444 if you have any questions because I'll be out of town until September 23. Thank you.

← need
before
BP

Sincerely,



Christopher L. Weiss, P.E.
C.L. Weiss Engineering, Inc.

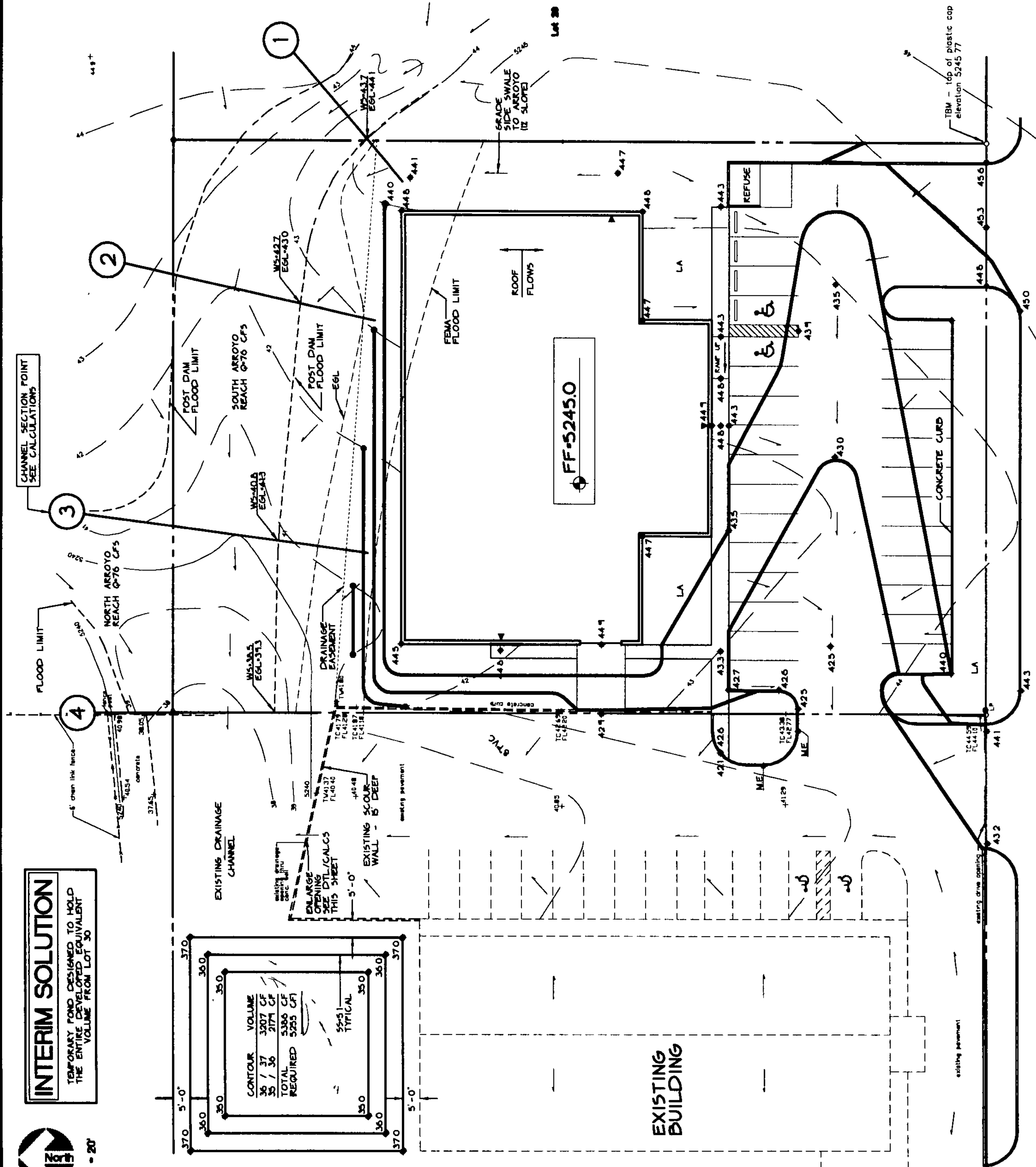
Concept ok - need plan showing pond
Calcs., Contours, elev. @ street (exist.
and proposed
need dr. easement prior to BP
needs to certify pond w/ Lot 30 plan

9-26-95



TEMPORARY POND DESIGNED TO HOLD
THE ENTIRE DEVELOPED EQUIVALENT
VOLUME FROM LOT 30

TEMPORARY POND DESIGNED TO HOLD
THE ENTIRE DEVELOPED EQUIVALENT
VOLUME FROM LOT 30



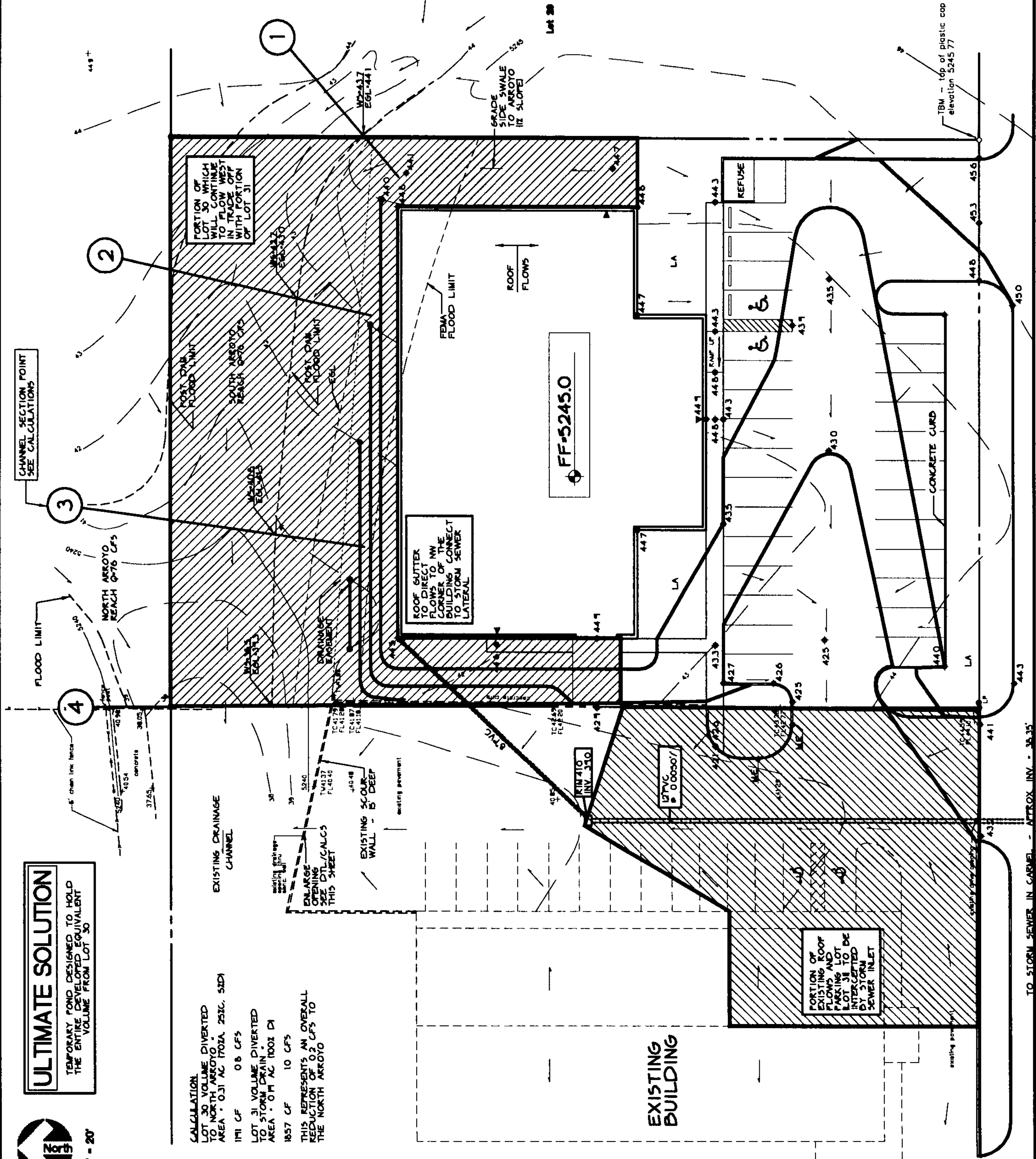


TEMPORARY POND DESIGNED TO HOLD
THE ENTIRE DEVELOPED EQUIVALENT
VOLUME FROM LOT 30

THIS REPRESENTS AN OVERALL
REDUCTION OF 0.2 GFS TO
THE NORTH ARROYO

PORTION OF
EXISTING ROOF
FLOWS AND
PARKING LOT
LOT 31 TO BE
INTERCEPTED
BY STORM
SEWER INLET

TO STORM SEWER IN CARVEL - APPROX. INV. - 35.35'



DRAINAGE INFORMATION SHEET

PROJECT TITLE: Lot 30, Block 33, Tract A, Unit B, NAA ZONE ATLAS / DRNG. FILE #: C-18 *186*
LEGAL DESCRIPTION: Lot 30, Block 33, Tract A, Unit B, NAA, Albuquerque, New Mexico
CITY ADDRESS: N/A

ENGINEERING FIRM: C.L. Weiss Engineering CONTACT: Chris Weiss

ADDRESS: P.O. Box 97, Sandia Park NM, 87047 PHONE: 281-1800

OWNER: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

ARCHITECT: N/A CONTACT: _____

ADDRESS: _____ PHONE: _____

SURVEYOR: Forstbauer Surveying Co. CONTACT: Ron Forstbauer

ADDRESS: 1100 Alvarado Dr. NE - 87110 PHONE: 268-2112

CONTRACTOR FIRM: N/A CONTACT: _____

ADDRESS: _____ PHONE: _____

PRE-DESIGN MEETING:

_____ YES

X NO

_____ COPY OF CONFERENCE RECAP
SHEET PROVIDED

DRB NO. _____

EPC NO. _____

PROJ. NO. _____

TYPE OF SUBMITTAL:

_____ DRAINAGE REPORT

x DRAINAGE PLAN

_____ CONCEPTUAL GRADING & DRAINAGE PLAN

x GRADING PLAN

_____ EROSION CONTROL PLAN

_____ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

_____ SKETCH PLAT

_____ PRELIMINARY PLAT

_____ SITE DEVELOPMENT PLAN

_____ FINAL PLAT

x BUILDING PERMIT

x FOUNDATION PERMIT

_____ CERT. OF OCCUPANCY

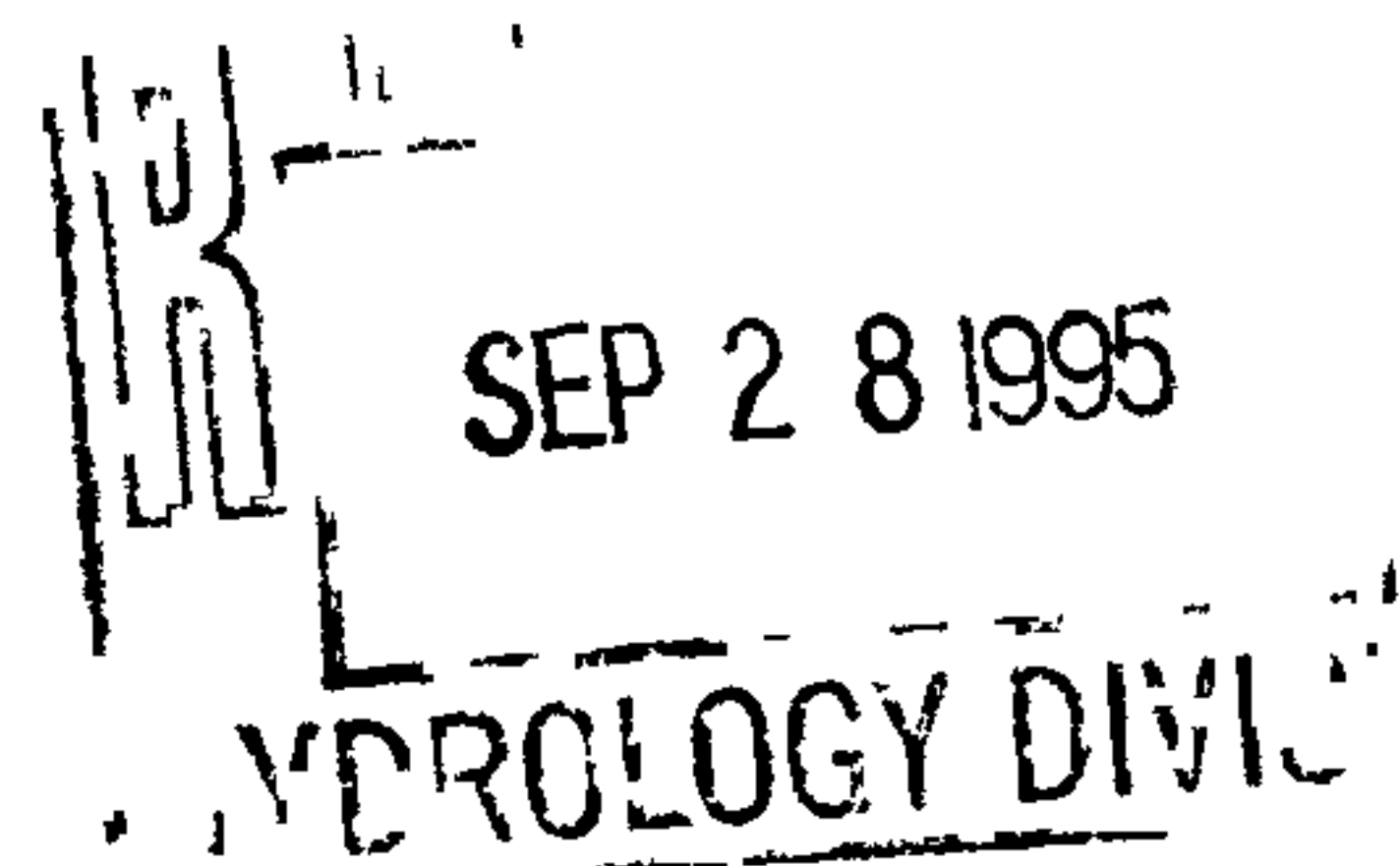
_____ ROUGH GRADING PERMIT

_____ GRADING / PAVING PERMIT

_____ OTHER _____

DATE SUBMITTED: September 27, 1995

BY: C.L. Weiss Engineering, Inc.


SEP 28 1995
HYDROLOGY DIVISION



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

September 8, 1995

Chris Weiss, P.E.
C.L. Weiss Engineering, Inc.
Post Office Box 97
Sandia Park, New Mexico 87047

RE: GRADING AND DRAINAGE PLAN FOR LOT 30, BLK 33, TR A, UNIT B,
NAA, (C18/D6), SUBMITTED FOR BUILDING PERMIT APPROVAL,
ENGINEER'S STAMP DATED 8/14/95.

Dear Mr. Weiss:

The grading and drainage plan dated 11/30/94 that was approved for this site was reviewed as a County project. Since this property is located within the City limits it must now be reviewed using City criteria. Before the building permit may be released by the City, the following issues must be addressed.

The DPM requires that the permanent street grades with the ultimate storm drainage system be identified on the drainage plan. For this site, the street grades for both Carmel and San Pedro will have to be identified. A storm drain system will be required in San Pedro since flows will not be allowed to cross this street in the ultimate condition. The street carrying capacity for Carmel must be identified to see where inlets and, perhaps, a storm drain extension is required.

After the ultimate system has been identified, then the an interim system may be analyzed to see how it will fit into the permanent solution. The amount of responsibility that the owner has for the ultimate improvements may also be determined. Until the ultimate solution is identified, these may not be determined.

I would like to meet with you to discuss this project. Please call me at 768-2666.

Sincerely,

Susan M. Calongne, P.E.
City/County Floodplain Administrator

c: Andrew Garcia, City Hydrology
File



C.L. Weiss Engineering, Inc
Post Office Box 97
Sandia Park, N.M. 87047

Phone / Fax (505) 281-1800
Alvarado Office (505) 266-3444

August 21, 1995

Ms. Susan M. Calongne, PE
City / County Floodplain Administrator
City of Albuquerque
POBox 1293
Albuquerque, NM 87102

RE: LOT 30, BLOCK 33, TRACT A, UNIT B, NAA (C18/D6), (PWD 94-248)

Dear Ms. Calongne,

Enclosed with this letter is a revised Drainage / Grading Plan and supporting data for the above mentioned property. We received a letter of approval for this project from your office dated December 16, 1994. We understand that this project was reviewed as a county rather than a city project and that this approval is not applicable.

We also understand that under COA guidelines, this site will not be allowed to discharge it's developed flows into the present channel because there is no easement across the back of Lot 32. Only historic flows may be accounted for in the channel. Two actions are presently being completed which will have an effect on this channel.

1. The flood plain maps are being amended to remove this area from a flood status. This action reflects the presence of the recently completed Domingo Baca Dam, which will capture these flows and outlet through a 48" dia. storm sewer located in Anaheim Ave.
2. An R-1 subdivision is being planned for the area east of this site. This area now comprises the remaining basin and accounts for a peak flow rate of 156 cfs which presently drains through this property's channel. As part of the development process for the subdivision, Mr. Terry Brown relayed to us that the developer will be required to take all flows to the adjoining streets into the storm sewer in order to "dry" up the channel. We had checked with Mr. Brown about the possibility of connecting our site to the proposed system in Carmel, but on further investigation, their system would have to be a minimum of 12' deep for our connection to work. We don't feel this would be an acceptable alternative for any of the parties involved.

As an alternative to the problem, we would like to propose the following to allow our client to begin construction immediately:

1. There are drainage easements currently in place for Lots 30 and 31, but not Lot 32. Our client can obtain a 20' wide drainage easement for Lot 32 to complete the drainage path to San Pedro to allow developed flows to be released from Lot 30. These developed flows (an increase of 1.6 cfs) represent less than a 1% increase to the overall flows that now exist for the basin.

AUG 24 1995

DRAINAGE INFORMATION SHEET

PROJECT TITLE: Lot 30, Block 33, Tract A, Unit B, NAA ZONE ATLAS / DRNG. FILE #: C-18/106
LEGAL DESCRIPTION: Lot 30, Block 33, Tract A, Unit B, NAA, Albuquerque, New Mexico
CITY ADDRESS: N/A

ENGINEERING FIRM: C.L. Weiss Engineering CONTACT: Chris Weiss

ADDRESS: P.O. Box 97, Sandia Park NM, 87047 PHONE: 281-1800

OWNER: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

ARCHITECT: N/A CONTACT: _____

ADDRESS: _____ PHONE: _____

SURVEYOR: Forstbauer Surveying Co. CONTACT: Ron Forstbauer

ADDRESS: 1100 Alvarado Dr. NE - 87110 PHONE: 268-2112

CONTRACTOR FIRM: N/A CONTACT: _____

ADDRESS: _____ PHONE: _____

PRE-DESIGN MEETING:

_____ YES

X NO

_____ COPY OF CONFERENCE RECAP
SHEET PROVIDED

DRB NO. _____

EPC NO. _____

PROJ. NO. _____

TYPE OF SUBMITTAL:

_____ DRAINAGE REPORT

X DRAINAGE PLAN

_____ CONCEPTUAL GRADING & DRAINAGE PLAN

X GRADING PLAN

_____ EROSION CONTROL PLAN

_____ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

_____ SKETCH PLAT

_____ PRELIMINARY PLAT

_____ SITE DEVELOPMENT PLAN

_____ FINAL PLAT

X BUILDING PERMIT

_____ FOUNDATION PERMIT

_____ CERT. OF OCCUPANCY

_____ ROUGH GRADING PERMIT

_____ GRADING / PAVING PERMIT

_____ OTHER _____

DATE SUBMITTED: August 23, 1995

BY: C.L. Weiss Engineering, Inc.

