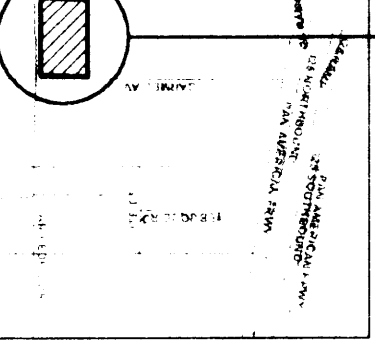
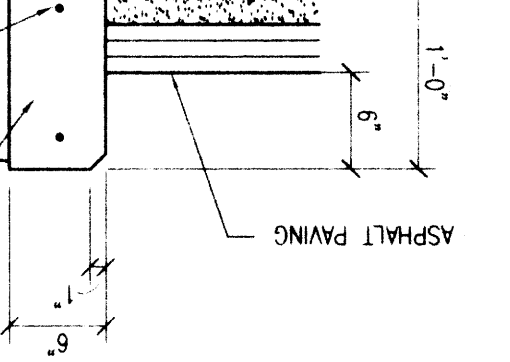
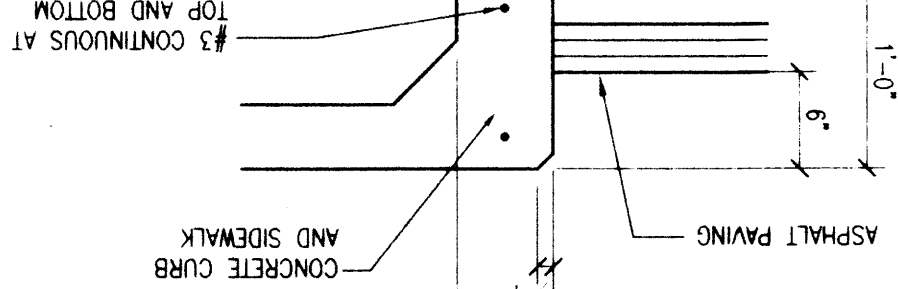
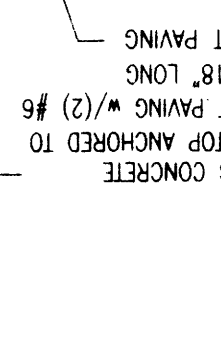
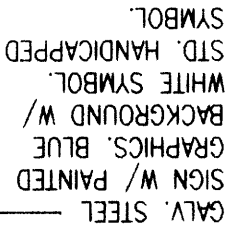
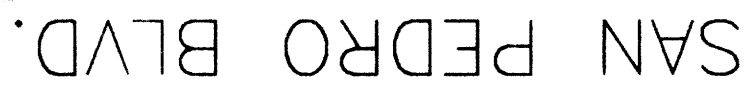


(60' R.O.W.)



LOCATION MAP (NOT TO SCALE)

addition to:
STONEFACE TAVERN
8201 San Pedro N.E.
Albuquerque NM

1600 Rio Grande Boulevard NW
Albuquerque, NM 87104
phone (505) 246-0870
fax (505) 246-0437

English:

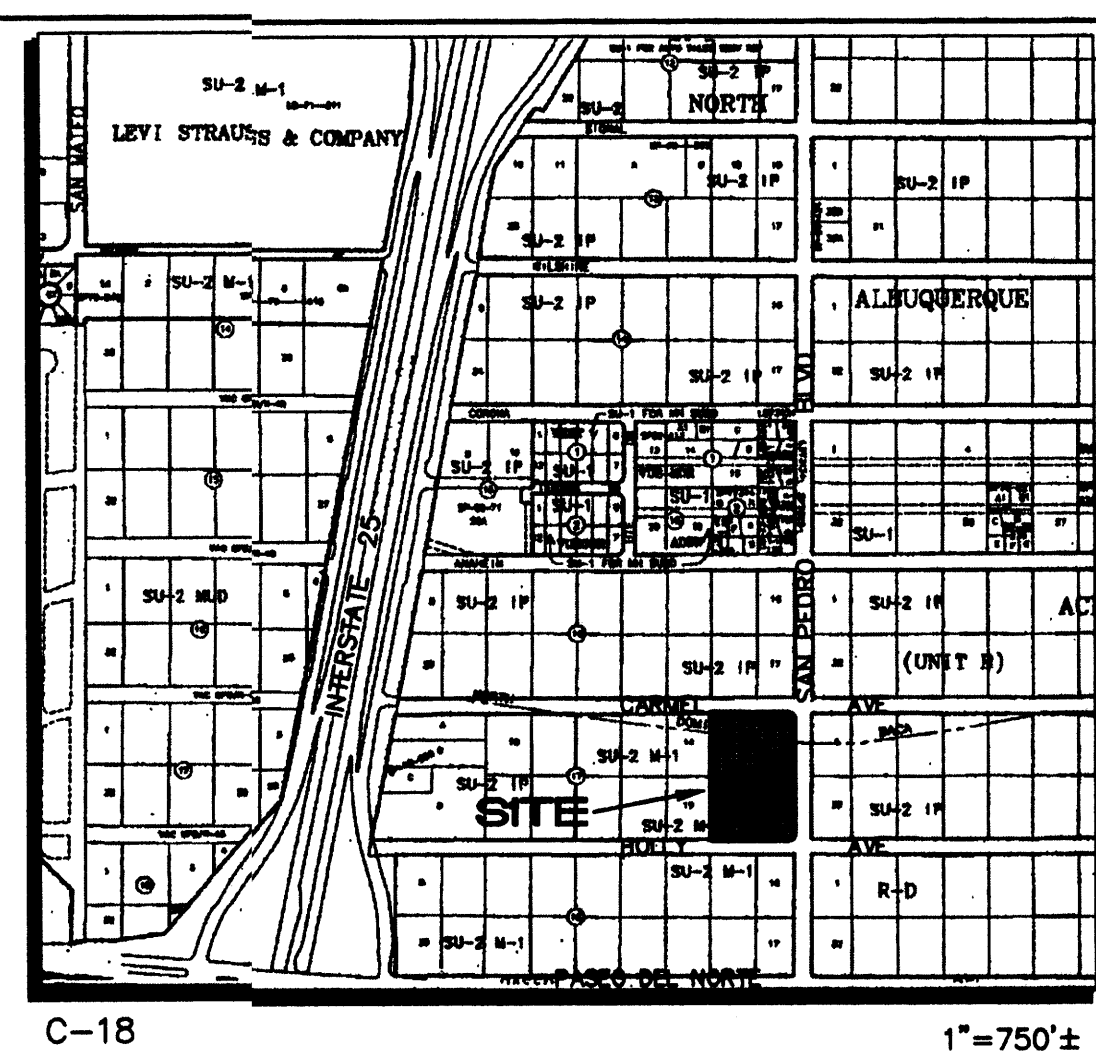
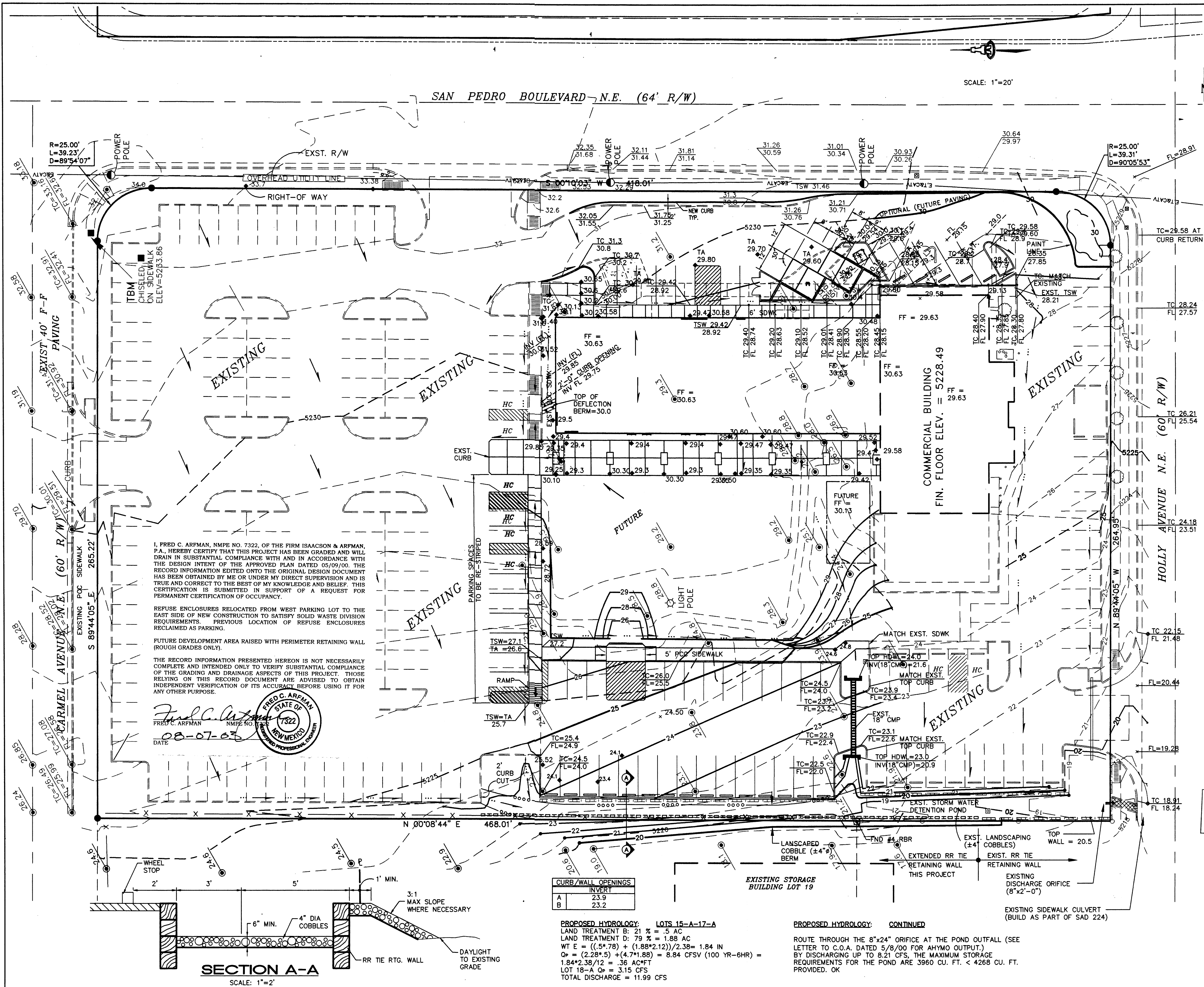
sheet:
C1 of 2

SECTION NOTES

SITE PLAN

Architect:

date: 1-22-02



VICINITY MAP

LEGAL DESCRIPTION: LOTS 15-A, 16-A, 17-A, 18-A; BLOCK 17 TRACT A (UNIT B), NORTH ALBUQUERQUE ACRES AREA = 3.17 AC / 138,282 SF

BENCHMARK: ACS MONUMENT "11-D18" ELEVATION 5235.67

TEMPORARY B.M. RIM OF SANITARY SEWER MANHOLE IN HOLLY AVE APPROXIMATELY 16 FT WEST OF THE CENTERLINE OF SAN PEDRO DRIVE; ELEV 5229.75

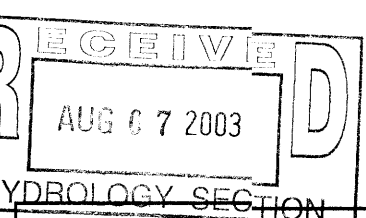
FLOOD ZONE DESIGNATION: AS DESIGNATED ON PANEL NO 137 D OF THE FEMA FLOOD INSURANCE RATE MAP, EFFECTIVE DATE SEPTEMBER 20, 1996, NO PART OF THIS SITE NOR THE ADJACENT RIGHT-OF-WAY IS WITHIN A FLOOD HAZARD AREA.

EXISTING CONDITIONS: LOTS 15-A, 16-A & 17-A ARE CURRENTLY UNDEVELOPED WITH LITTLE TO NO VEGETATIVE COVER. THE SOILS ARE HARD PACKED. THE LAND SLOPES AT AN AVERAGE OF 3% TO THE SOUTHWEST. STORM WATERS FLOW OVERLAND ACROSS THE SITE AND INTO LOT 18-A. LOT 18-A IS DEVELOPED WITH BUILDINGS AND A PARKING AREA FOR THE STONEFACE TAVERN (C18/D9). AN EXISTING DETENTION POND IS LOCATED AT THE SOUTHWEST CORNER OF LOT 18-A. THIS POND DETAINS THE FLOWS FROM LOTS 15-A THROUGH 18-A BEFORE THEY ENTER INTO HOLLY AVENUE. THE POND HAS A CAPACITY OF 2550 CU FT AND RELEASES DISCHARGE TO HOLLY AVENUE AT A RATE OF 1.0 CFS. NO OFFSITE FLOWS FROM SAN PEDRO BLVD., OR CARMEL AVE ENTER THE SITE. HOLLY AVENUE AND SAN PEDRO BLVD. ARE PAVED, BUT HAVE NOT BEEN DEVELOPED TO THEIR ULTIMATE CONFIGURATIONS AT THIS TIME. HOLLY AVENUE WILL BE DEVELOPED WITH COA PROJECT # 4392.90. CARMEL AVE IS FULLY DEVELOPED.

EXISTING HYDROLOGY: LOTS 15-A - 17-A
PRECIPITATION ZONE: 2
LAND TREATMENT: C
AREA = 2.38 AC
WT E = (2.38 * 1.13) / 2.38 = 1.13 IN
TOTAL Qp = 3.14 * 2.38 = 7.47 CFS
VOL (100 YR-6 HR) = (1.13 * 2.38) / 12 = 0.22 AC*FT

LOT 18A (PER #C18/D9, STAMPED 10-21-96)
LAND TREATMENT: B 29% D 71%
AREA = 0.79 AC
WT E = ((0.78)(0.23) + (0.56)(2.12)) / 0.79 = 1.77 IN
TOTAL Qp = 2.28(0.23) + 4.7(0.56) = 3.15 CFS
VOL (100 YR-6 HR) = 1.77(0.79) = 1.398/12 = 0.117 AC*FT

PROPOSED CONDITIONS: LOTS 15-A THROUGH 17-A WILL BE DEVELOPED AS A BUSINESS EXPANSION FOR LOT 18-A. THIS WILL INCLUDE ADDITIONAL PARKING, A FUTURE OUTDOOR STAGE, AND ADDITIONAL DINING AND RETAIL BUILDINGS. THE EASTERN PORTION OF LOT 18-A WILL BE RE-PAVED TO PROVIDE A CONNECTION TO THE NEW PARKING AREA, AND THE EXISTING CONNECTION TO SAN PEDRO BLVD. WILL BE SHIFTED TO THE NORTH. SAD #224, DEVELOPED FOR HOLLY AVENUE AND APPROVED IN 1998 STATES THAT FLOWS FROM LOTS 15A THROUGH 18A CAN HAVE FREE DISCHARGE TO HOLLY AVENUE (BASED ON DEVELOPED LAND TREATMENTS OF 65% D, 10% C, 10% A AND 15% B). THE ALLOWABLE FREE DISCHARGE TO HOLLY (3.17 AC TOTAL) IS 8.21 CFS. DEVELOPED FLOWS WILL PASS THROUGH THE EXISTING DETENTION FACILITY, WHICH WILL BE EXPANDED TO THE NORTH FOR GREATER CAPACITY, THEN THROUGH THE EXISTING ORIFICE INTO HOLLY AVENUE.



STONEFACE TAVERN EXPANSION
TRACT A, UNIT B
LOT 15-A, 16-A, 17-A, & 18-A
GRADING & PAVING PLAN

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico
9726RD.DWG/1s 07/30/03