

CITY OF ALBUQUERQUE



April 19, 2019

David Soule, PE
Rio Grande Engineering
1606 Central SE Suite 201
Albuquerque, NM 87106

**Re: American Toyota
5995 Alameda Blvd NE
Request Permanent C.O. & ROFG - Accepted
Engineer's Stamp Dated 7-22-15 (C18D012)
Certification dated: 5-29-18**

Dear Mr. Soule,

Based on the Certification received 4/12/2019, the site is acceptable for release of Certificate of Occupancy and Release of Financial Guaranty by Hydrology. This letter serves as a "green tag" from Hydrology Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, you can contact me at 924-3995 or Totten Elliott at 924-3982.

Sincerely,

James D. Hughes, P.E.
Principal Engineer, Planning Dept.
Development and Review Services

TE/DH

C: email Costilla, Michelle; Fox, Debi; Tena, Victoria; Sandoval, Darlene M.

PO Box 1293

Albuquerque

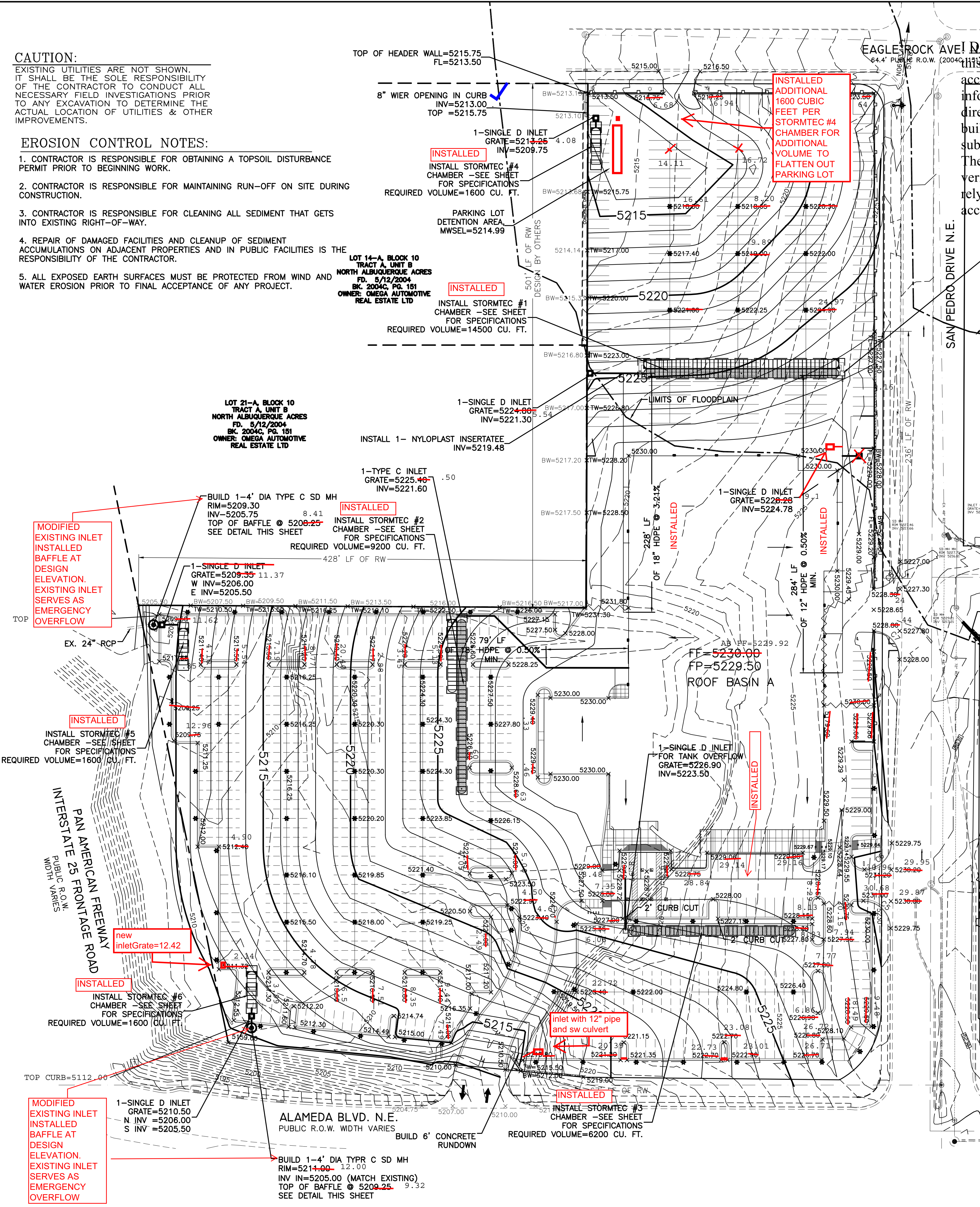
NM 87103

www.cabq.gov

CAUTION:
EXISTING UTILITIES ARE NOT SHOWN.
IT SHALL BE THE SOLE RESPONSIBILITY
OF THE CONTRACTOR TO CONDUCT ALL
NECESSARY FIELD INVESTIGATIONS PRIOR
TO ANY EXCAVATION TO DETERMINE THE
ACTUAL LOCATION OF UTILITIES & OTHER
IMPROVEMENTS.

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



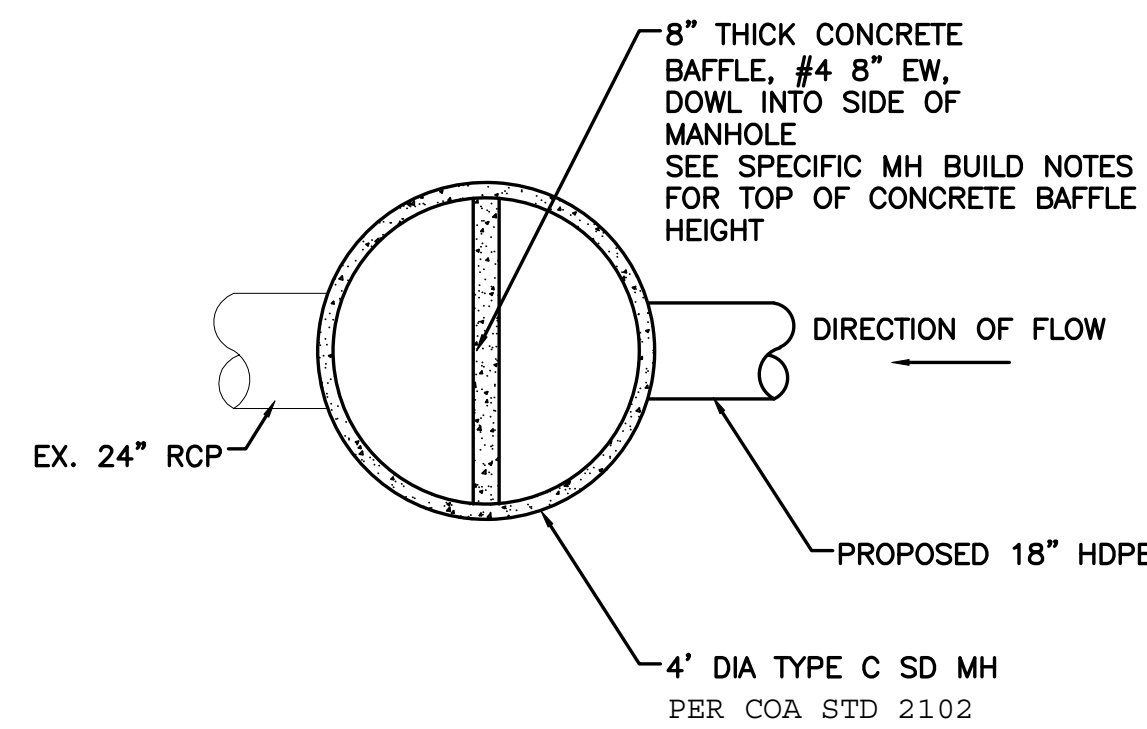
David Soule, NMPE 14522, of the firm Rio Grande Engineering, hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intend of the approved plan dated 7/22/15. The record information edited on the original design document has performed by me or under my direct supervision and is true and correct to the best of my knowledge and belief. The as-built survey was provided by GARY GRITSKO NMPLS 8686. The certification is submitted in support of a request for PERMANENT CERTIFICATE OF OCCUPANCY. The record information presented heron is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose



5/29/18

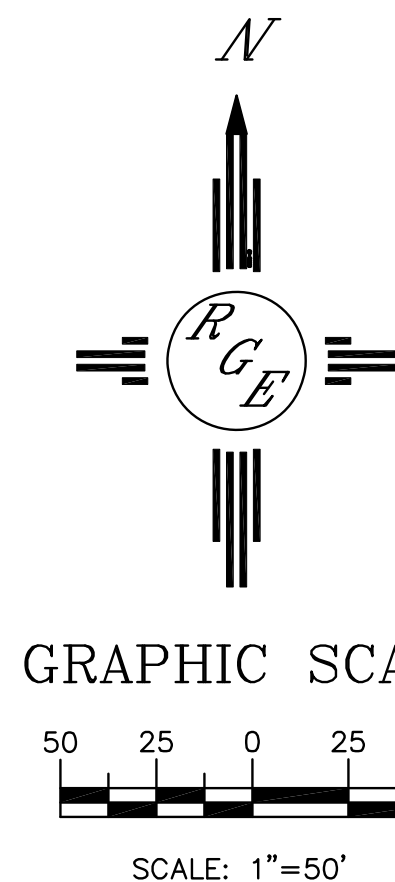
BENCH MARK INFORMATION

Elevations shown hereon are referenced to Albuquerque Geographic Reference System Station "10-C18". Published elevation of station is 5222.09 ft., NAVD 1988 datum. NM State
Plain coordinates: N=1,524,123.885, E=1,542,565.263, NAD 1983 Datum.



CONCRETE BAFFEL DETAIL IN MH

NTS



LEGAL DESCRIPTION:

TRACT A-1-A, AMERICAN TOYOTA SUBDIVISION

NOTES:


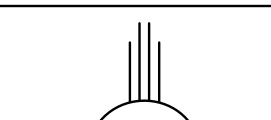
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL CURB AND GUTTER TO 6" HEADER UNLESS OTHERWISE NOTED.
3. ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
4. ALL LANDSCAPE MEDIANS WILL BE DEPRESSED 8" FROM FLOW LINE AND 1' CURB OPENING PROVIDED ON THE HIGH SIDE, FOR WATER QUALITY.
5. ALL STORM DRAIN NOT LABELED ON PLAN SHALL BE 18" HDPE.
6. ALL STORMTEC MANIFOLDS SHALL BE 24".
7. TYPE D INLETS PER COA STD 2206

LEGEND

- 5414 --- EXISTING CONTOUR
- 5415 --- EXISTING INDEX CONTOUR
- 5414 --- PROPOSED CONTOUR
- 5415 --- PROPOSED INDEX CONTOUR
- 5415 --- SLOPE TIE
- 5415 --- EXISTING SPOT ELEVATION
- 5415 --- PROPOSED SPOT ELEVATION
- 5415 --- BOUNDARY
- 5415 --- CENTERLINE
- 5415 --- RIGHT-OF-WAY
- 5415 --- PROPOSED CURB AND GUTTER
- 5415 --- EXISTING CURB AND GUTTER
- 5415 --- PROPOSED SIDEWALK
- 5415 --- PROPOSED SETBACK
- 5415 --- PROPOSED LOT LINE
- 5415 --- PROPOSED SCREEN WALL
- 5415 --- PROPOSED RETAINING WALL
- 5415 --- LIMITS OF FLOODPLAIN

ROUGH GRADING APPROVAL

DATE

<div>ENGINEER'S SEAL</div> <div></div> <div>7/22/15</div>	AMERICAN TOYOTA	DRAWN BY	WCWJ
		DATE	7-22-15
		21403-LAYOUT-1-25-14	
DAVID SOULE P.E. #14522	<div></div> <div>Rio Grande Engineering</div> <div>1806 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999</div>	SHEET #	—
		JOB #	21403

David Soule

From: Hughes, James D. [jhughes@cabq.gov]
Sent: Wednesday, October 10, 2018 2:03 PM
To: 'David Soule'; Carruthers, Madeline M.
Cc: Adeeb, Muhanned W; Wolfenbarger, Jeanne
Subject: RE: American Toyota

David,

The DRB submittal to remove the LOMR from the IL is required before we can accept the WO and Release the Financial Guarantee. If the owner has reason to want the floodplain removed from his property he can still do a LOMR or he can contribute to the Planning Department's LOMR removal fund and we will place this missmap higher on the priority list of the 30 other mismapped floodplains we are working to resolve.

The CO is a separate issue since the WO is Financially Guaranteed. We just need a resubmittal of the Engineer's Certification to issue the CO.

 cid:image003.jpg@01D41F50.A8AE0A90

DOUG HUGHES, P.E., CFM
 principal engineer hydrology
 o 505.924.3986
 e jhughes@cabq.gov
 cabq.gov/planning

From: David Soule [mailto:david@riograndeengineering.com]
Sent: Wednesday, October 10, 2018 12:48 PM
To: Hughes, James D.; Carruthers, Madeline M.
Subject: RE: American Toyota

I need to apply to drb for that, Im a bit behind.
 David

From: Hughes, James D. [mailto:jhughes@cabq.gov]
Sent: Wednesday, October 10, 2018 12:47 PM
To: 'David Soule'; Carruthers, Madeline M.
Subject: RE: American Toyota

David,
 What about the LOMR on the Infrastructure List?

 cid:image003.jpg@01D41F50.A8AE0A90

DOUG HUGHES, P.E., CFM
 principal engineer hydrology
 o 505.924.3986
 e jhughes@cabq.gov
cabq.gov/planning

From: David Soule [<mailto:david@riograndeengineering.com>]
Sent: Sunday, October 07, 2018 4:53 PM
To: Carruthers, Madeline M.; Hughes, James D.
Subject: RE: American Toyota

Doug, i believe this was the last items for acceptance of co,

From: Carruthers, Madeline M. [<mailto:mtafoya@cabq.gov>]
Sent: Thursday, October 04, 2018 2:15 PM
To: 'David Soule'; Hughes, James D.
Subject: RE: American Toyota

Hi David –

I already recorded this document.

Take a look and make sure this is correct . The exhibit look same to me.



MADELINE CARRUTHERS
 drc project administrator
 o 505.924.3997
 e mtafoya@cabq.gov
cabq.gov/planning

600 2nd St NW, Ste. 400
Albuquerque, NM 87102

From: David Soule [<mailto:david@riograndeengineering.com>]
Sent: Wednesday, October 03, 2018 1:02 PM
To: Hughes, James D.
Cc: Carruthers, Madeline M.

Subject: RE: American Toyota

Madeline, i am following up on this. I believe i took the corrected exhibits down but not sure. i have them attached. I have not seen the acceptance letter. So i may have imagined me bringing down. please let me know
David

From: Hughes, James D. [<mailto:jhughes@cabq.gov>]
Sent: Thursday, July 12, 2018 3:33 PM
To: 'David Soule'
Cc: Carruthers, Madeline M.
Subject: RE: American Toyota

David

I was going to print it and give it to Madeline, and noticed that the sheets are not labeled, Exhibit A sheet 1 of 5, 2of 5 etc. please add the labels.

Sincerely
Doug Hughes PE CFM
Principal Engineer Planning Dept.
jhughes@cabq.gov 924-3986

From: David Soule [<mailto:david@riograndeengineering.com>]
Sent: Thursday, July 12, 2018 3:12 PM
To: Hughes, James D.
Cc: Carruthers, Madeline M.
Subject: RE: American Toyota

Thank you, i will bring down the exhibits.
David

From: Hughes, James D. [<mailto:jhughes@cabq.gov>]
Sent: Thursday, July 12, 2018 3:06 PM
To: 'David Soule'
Cc: Carruthers, Madeline M.
Subject: RE: American Toyota

Looks good David.

From: David Soule [<mailto:david@riograndeengineering.com>]
Sent: Thursday, July 12, 2018 2:46 PM
To: Hughes, James D.
Cc: Carruthers, Madeline M.
Subject: RE: American Toyota

Doug, i figured i would email this to you to save you some time. I have tried to address your comment by creating additional exhibit sheets. I felt an overall was needed and then subsequent ones to better show the detail of size. The original document portion is with Madeline and if this exhibit format is acceptable i will submit to her the hard copy exhibit sheets. Thank you
David Soule

From: Hughes, James D. [<mailto:jhughes@cabq.gov>]
Sent: Friday, June 15, 2018 11:48 AM
To: 'David Soule'
Cc: Carruthers, Madeline M.
Subject: American Toyota

David,

The exhibit needs some work. Only the drainage facilities and the size should show up on the exhibit. Color does not work.

Sincerely

Doug Hughes PE CFM

Principal Engineer Planning Dept.

jhughes@cabq.gov 924-3986

=====

This message has been analyzed by Deep Discovery Email Inspector.

=====

This message has been analyzed by Deep Discovery Email Inspector.

=====

This message has been analyzed by Deep Discovery Email Inspector.

=====

This message has been analyzed by Deep Discovery Email Inspector.

=====

This message has been analyzed by Deep Discovery Email Inspector.

692482

#1

**PRIVATE FACILITY
DRAINAGE COVENANT**

This Drainage Covenant ("Covenant"), between MILLER FAMILY REAL ESTATE ("Owner"), whose address is 5995 ALAMEDA BLVD NE, ALBUQUERQUE, NEW MEXICO, 87113, and whose telephone number is (801)563-4176 and the City of Albuquerque, New Mexico, a municipal corporation whose address is P.O. Box 1293, Albuquerque, New Mexico 87103, is made in Albuquerque, Bernalillo County, New Mexico and is entered into as of the date Owner signs this Covenant.

1. Recital. The Owner is the current owner of the following described real property located at TRACT A-1-A AMERICAN TOYOTA, 5995 ALAMEDA BLVD NE, recorded on MAY 13, 2015, pages 1 through 2, as Document No. 2015039912 in the records of the Bernalillo County Clerk, State of New Mexico (the "Property").

Pursuant to City ordinances, regulations and other applicable laws, the Owner is required to construct and maintain certain drainage facilities on the Property, and the parties wish to enter into this Covenant to establish the obligations and responsibilities of the parties.

2. Description and Construction of Drainage Facility. The Owner shall construct the following "Drainage Facility" within the Property at the at the Owner's sole expense in accordance with the standards, plans and specifications approved by the City:

SUB-SURFACE WATER QUALITY TANKS, PIPES AND APPURTENANCES AS SHOWN
ON APPROVED GRADING PLAN CITY OF ALBUQUERQUE DRAINAGE FILE #
C18D012

The Drainage Facility is more particularly described in Exhibit A attached hereto and made a part hereof.

3. Maintenance of Drainage Facility. The Owner shall maintain the Drainage Facility at Owner's sole cost in accordance with the approved Drainage Report and plans.

4. Benefit to Property. The Owner acknowledges and understands that the Drainage Facility required herein to be constructed on the Owner's property is for the private benefit and protection of the Owner's property and that failure to maintain such facility could result in damage or loss to the Property.

5. Inspection of Drainage Facility. The City shall have no duty or obligation whatsoever to perform any inspection, maintenance or repair of the Drainage Facility, it being the duty of the Owner, its heirs, successors and assigns to construct and maintain the facility in accordance with approved plans and specifications.

Doc# 2018064296

07/24/2018 10:42 AM Page: 1 of 8
COV R \$25.00 Linda Stover, Bernalillo County



6. Liability of City. The Owner understands and agrees that the City shall not be liable to the Owner, its heirs, successors or assigns, or to any third parties for any damages resulting from the Owner's failure to construct, maintain or repair the Drainage Facility.

7. Indemnification. The Owner owns and controls the Drainage Facility and shall not permit the Drainage Facility to constitute a hazard to the health or safety of the general public. The Owner agrees to indemnify, defend and hold harmless the City, its officials, agents and employees, from any claims, actions, suits or other proceedings arising from or out of the negligent acts or omissions of the Owner, its agents, representatives, contractors or subcontractors or arising from the failure of the Owner, its agents, representatives, contractors or subcontractors to perform any act or duty required of the Developer or Owner herein; provided, however, to the extent, if at all, Section 56-7-1 NMSA 1978 is applicable to this Covenant, this Covenant to indemnify will not extend to liability, claims, damages, losses or expenses, including attorneys' fees, arising out of (1) the preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs or specifications by the respective indemnitee, or the agents or employees of the respective indemnitee; or (2) the giving of or the failure to give direction or instructions by the respective indemnitee, where such giving or failure to give directions or instructions is the primary cause of bodily injury to persons or damage to property.

8. Assessment. Nothing in this Covenant shall be construed to relieve the Owner, its heirs, assigns and successors from an assessment against the Owner's property for improvements to the property under a duly authorized and approved Special Assessment District. The parties specifically agree that the value of the Drainage Facility will not reduce the amount assessed by the City.

9. Binding on Owner's Property. The covenants and obligations of the Owner set forth herein shall be binding on the Owner, its heirs, assigns and successors and on the Owner's property and constitute covenants running with the Owner's property until released by the City. This Covenant can only be released by the City's Chief Administrative Officer with concurrence of the City Engineer.

10. Entire Covenant. This Covenant contains the entire agreement of the parties and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith.

11. Changes to Covenant. Changes to this Covenant are not binding unless made in writing, signed by both parties.

12. Effective Date of Covenant. This Covenant shall be effective as of the date of signature of the Owner.

OWNER:

By [signature]: [Signature]
Name [print]: Brad Holmes
Title: President
Dated: 6/6/18

CITY OF ALBUQUERQUE:

By: [Signature] (A)
Shahab Biazar, P.E., City engineer
Dated: 7/20/18

OWNER'S ACKNOWLEDGMENT

Utah
STATE OF NEW MEXICO)
Salt Lake)ss
COUNTY OF BERNALILLO)

This instrument was acknowledged before me on this 6 day of June,
2018, by Brad Holmes (name of person signing permit),
President (title of person signing permit) of
(Owner).

(SEAL)



[Signature]
Notary Public
My Commission Expires: 1-17-2022

CITY'S ACKNOWLEDGMENT

STATE OF NEW MEXICO)
)ss
COUNTY OF BERNALILLO)

This instrument was acknowledged before me on this 20th day of
July 2018, by Shahab Biazar, P.E., City Engineer, of the City of Albuquerque,
a municipal corporation, on behalf of said corporation.

(SEAL)



[Signature]
Notary Public
My Commission Expires: March 15, 2021

(EXHIBIT A ATTACHED)

INV=5213.00
TOP =5215.75

1-SINGLE D INLET
GRATE=5213.25
INV=5209.75

INSTALL STORMTEC #4
CHAMBER -SEE SHEET
FOR SPECIFICATIONS
REQUIRED VOLUME=1600 CU. FT.

PARKING LOT
DETENTION AREA
MWSEL=5214.99

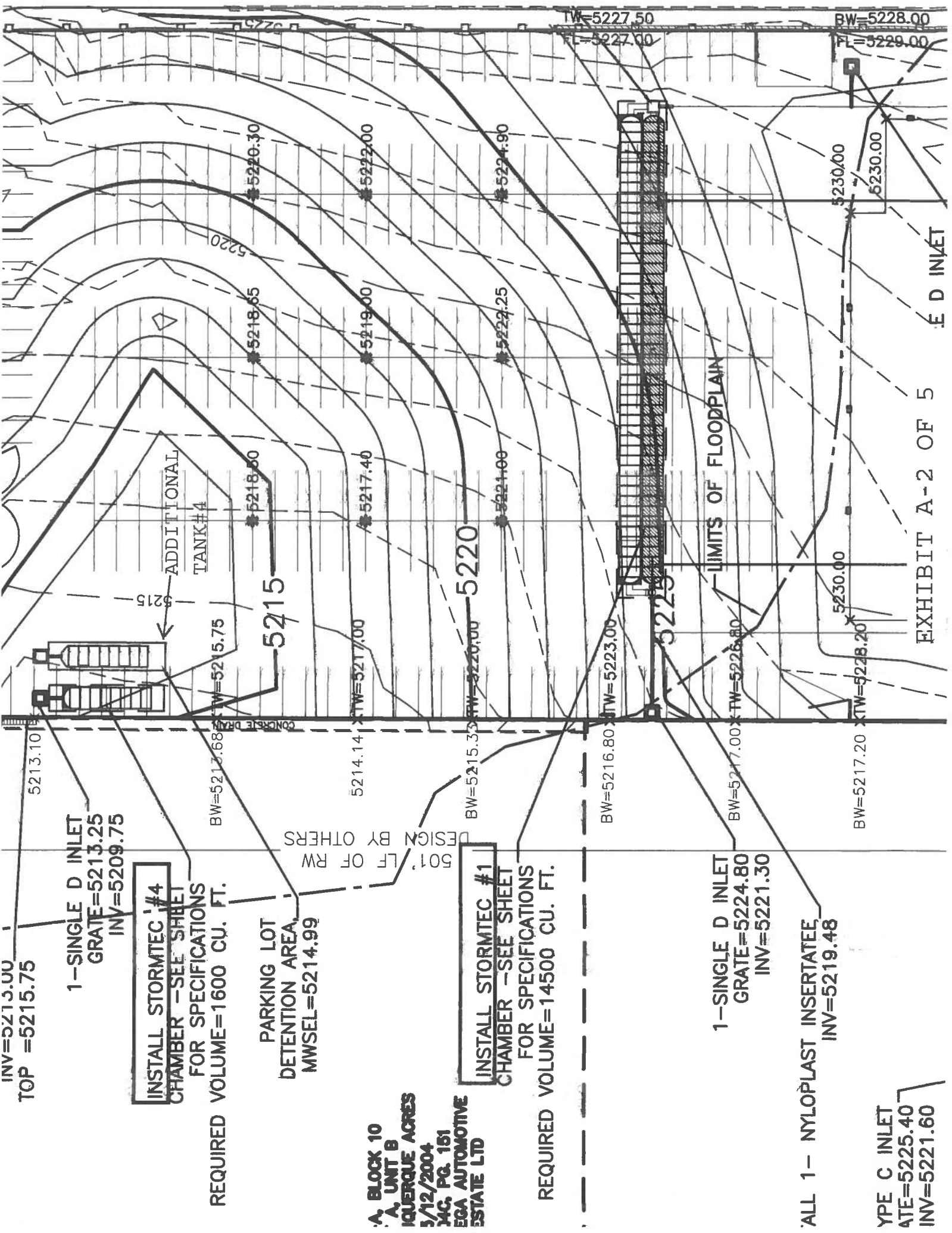
A. BLOCK 10
A. UNIT B
LAURENCE ACRES
3/12/2004
JAC. PG. 151
EGA AUTOMOTIVE
ESTATE LTD

INSTALL STORMTEC #1
CHAMBER -SEE SHEET
FOR SPECIFICATIONS
REQUIRED VOLUME=14500 CU. FT.

1-SINGLE D INLET
GRATE=5224.80
INV=5221.30

ALL 1- NYLOPLAST INSERTATEE
INV=5219.48

TYPE C INLET
ATE=5225.40
INV=5221.60



INV=5221.00

BUILD 1-4' DIA TYPE C SD MH

RIM=5209.30

INV=5205.75

TOP OF BAFFLE @ 5208.25

SEE DETAIL THIS SHEET

INSTALL STORMTEC #2

CHAMBER - SEE SHEET

FOR SPECIFICATIONS

REQUIRED VOLUME=9200 CU. FT.

428' LF OF RW

1-SINGLE D INLET

GRATE=5209.35

W INV=5206.00

E INV=5205.50

5205.50

BW=5207.50

W INV=5210.50

BW=5209.50

W INV=5216.55

BW=5211.50

W INV=5218.25

BW=5213.50

W INV=5222.50

BW=5216.00

TOP CURB=5210.17

EX. 24" RCP

INSTALL STORMTEC #5

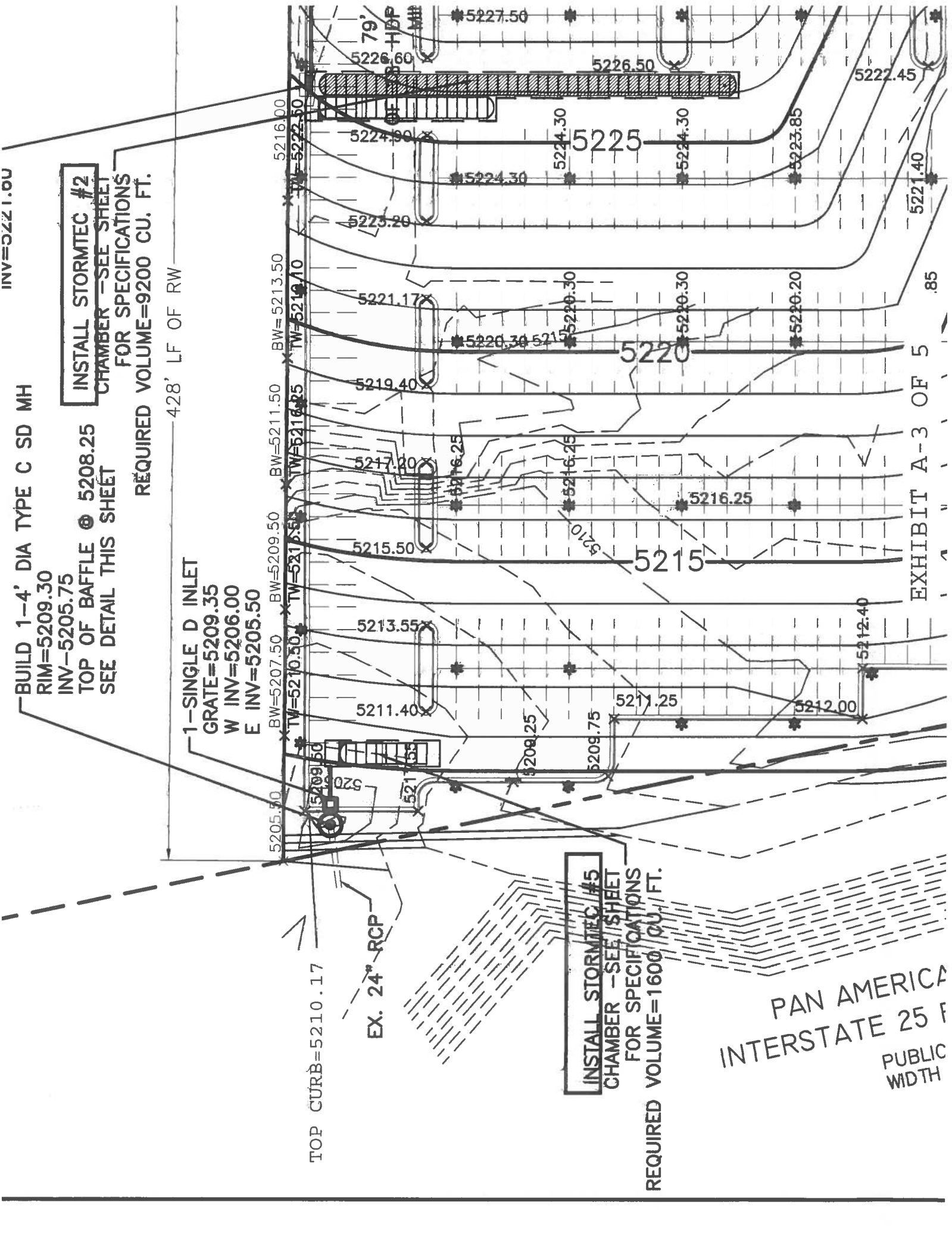
CHAMBER - SEE SHEET

FOR SPECIFICATIONS

REQUIRED VOLUME=1600 CU. FT.

PAN AMERICA
INTERSTATE 25 F
PUBLIC
WDTH

EXHIBIT A-3 OF 5



N AMERICAN FREEWAY
STATE 25 FRONTAGE ROAD
PUBLIC R.O.W.
WIDTH VARIES

INSTALL STORMTEC #6
CHAMBER - SEE SHEET
FOR SPECIFICATIONS
REQUIRED VOLUME=1600 CU. FT.

TOP CURB=5112.00

1-SINGLE D INLET
GRATE=5210.50
N INV =5206.00
S INV =5205.50

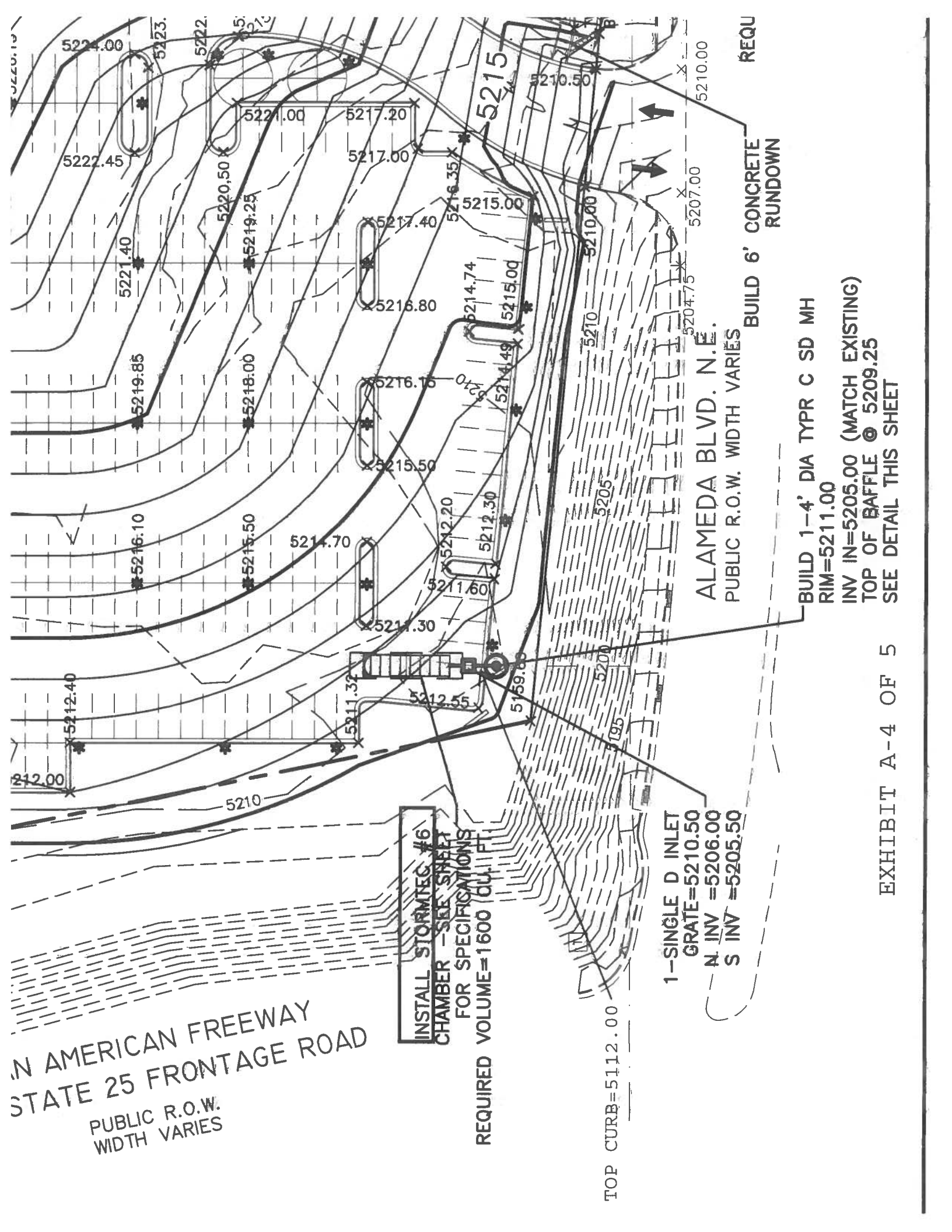
ALAMEDA BLVD. N.E.
PUBLIC R.O.W. WIDTH VARIES

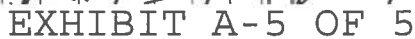
BUILD 6' CONCRETE
RUNDOWN

BUILD 1-4' DIA TYPR C SD MH
RIM=5211.00

INV IN=5205.00 (MATCH EXISTING)
TOP OF BAFFLE @ 5209.25
SEE DETAIL THIS SHEET

EXHIBIT A-4 OF 5







City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: AMERICAN TOYOTA **Building Permit #:** _____ **Hydrology File #:** C18D012
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: TRACTS A1 AND B1, AMERICAN TOYOTA AND LOTS 15-18 TRA UB NAA
City Address: 9840 BALLOON FIESTA COURT

Applicant: MILLER FAMILY GROUP **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: RIO GRANDE ENGINEERING **Contact:** DAVID SOULE
Address: PO BOX 93924 ALB NM 87199
Phone#: 505.321.9099 **Fax#:** 505.872.0999 **E-mail:** david@riograndeengineering.com

TYPE OF DEVELOPMENT: _____ PLAT _____ RESIDENCE ☒ DRB SITE _____ ADMIN SITE

Check all that Apply:

DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE
_____ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:

☒ ENGINEER/ARCHITECT CERTIFICATION
_____ PAD CERTIFICATION
_____ CONCEPTUAL G & D PLAN
_____ GRADING PLAN
_____ DRAINAGE REPORT
_____ DRAINAGE MASTER PLAN
_____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
_____ ELEVATION CERTIFICATE
_____ CLOMR/LOMR
_____ TRAFFIC CIRCULATION LAYOUT (TCL)
_____ TRAFFIC IMPACT STUDY (TIS)
_____ STREET LIGHT LAYOUT
_____ OTHER (SPECIFY) _____
_____ PRE-DESIGN MEETING?

IS THIS A RESUBMITTAL?: ☒ Yes _____ No

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

_____ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY
_____ PRELIMINARY PLAT APPROVAL
_____ SITE PLAN FOR SUB'D APPROVAL
_____ SITE PLAN FOR BLDG. PERMIT APPROVAL
_____ FINAL PLAT APPROVAL
☒ SIA/ RELEASE OF FINANCIAL GUARANTEE
_____ FOUNDATION PERMIT APPROVAL
_____ GRADING PERMIT APPROVAL
_____ SO-19 APPROVAL
_____ PAVING PERMIT APPROVAL
_____ GRADING/ PAD CERTIFICATION
_____ WORK ORDER APPROVAL
_____ CLOMR/LOMR
_____ FLOODPLAIN DEVELOPMENT PERMIT
_____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____