

# CITY OF ALBUQUERQUE



June 4<sup>th</sup>, 2018

John Mahony, R.A.  
John Mahony Architect  
850 W. Elloit Rd. #108  
Tempe, AZ 85284

**Re: American Toyota**  
**5995 Alameda NE, Albuquerque, NM 87113**  
**30-Day Temporary Certificate of Occupancy- Transportation Development**  
**Transportation Development Final Inspection**  
Engineer's/Architect's Stamp dated 12-18-14 (C18-D012) Cert date 04-24-18

Dear Mr. Soule

Based upon the information provided in your submittal received 5-29-18, Transportation Development has no objection to the issuance of a 30-day Temporary Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

1. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** If that language is present it is not visible in the detail.
2. Please add parking bumpers to the two center ADA accessible spaces where the pavement is flush with the ADA ramp.
3. Motorcycle parking spaces shall be designated by its own conspicuously posted upright sign, either free-standing or wall mounted per the zoning code.
4. Please close the unused curb cut on San Pedro Dr. at the north end of the site with curb & gutter (Standard Drawing 2415) and sidewalk (Standard Drawing 2430).

Once corrections are complete resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. For digital submittal and minor comments and/or repairs, please submit photos to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to submittal. If you have any questions, please contact me at (505) 924-3981.

Sincerely,

Logan Patz  
Senior Engineer, Planning Dept.  
Development Review Services

Ernie Gomez  
Plan Checker, Planning Dept.  
Development Review Services

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

EG via: email  
C: CO Clerk, File



PROJECT NUMBER: 1002848  
Application Number:

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 8-15-14 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRC SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

*Rafael M. M. M.* 3/25/15 Date  
Traffic Engineering, Transportation Division  
*Kevin Cadan* 03/25/15 Date  
ABCWA  
*Carol S. Dumont* 03/25/15 Date  
Parks and Recreation Department  
*John J. J.* 07-10-15 Date  
City Engineer  
*David J. J.* 12-22-14 Date  
Solid Waste Management  
*John J. J.* 7-10-15 Date  
DRB Chairperson, Planning Department

MERCEDES BENZ AUTO DEALERSHIP

I, DAVID SOULE, OF THE FIRM RIO GRANDE ENGINEERING HERE BY CERTIFY THE SITE HAS BEEN CONSTRUCTED IN CONFORMANCE TO THE APPROVED SITE DEVELOPMENT PLAN. THE BUILDING AND SITE WAS CONSTRUCTED IN PHASES TO ALLOW OPERATION OF EXISTING BUSINESS THIS CERTIFICATION IS FOR THE ENTIRE SITE AND FOR CERTIFICATE OF OCCUPANCY ENTIRE SITE

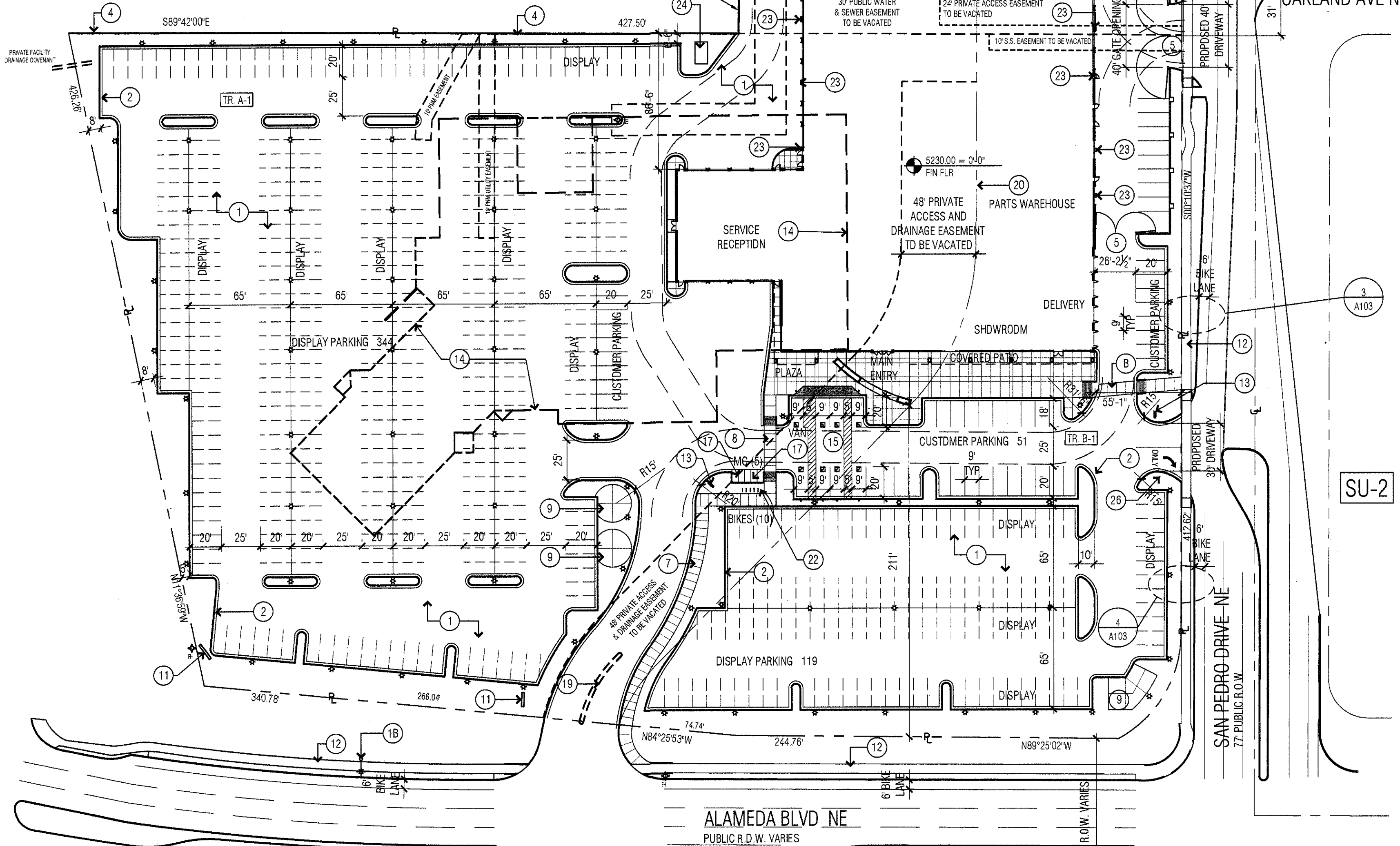


4/24/18

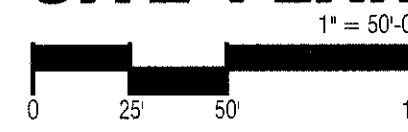
SU-2

PORSCHE/AUDI AUTO DEALERSHIP

CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD BEARING	CHORD DELTA
C1	81.37	76.00	N30°51'00"E	77.54
C2	44.33	100.00	S31°52'41"W	43.97
C3	115.92	150.00	N22°28'21"E	113.06
C4	39.35	25.00	N44°52'33"W	35.41



**SITE PLAN**



**KEYNOTES**

- 1 TYP ASPHALT PAVING
- 2 TYP ROLLOE CONC CURB AND GUTTER
- 3 6' HIGH CMU WALL - SEE DETAIL 3/A101
- 4 EXISTING WALL - 4'-6" HIGH UNPAINTED CMU
- 5 6' H PAINTED STEEL GATE W/ KNOX LOCK BDX
- 6 30' X 12' REFUSE YARD W/ 10' CONC APPROACH APRON SEE DETAIL 1/A101
- 7 8' WIDE CDNC SIDEWALK
- 8 8' WIDE DECORATIVE CDNC CROSS-WALK
- 9 CONC DISPLAY PAD - 1' ABOVE ADJACENT GRADE
- 10 ORIP CONTAINMENT CONC SLAB - FLUSH W/ PAVING
- 11 EXISTING SIGN TO REMAIN
- 12 EXISTING SIDEWALK
- 13 NEW DIRECTIONAL SIGN - BY SEPARATE REVIEW
- 14 LINE OF EXISTING BUILDING TO BE DEMOLISHED
- 15 ACCESSIBLE PARKING PER AOA STANDARDS
- 16 OPENING LINE OF FUTURE BUILDING EXPANSION
- 17 CONC PAVING AT MOTORCYCLE PARKING
- 18 EXISTING STREET LIGHT
- 19 EXISTING ISLAND TO BE REMOVED
- 20 EXISTING LOT LINE TO BE ELIMINATED BY RE-PLAT ALL EXISTING
- 21 6' HIGH UNPAINTED CMU WALL - RUNNING BOND - NO ACCENT COURSING
- 22 BICYCLE PARKING PER DETAIL 5/A101
- 23 TYP WALL MOUNTED LIGHT FIXTURE
- 24 UTILITY CO. TRANSFORMER
- 25 ELECTRICAL EQUIPMENT
- 26 'RIGHT TURN ONLY' SIGN

**LEGEND**

- DENOTES STREETLIGHT - SEE CIVIL
- \* DENOTES LIGHT FIXTURE, POLE AND CONCRETE BASE SEE ELECTRICAL - MAX HEIGHT ABOVE ADJACENT GRADE = 25 FEET. SEE DETAIL 4/A101
- DENOTES FIRE HYDRANT - SEE CIVIL
- TRUCK ROUTE/TURNING RADIUS
- TYPICAL PARKING LAYOUT ALL LINES STRIPED
- TYPICAL DISPLAY LAYOUT DASHED LINES NOT STRIPED
- TYPICAL LANDSCAPED END CAP ISLAND
- TYPICAL LANDSCAPED INTERIOR ISLAND

**LINEWEIGHT SYMBOLS**

- DIMENSIONS
- KEYNOTES
- TEXT AND NOTES
- BUILDINGS
- BUILDINGS TO BE DEMOLISHED
- CONCRETE AND SIDEWALKS
- VERTICAL AND ROLLED CONCRETE CURBS AND GUTTERS
- EASEMENTS
- FIRE HYDRANTS
- FIRE TRUCK ROUTE AND RADIUS
- HATCH AND SCURE PATTERNS
- PROPERTY LINES
- PROPERTY LINES TO BE REMOVED
- SIGNAGE
- SITE LIGHTING
- SITE WALLS AND GATES
- STIPING FOR CODE REQUIRED PARKING
- DISPLAY AND INVENTORY PARKING NOT TO BE PAINTED

**PROJECT INFORMATION**

PROJECT NAME: LARRY H. MILLER AMERICAN TOYOTA  
PROJECT ADDRESS: 5995 ALAMEDA BLVD NE  
OWNER: MILLER FAMILY REAL ESTATE  
9350 S. 150 E  
STE 1000  
SANDY, UTAH 84070-2721

PROJECT DESCRIPTION: DEMOLITION AND RECONSTRUCTION OF EXISTING AUTOMOBILE SALES AND SERVICE FACILITY, AND RELATED SITE IMPROVEMENT

ZONING (EXISTING): SU-2 SPECIAL NEIGHBORHOOD ZONE  
ZONING (PROPOSED): SU-1/SU-2 FOR AUTOMOTIVE SALES, SERVICE AND REPAIR

GROSS SITE AREA: 10.1391 ACRES  
NET SITE AREA: 9.52 ACRES

GROSS BUILDING AREA: 89,772 S.F.  
GROUND FLOOR AREA: 73,732 S.F.  
SECOND FLOOR AREA: 16,255 S.F.

OCCUPANCY: B, S-1  
CONSTRUCTION TYPE: II-B WITH AUTOMATIC FIRE SPRINKLER SYSTEM

LEGAL DESCRIPTION: TRACTS A-1 AND B-1, AMERICAN TOYOTA, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON SEPTEMBER 24, 2004, IN PLAT BOOK 2004C, FOLIO 300.

AND

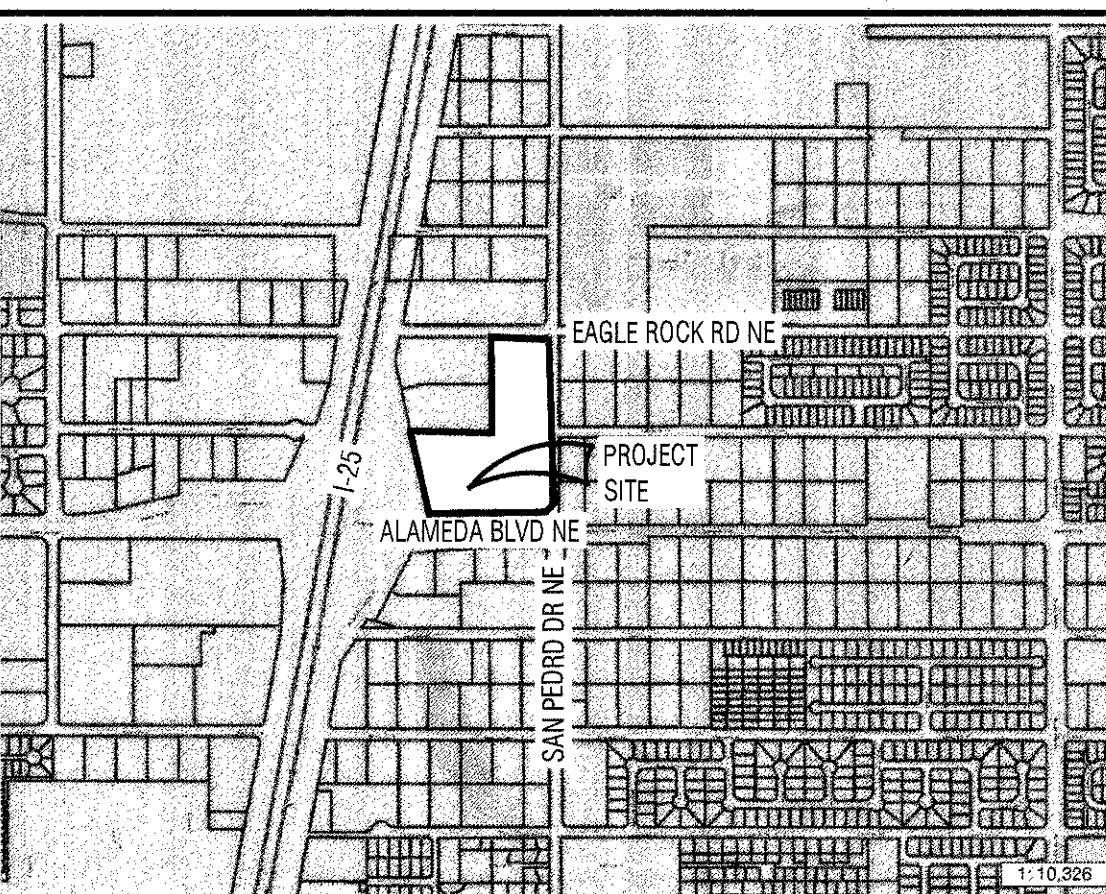
LOTS NUMBERED FIFTEEN (15), SIXTEEN (16), SEVENTEEN (17) AND EIGHTEEN (18) IN BLOCK NUMBERED TEN (10) OF TRACT LETTERED 'A', UNIT LETTERED 'B' OF NORTH ALBUQUERQUE ACRES, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON APRIL 24, 1936, IN PLAT BOOK 0, FOLIO 130A.

**PARKING CALCULATIONS**

BUILDING ZONE	AREA	REQUIREMENT	SUB-TOTAL REQUIRED
SHOWROOM/ OFFICE	31,984	1/200 0-15,000 1/250 15,000 - 31,984	75 68
PARTS WAREHOUSE	14,578	1/2000	8
SERVICE BAYS	43,210	1/1000	44
SUBTOTAL			195
10% REDUCTION PER 14-16-3-1 (6)(a)			-19
<b>TOTAL PARKING REQUIRED</b>			<b>176</b>

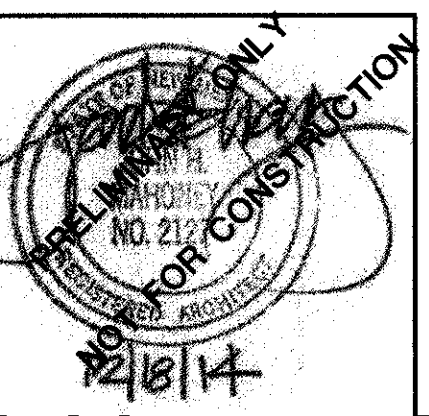
ACCESSIBLE PARKING REQUIRED - PER DRAINAGE 14-16-3-1 TOTAL REQUIRED PARKING 151-300 SPACES =	8
MOTORCYCLE PARKING REQUIRED (101-150)	5
BICYCLE PARKING REQUIRED (1/20 PARKING)	9
<b>TOTAL PARKING PROVIDED</b>	<b>321</b>
ACCESSIBLE PARKING PROVIDED	8
MOTORCYCLE PARKING PROVIDED	5
BICYCLE PARKING PROVIDED	10

NOTE: TREE CANYON SHALL COUNT TOWARDS THE 75% VEGETATIVE GROUND COVER REQUIREMENTS PER THE NORTH I-25 SECTOR DEVELOPMENT PLAN



**VICINITY MAP**

**JOHN MAHONEY ARCHITECT**  
850 W. ELLIOT ROAD, #108  
TEMPE, ARIZONA 85284  
P 480.345.8457 F 480.345.1759



*Larry H. Miller*  
American Toyota Albuquerque  
LARRY H. MILLER  
AMERICAN TOYOTA  
5995 ALAMEDA BLVD NE  
ALBUQUERQUE, NEW MEXICO

PROJECT NO. 1325  
ISSUE DATE 12/18/14

**SITE PLAN**

**A100**

# **RIO GRANDE ENGINEERING OF NEW MEXICO, LLC**

## **TRAFFIC CERTIFICATION**

I, DAVID SOULE, NMPE, OF THE FIRM RIO GRANDE ENGINEERING, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED SITE PLAN DATED 12/18/14, APPROVED 7/10/15. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY GARY GRITSKO NMPLS 8686 OF THE FIRM CONSTRUCTION ALPHA PRO SURVEY. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 4/15/18 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

*EXCEPTIONS:*

*NONE*

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

\_\_\_\_\_  
Signature of Engineer



4/24/18  
Date



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: American Toyota Building Permit #: \_\_\_\_\_ City Drainage #: C18d012  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: Tracts A1 and B-1, American Toyota and lots 15-18 tract a unit b NAA  
City Address: 5995 Alameda NE

**Engineering Firm:** RIO GRANDE ENGINEERING Contact: DAVID SOULE  
Address: PO BOX 93924, ALBUQUERQUE, NM 87199  
Phone#: 505.321.9099 Fax#: 505.872.0999 E-mail: DAVID@RIOGRANDEENGINEERING.COM

**Owner:** milller family group Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Architect:** john mahony Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Surveyor:** CONSTRUCTION SURVEY INCORPORATED Contact: JOHN GALLEGOS  
Address: \_\_\_\_\_  
Phone#: 917.8921 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Contractor:** \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

### TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1st SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☒ ENGINEER'S CERT (TCL)  
☐ ENGINEER'S CERT (DRB SITE PLAN)  
☐ ENGINEER'S CERT (ESC)  
☐ SO-19  
☐ OTHER (SPECIFY) \_\_\_\_\_

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL ☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL ☐ ESC PERMIT APPROVAL  
☐ WORK ORDER APPROVAL ☐ ESC CERT. ACCEPTANCE  
☐ GRADING CERTIFICATION ☐ OTHER (SPECIFY) \_\_\_\_\_

WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_ Yes \_\_\_\_\_ No \_\_\_\_\_ Copy Provided

DATE SUBMITTED: 4/24/18 By: \_\_\_\_\_

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development