

CITY OF ALBUQUERQUE



June 9, 2017

David Soule, PE
Rio Grande Engineering
Po Box 93924
Albuquerque, NM 87199

**Re: American Toyota
5995 Alameda NE
90-Day Temporary Certificate of Occupancy- Transportation Development
Engineer's Stamp dated 12-18-14 (C18D012)
Certification dated 6-2-17**

Dear Mr. Soule,

Based upon the information provided in your submittal received 6-5-17, Transportation Development has no objection to the issuance of a 90-day Temporary Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a 90-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

1. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 "Violators Are Subject to a Fine and/or Towing." Please call out detail and location of HC signs.
2. The ADA access aisles shall have the words "NO PARKING" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
3. All crates and constructions equipment must be removed prior to permanent CO.

Once corrections are complete resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. For digital submittal and minor comments and/or repairs, please submit photos to PLNDRS@cabq.gov prior to submittal. If you have any questions, please contact me at (505) 924-3981.



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: American Toyota Building Permit #: _____ City Drainage #: C18d012
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: Tracts A1 and B-1, American Toyota and lots 15-18 tract a unit b NAA
City Address: 5995 Alameda NE

Engineering Firm: RIO GRANDE ENGINEERING Contact: DAVID SOULE
Address: PO BOX 93924, ALBUQUERQUE, NM 87199
Phone#: 505.321.9099 Fax#: 505.872.0999 E-mail: DAVID@RIOGRANDEENGINEERING.COM

Owner: milller family group Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Architect: john mahony Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: CONSTRUCTION SURVEY INCORPORATED Contact: JOHN GALLEGOS
Address: _____
Phone#: 917.8921 Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☒ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ ENGINEER'S CERT (ESC)
☐ SO-19
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☒ CERTIFICATE OF OCCUPANCY (TCL TEMP)
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL ☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL ☐ ESC PERMIT APPROVAL
☐ WORK ORDER APPROVAL ☐ ESC CERT. ACCEPTANCE
☐ GRADING CERTIFICATION ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

DATE SUBMITTED: 6/2/17 By: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

PROJECT NUMBER: 1002848
Application Number:

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 8-15-14 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Barry M. Miller 3/25/15 Date
Traffic Engineering, Transportation Division
Kevin Cadon 03/25/15 Date
ABCWUA
Carol S. Dumont 03/25/15 Date
Parks and Recreation Department
James J. Miller 07-10-15 Date
City Engineer
James J. Miller 07-10-15 Date
Solid Waste Management
James J. Miller 7-10-15 Date
DRB Chairperson, Planning Department

MERCEDES BENZ AUTO DEALERSHIP

I, DAVID SOULE, OF THE FIRM RIO GRANDE ENGINEERING, HERE BY CERTIFY THE SITE HAS BEEN CONSTRUCTED IN CONFORMANCE TO THE APPROVED SITE DEVELOPMENT PLAN. THE BUILDING AND SITE ARE BEING CONSTRUCTED IN PHASES TO ALLOW OPERATION OF EXISTING BUSINESS. THE CERTIFICATION IS TEMPORARY AND ONLY FOR THE AREA SHOWN. THE PURPOSE OF THIS CERTIFICATION IS TO ALLOW OCCUPANCY OF A PORTION THE SITE. THE REMAINING SITE WILL BE CERTIFIED IN PHASES AND A PERMANENT WILL BE CERTIFIED UPON COMPLETION OF THE ENTIRE SITE.

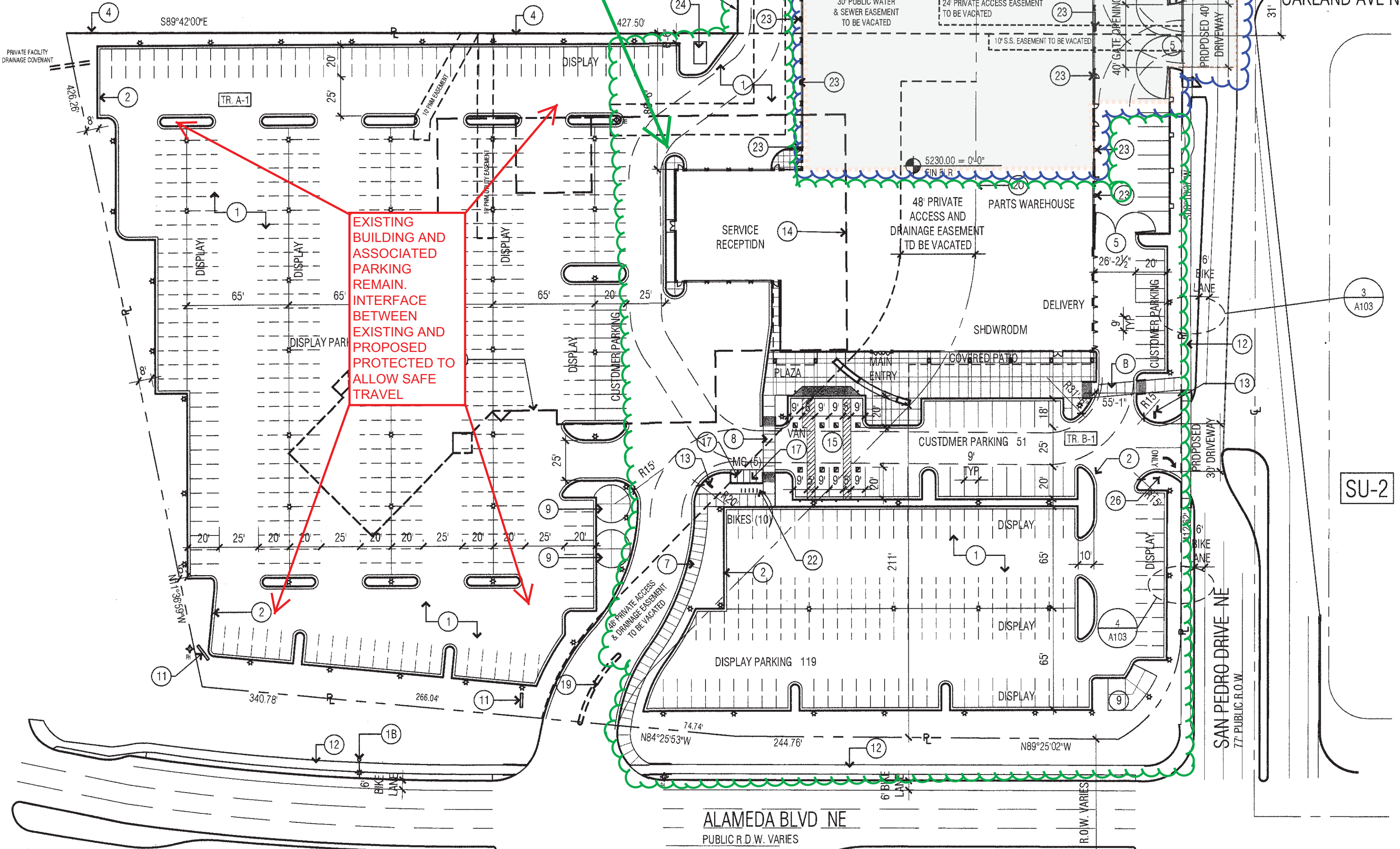


CERTIFICATION FOR PHASE ONE PREVIOUSLY SUBMITTED AND ACCEPTED

PORSCHE/AUDI AUTO DEALERSHIP

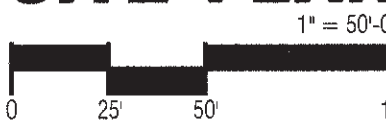
06/02/17

CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD BEARING	CHORD DELTA
C1	81.37	76.00	N30°51'00"E	77.54
C2	44.33	100.00	S31°52'41"W	43.97
C3	115.92	150.00	N22°28'21"E	113.06
C4	39.35	25.00	N44°52'33"W	35.41



EXISTING BUILDING AND ASSOCIATED PARKING REMAIN. INTERFACE BETWEEN EXISTING AND PROPOSED PROTECTED TO ALLOW SAFE TRAVEL

SITE PLAN



KEYNOTES

- 1 TYP ASPHALT PAVING
- 2 TYP ROLLED CONC CURB AND GUTTER
- 3 6' HIGH CMU WALL - SEE DETAIL 3/A101
- 4 EXISTING WALL - 4'-6" HIGH UNPAINTED CMU
- 5 6' H PAINTED STEEL GATE W/ KNOX LOCK BDX
- 6 30' X 12' REFUSE YARD W/ 10' CONC APPROACH APRON SEE DETAIL 1/A101
- 7 8' WIDE CONC SIDEWALK
- 8 8' WIDE DECORATIVE CONC CROSS-WALK
- 9 CONC DISPLAY PAD - 1' ABOVE ADJACENT GRADE
- 10 CRIP CONTAINMENT CONC SLAB - FLUSH W/ PAVING
- 11 EXISTING SIGN TO REMAIN
- 12 EXISTING SIDEWALK
- 13 NEW DIRECTIONAL SIGN - BY SEPARATE REVIEW
- 14 LINE OF EXISTING BUILDING TO BE DEMOLISHED
- 15 ACCESSIBLE PARKING PER ADA STANDARDS
- 16 OPEN LINE OF FUTURE BUILDING EXPANSION
- 17 CONC PAVING AT MOTORCYCLE PARKING
- 18 EXISTING STREET LIGHT
- 19 EXISTING ISLAND TO BE REMOVED
- 20 EXISTING LOT LINE TO BE ELIMINATED BY RE-PLAT ALL EXISTING
- 21 6' HIGH UNPAINTED CMU WALL - RUNNING BOND - NO ACCENT COURSING
- 22 BICYCLE PARKING PER DETAIL 5/A101
- 23 TYP WALL MOUNTED LIGHT FIXTURE
- 24 UTILITY CO. TRANSFORMER
- 25 ELECTRICAL EQUIPMENT
- 26 'RIGHT TURN ONLY' SIGN

LEGEND

- DENOTES STREETLIGHT - SEE CIVIL
- * DENOTES LIGHT FIXTURE, POLE AND CONCRETE BASE SEE ELECTRICAL - MAX HEIGHT ABOVE ADJACENT GRADE = 25 FEET. SEE DETAIL 4/A101
- DENOTES FIRE HYDRANT - SEE CIVIL
- TRUCK ROUTE/TURNING RADIUS
- TYPICAL PARKING LAYOUT ALL LINES STRIPED
- TYPICAL DISPLAY LAYOUT DASHED LINES NOT STRIPED
- TYPICAL LANDSCAPED END CAP ISLAND
- TYPICAL LANDSCAPED INTERIOR ISLAND

LINEWEIGHT SYMBOLS

- DIMENSIONS
- KEYNOTES
- TEXT AND NOTES
- BUILDINGS
- BUILDINGS TO BE DEMOLISHED
- CONCRETE AND SIDEWALKS
- VERTICAL AND ROLLED CONCRETE CURBS AND GUTTERS
- EASEMENTS
- FIRE HYDRANTS
- FIRE TRUCK ROUTE AND RADIUS
- HATCH AND SCURE PATTERNS
- PROPERTY LINES
- PROPERTY LINES TO BE REMOVED
- SITE LIGHTING
- SITE WALLS AND GATES
- STIPING FOR CODE REQUIRED PARKING
- DISPLAY AND INVENTORY PARKING NOT TO BE PAINTED

PROJECT INFORMATION

PROJECT NAME: LARRY H. MILLER AMERICAN TOYOTA
PROJECT ADDRESS: 5995 ALAMEDA BLVD NE
OWNER: MILLER FAMILY REAL ESTATE
9350 S. 150 E
STE 1000
SANDY, UTAH 84070-2721

PROJECT DESCRIPTION: DEMOLITION AND RECONSTRUCTION OF EXISTING AUTOMOBILE SALES AND SERVICE FACILITY, AND RELATED SITE IMPROVEMENT

ZONING (EXISTING): SU-2 SPECIAL NEIGHBORHOOD ZONE
ZONING (PROPOSED): SU-1/SU-2 FOR AUTOMOTIVE SALES, SERVICE AND REPAIR

GROSS SITE AREA: 10.1391 ACRES
NET SITE AREA: 9.52 ACRES

GROSS BUILDING AREA: 89,772 S.F.
GROUND FLOOR AREA: 73,732 S.F.
SECOND FLOOR AREA: 16,040 S.F.

OCCUPANCY: B, S-1
CONSTRUCTION TYPE: II-B WITH AUTOMATIC FIRE SPRINKLER SYSTEM

LEGAL DESCRIPTION: TRACTS A-1 AND B-1, AMERICAN TOYOTA, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON SEPTEMBER 24, 2004, IN PLAT BOOK 2004C, FOLIO 300.

AND

LOTS NUMBERED FIFTEEN (15), SIXTEEN (16), SEVENTEEN (17) AND EIGHTEEN (18) IN BLOCK NUMBERED TEN (10) OF TRACT LETTERED 'A', UNIT LETTERED 'B' OF NORTH ALBUQUERQUE ACRES, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON APRIL 24, 1936, IN PLAT BOOK O, FOLIO 130A.

PARKING CALCULATIONS

BUILDING ZONE	AREA	REQUIREMENT	SUB-TOTAL REQUIRED
SHOWROOM/ OFFICE	31,984	1/200 0-15,000 1/250 15,000 - 31,984	75 68
PARTS WAREHOUSE	14,578	1/2000	8
SERVICE BAYS	43,210	1/1000	44
SUBTOTAL			195
10% REDUCTION PER 14-16-3-1 (6)(a)			-19
TOTAL PARKING REQUIRED			176

ACCESSIBLE PARKING REQUIRED - PER DRAINAGE 14-16-3-1
TOTAL REQUIRED PARKING 151-300 SPACES = 8

MOTORCYCLE PARKING REQUIRED (101-150) = 5

BICYCLE PARKING REQUIRED (1/20 PARKING) = 9

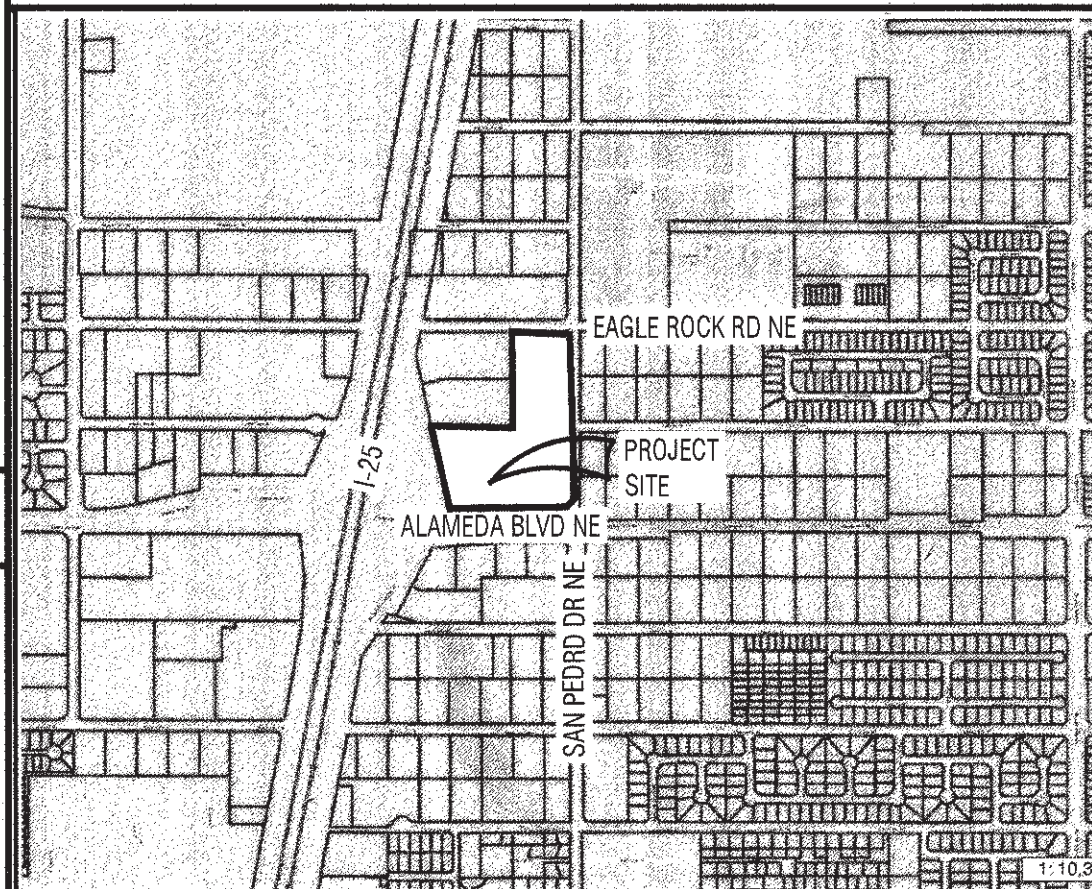
TOTAL PARKING PROVIDED = 321

ACCESSIBLE PARKING PROVIDED = 8

MOTORCYCLE PARKING PROVIDED = 5

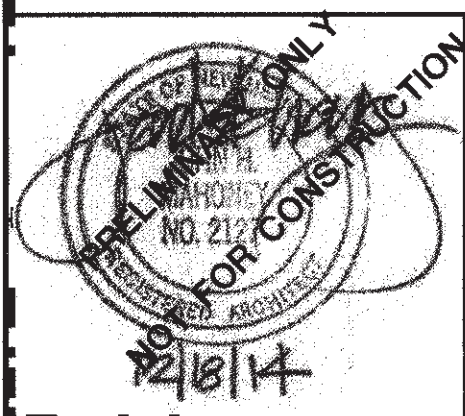
BICYCLE PARKING PROVIDED = 10

NOTE: TREE CANOPY SHALL COUNT TOWARDS THE 75% VEGETATIVE GROUND COVER REQUIREMENTS PER THE NORTH I-25 SECTOR DEVELOPMENT PLAN



VICINITY MAP

JOHN MAHONEY ARCHITECT
850 W. ELLIOT ROAD, #108
TEMPE, ARIZONA 85284
P 480.345.8457 F 480.345.1759

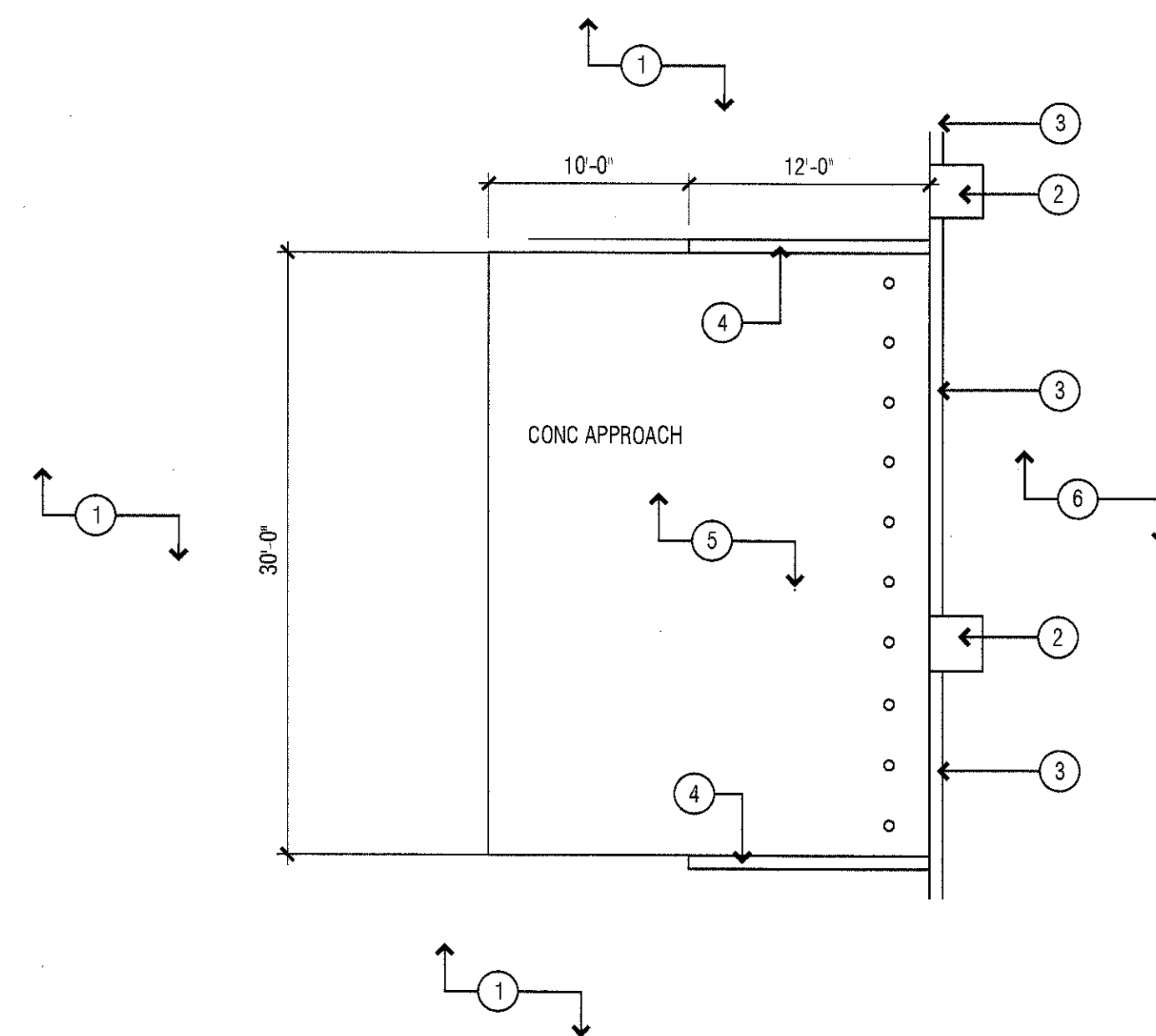


Larry H. Miller
American Toyota Albuquerque
LARRY H. MILLER
AMERICAN TOYOTA
5995 ALAMEDA BLVD NE
ALBUQUERQUE, NEW MEXICO

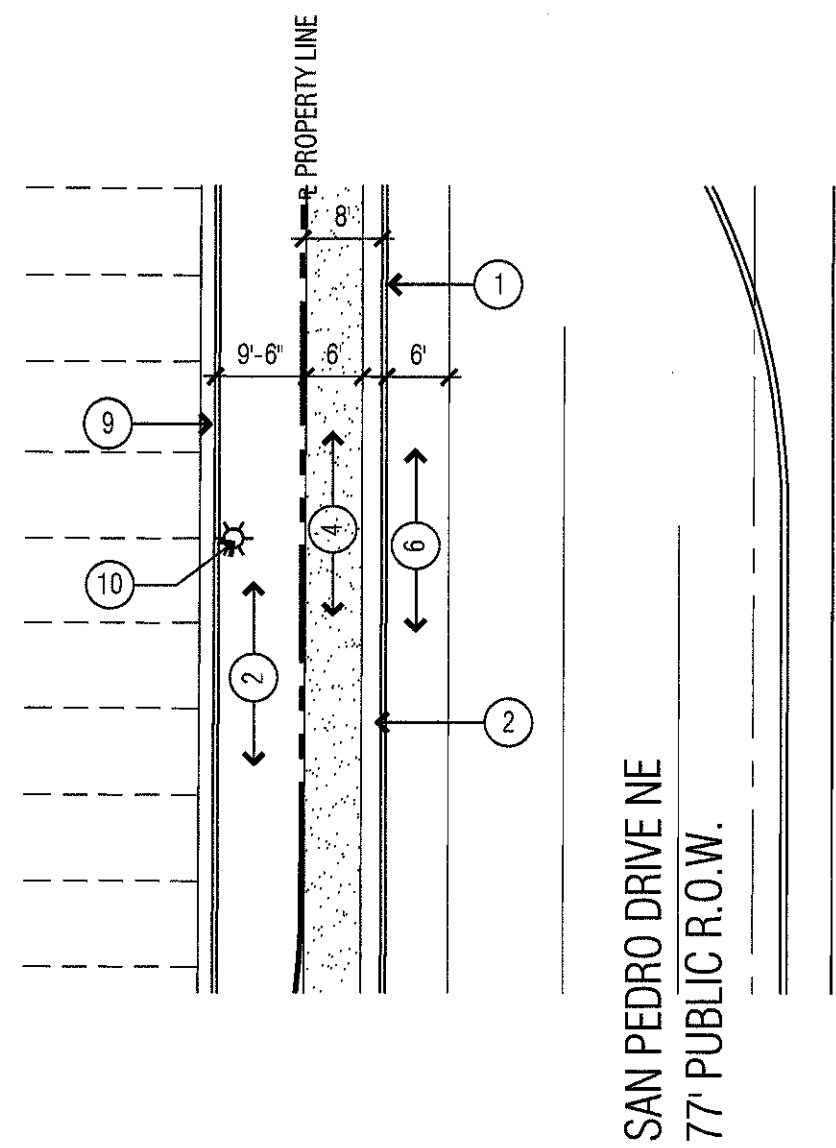
PROJECT NO. 1325
ISSUE DATE: 12/18/14

SITE PLAN

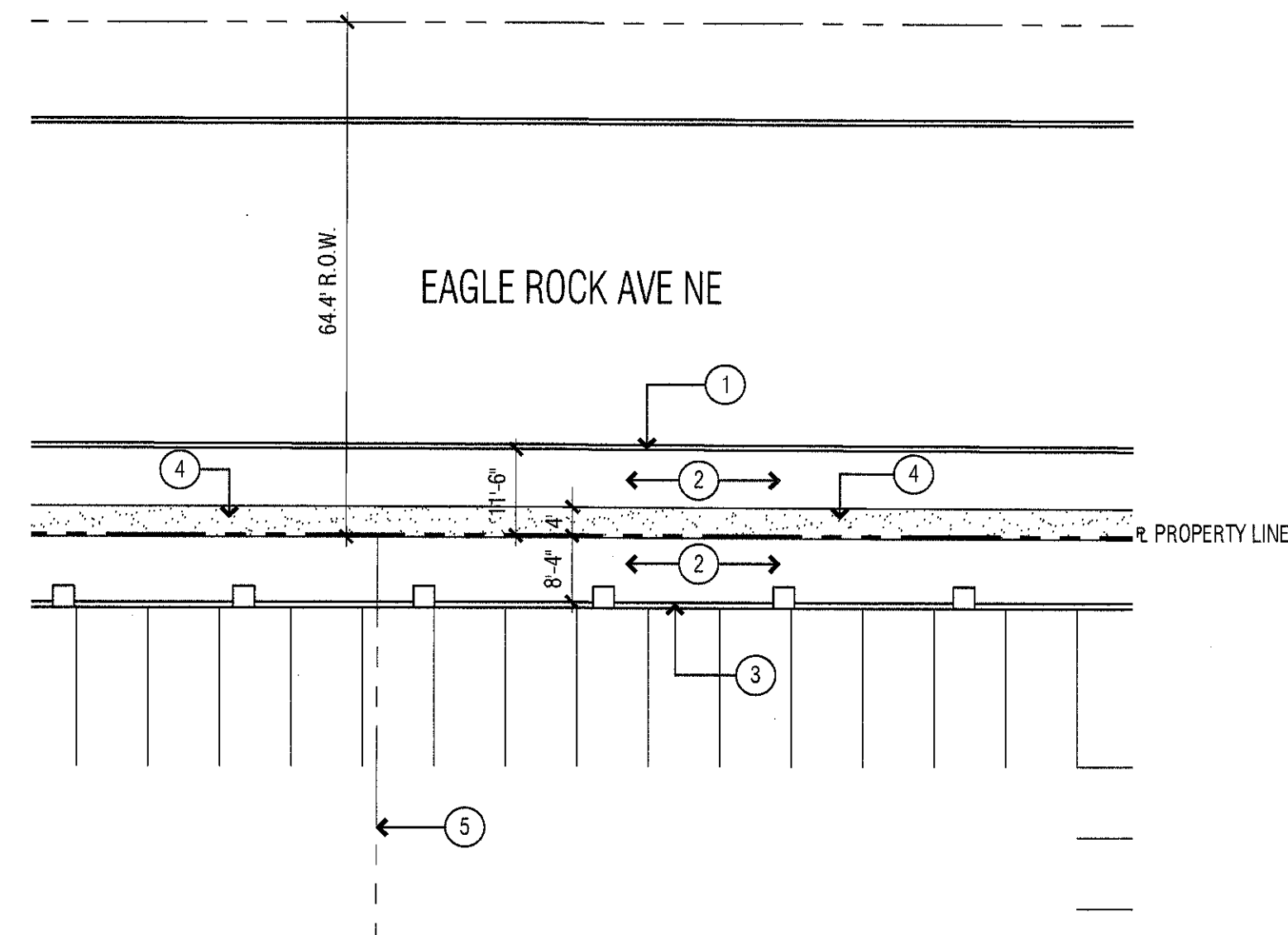
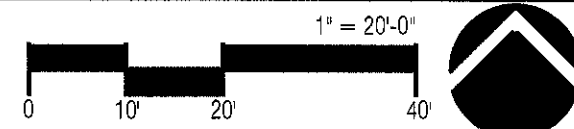
A100



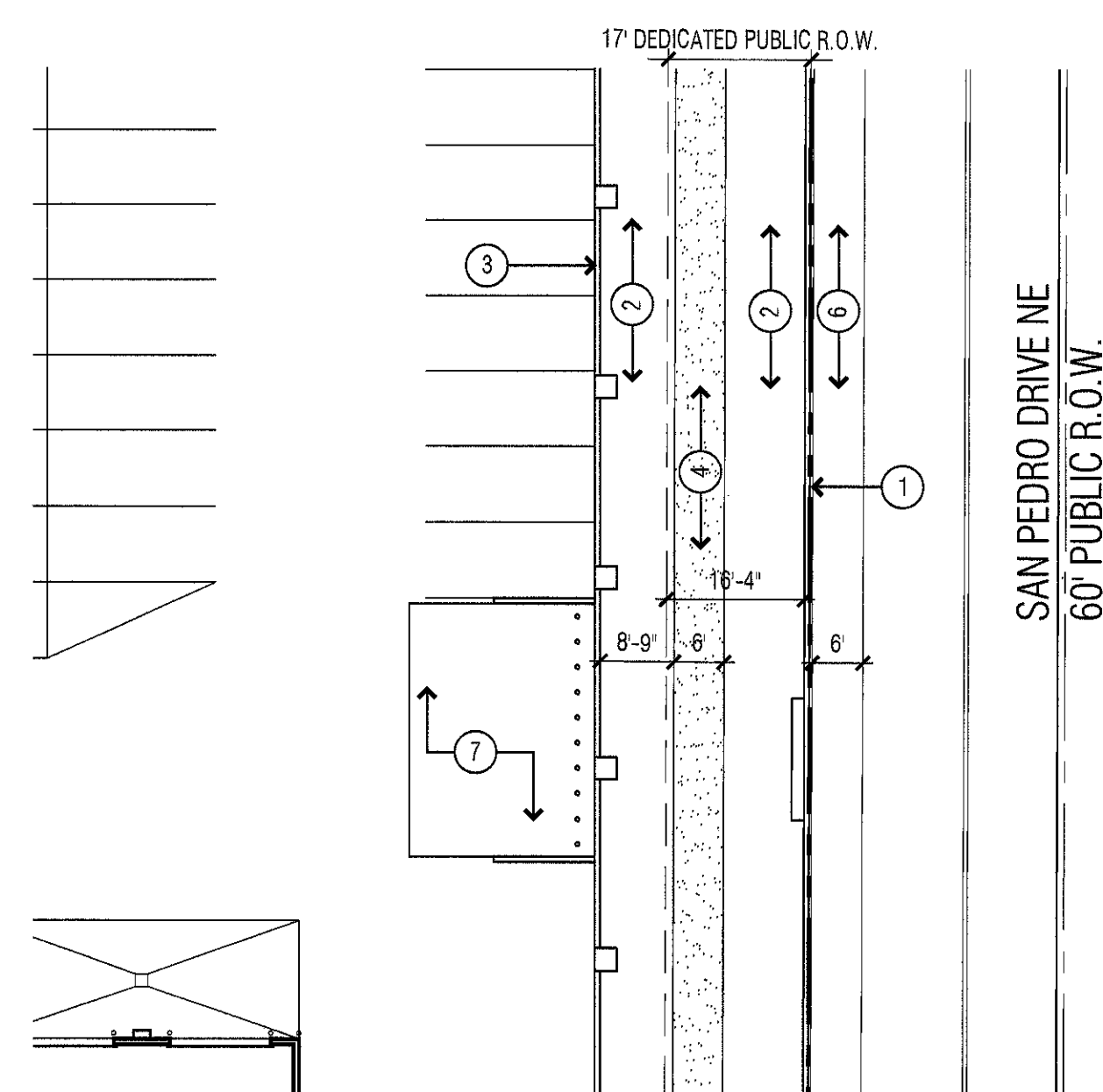
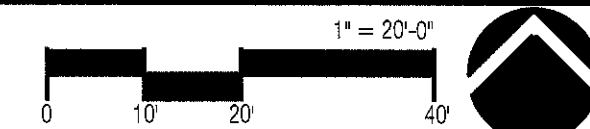
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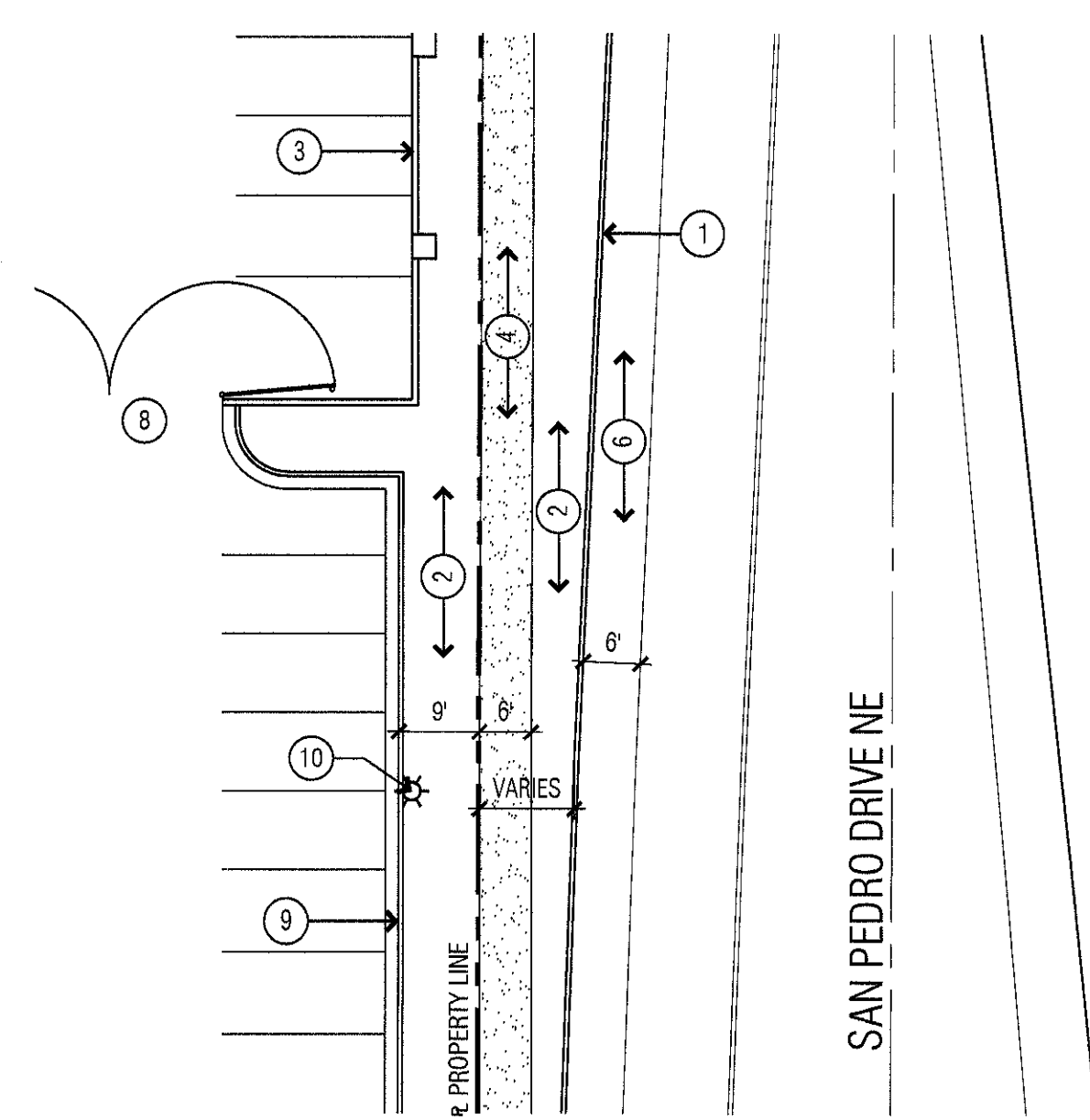
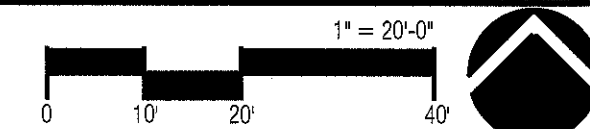
4 SIDEWALK EXHIBIT



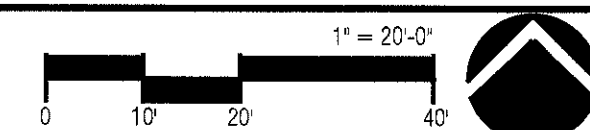
1 SIDEWALK EXHIBIT



2 SIDEWALK EXHIBIT



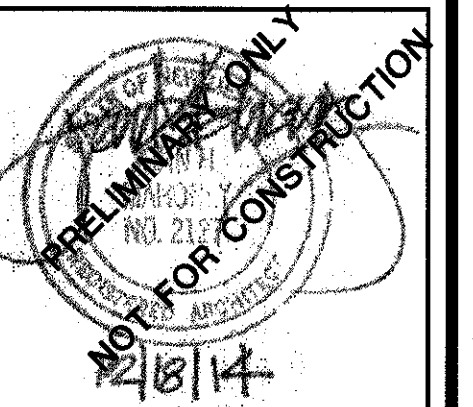
3 SIDEWALK EXHIBIT



KEYNOTES

- 1 EXISTING CONCRETE CURB
- 2 LANDSCAPING
- 3 6' HIGH CMU WALL - SEE DETAIL 3/A101
- 4 EXISTING CONCRETE SIDEWALK
- 5 INTERNAL PROPERTY LINE TO BE ABANDONED PER PLAT
- 6 EXISTING BIKE LANE
- 7 30' X 12' REFUSE YARD W/ 10' CONC APPROACH APRON SEE DETAIL 1/A101
- 8 6' H PAINTED STEEL GATE W/ KNOX LOCK BOX
- 9 TYPICAL ROLLED CURB AND GUTTER
- 10 TYPICAL PARKING LOT LIGHT FIXTURE

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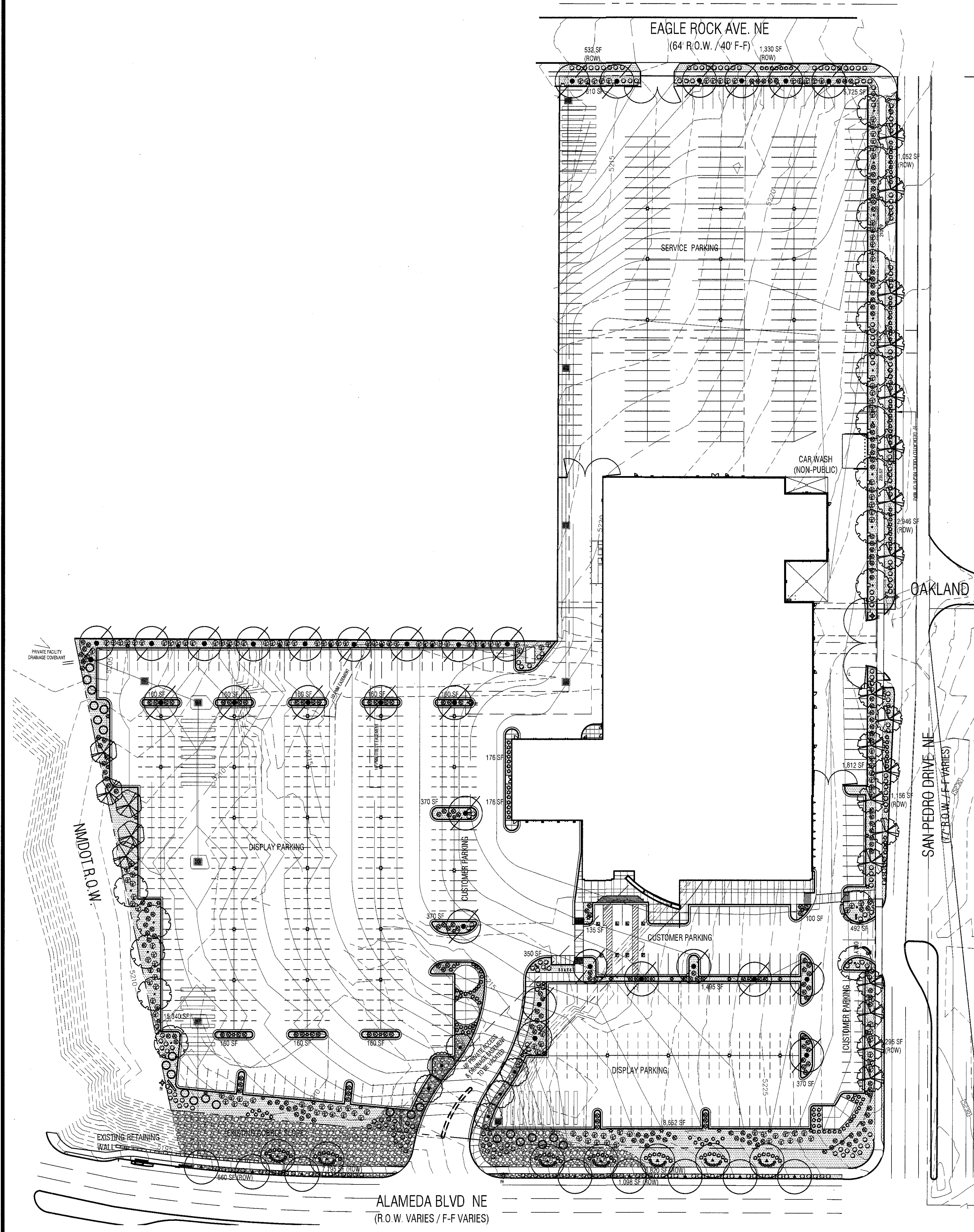
Larry H. Miller
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AMERICAN TOYOTA
5995 ALAMEDA BLVD NE
ALBUQUERQUE, NEW MEXICO

PROJECT NO. 1325

ISSUE DATE 12/18/14

SIDEWALK EXHIBITS

A102



PLANT LEGEND				
QTY.	SYMBOL	SCIENTIFIC NAME (WATER USE) COMMON NAME	SIZE	INSTALLED SIZE MATURE SIZE
TREES				
19		CERCIS RENIFORMIS 'OKLAHOMA' (M) OKLAHOMA REDBUD	2.5' B&B	12-14' HT. 25' HT. X 25' SPR.
5		CHILOPSIS LINEARIS 'BUBBA' (L+) DESERT WILLOW	2" B&B	8' HT. X 6' SPR. 20' HT. X 25' SPR.
30		FRAXINUS PENN. 'URBANITE' (M+) URBANITE ASH	2.5' B&B	12-14' HT. 50' HT. X 40' SPR.
17		GYMNOCLADUS DIOCUS 'ESPRESSO' (M) ESPRESSO KENTUCKY COFFEE TREE	2.5' B&B	12-14' HT. 50' HT. X 40' SPR.
24		JUNIPERUS SCOP. 'SKYROCKET' (M) SKYROCKET JUNIPER	15-GAL.	6' HT. 12' HT. X 6' SPR.
6		PYRUS CALLERYANA 'CLEVELAND' (M+) FLOWERING PEAR	2.5' B&B	12-14' HT. 30' HT. X 20' SPR.
18		ULMUS PARVIFOLIA 'ALLEE II' (M) ALLEE LACEBARK ELM	2.5' B&B	12-14' HT. 50' HT. X 35' SPR.
SHRUBS/GROUND COVERS				
LARGE SHRUBS				
		CARYOPTERIS CLAND. 'DARK KNIGHT' (M) DARK KNIGHT BLUE MIST	5-GAL.	3' O.C. 3' HT. X 3' SPR.
		CHRYSOHAMNUS NAUSEOSUS (L) CHAMISA	1-GAL.	5' O.C. 4' HT. X 4' SPR.
		CYTISUS SCOPARIUS 'LENA'S BROOM' (M) LENA'S BROOM	5-GAL.	5' O.C. 4' HT. X 4' SPR.
		ELAEGNUS 'PUNGENS' (M) SILVERBERRY	5-GAL.	8' O.C. 8' HT. X 8' SPR.
		FALLUGIA PARADOXA (L) APACHE PLUME	1-GAL.	5' O.C. 4' HT. X 4' SPR.
		PINUS MUGO MUGO (M) MUGO PINE	5-GAL.	5' O.C. 4' HT. X 4' SPR.
MEDIUM SHRUBS				
		LAVENDULA ANGUSTIFOLIA 'HIDCOTE' (M) ENGLISH LAVENDER	1-GAL.	4' O.C. 3' HT. X 3' SPR.
		POTENTILLA FRUTICOSA (L+) SHRUBBY CINQUEFOIL	1-GAL.	3' O.C. 3' HT. X 3' SPR.
		SALVIA GREGGII 'FURMAN'S RED' (M) CHERRY SAGE	3-GAL.	3' O.C. 3' HT. X 3' SPR.
SMALL SHRUBS/GROUND COVERS				
		JUNIPERUS SABINA 'BUFFALO' (L+) BUFFALO JUNIPER	5-GAL.	5' O.C. 2' HT. X 5' SPR.
		RHUS TRILOBATA 'AUTUMN AMBER' (L+) CREEPING THREE LEAF SUMAC	5-GAL.	5' O.C. 2' HT. X 5' SPR.
		SANTOLINA VIRENS (L) GREEN SANTOLINA	1-GAL.	4' O.C. 2' HT. X 3' SPR.
ACCENTS				
		CALAMAGROSTIS A. 'KARL FOERSTER' (L+) FEATHER REED GRASS	5-GAL.	3' O.C. 3' HT. X 3' SPR.
		HESPERALOE PARVIFLORA (M) RED YUCCA	5-GAL.	3' O.C. 3' HT. X 3' SPR.
		MUHLENBERGIA CAP. 'REGAL MIST' (M) MUHLY GRASS	5-GAL.	3' O.C. 3' HT. X 3' SPR.
		NOLINA MICROCARPA (L) BEARGRASS	5-GAL.	5' O.C. 4' HT. X 5' SPR.
		2"-4" COBBLE - MATCH EXISTING COLOR (6" DEPTH)		
		1" BUILDOLGY BROWN ROCK MULCH (3" DEPTH OVER FILTER FABRIC)		
		LANDSCAPE BOULDERS (3' MIN. DIMENSION-MOSS ROCK)		

GENERAL LANDSCAPE NOTES

LANDSCAPE DESIGN

ALL PLANTING AREAS SHALL BE TOP DRESSED WITH 1" BUILDOLGY BROWN ROCK MULCH AND 2"-4" AMARETTO BROWN COBBLE.

IRRIGATION

IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB AND GROUND COVER PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUND COVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS AND GROUND COVERS WILL BE GROUPED ON THE SAME VALVE.

RESPONSIBILITY OF MAINTENANCE

MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE

THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS. AN EVAPOTRANSPIRATION MANAGEMENT CONTROLLER WILL BE INCLUDED IN THE DESIGN OF THE IRRIGATION SYSTEM TO MONITOR WEATHER CONDITIONS SO THAT THE OPTIMUM MOISTURE BALANCE IS ACHIEVED AND THE POSSIBILITY OF OVER-WATERING IS REDUCED.

PNM COORDINATION

COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

CLEAR SIGHT DISTANCE:

LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

WATER HARVESTING

A SERIES OF SUBTERRANEAN INFILTRATION GALLERIES WILL BE PROVIDED ON SITE TO CAPTURE THE FIRST .44" OF FIRST FLUSH RAINFALL. SEE GRADING AND DRAINAGE PLAN FOR DETAILS.

LANDSCAPE AREA COVERAGE

TOTAL SITE AREA (10.14 AC.):	441,660 SF
BUILDING AREA:	- 90,098 SF
STORAGE AREA:	- 106,140 SF
LANDSCAPED R.O.W.	- 23,684 SF
NET AREA	221,740 SF

REQUIRED LANDSCAPE AREA (15% OF NET AREA): 33,261 SF

PROVIDED LANDSCAPE AREA

ON-SITE	37,453 SF
OFF-SITE (R.O.W.)	23,684 SF

LANDSCAPE LIVE VEGETATIVE COVERAGE

LANDSCAPE REQUIREMENTS SPECIFY LANDSCAPE AREAS TO HAVE LIVE VEGETATIVE MATERIAL COVERING 75% OF THE REQUIRED LANDSCAPE AREA (INCLUDING TREE CANOPY PER THE NORTH I-25 SECTOR DEVELOPMENT PLAN). THIS PROJECT WILL MEET THIS REQUIREMENT.

PARKING LOT TREES

AMERICAN TOYOTA IS PROVIDING 59 CUSTOMER PARKING SPACES. PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES. NOTE THAT DISPLAY PARKING IS NOT REQUIRED TO MEET THE PARKING LOT TREE REQUIREMENT.

PARKING LOT TREES REQUIRED: 6

PARKING LOT TREES PROVIDED: 7

STREET TREES

STREET TREE REQUIREMENTS SPECIFY THE SPACING BETWEEN EVENLY SPACED TREES SHOULD BE NO GREATER THAN THE DIAMETER OF THE TREE CANOPY AT MATURITY.

ALAMEDA BOULEVARD FRONTAGE IS 600' AND THE CANOPY SIZE IS 40'.

STREET TREES REQUIRED (ALAMEDA): 15 TREES

STREET TREES PROVIDED (ALAMEDA): 15 TREES

SAN PEDRO FRONTAGE IS 935' AND THE AVERAGE CANOPY SIZE IS 30'.

STREET TREES REQUIRED (SAN PEDRO): 31 TREES

STREET TREES PROVIDED (SAN PEDRO): 31 TREES

JOHN MAHONEY
ARCHITECT
850 W. ELLIOT ROAD, #108
TEMPE, ARIZONA 85283
P 480.345.8457 F 480.345.1759

PRELIMINARY ONLY
NOT FOR CONSTRUCTION

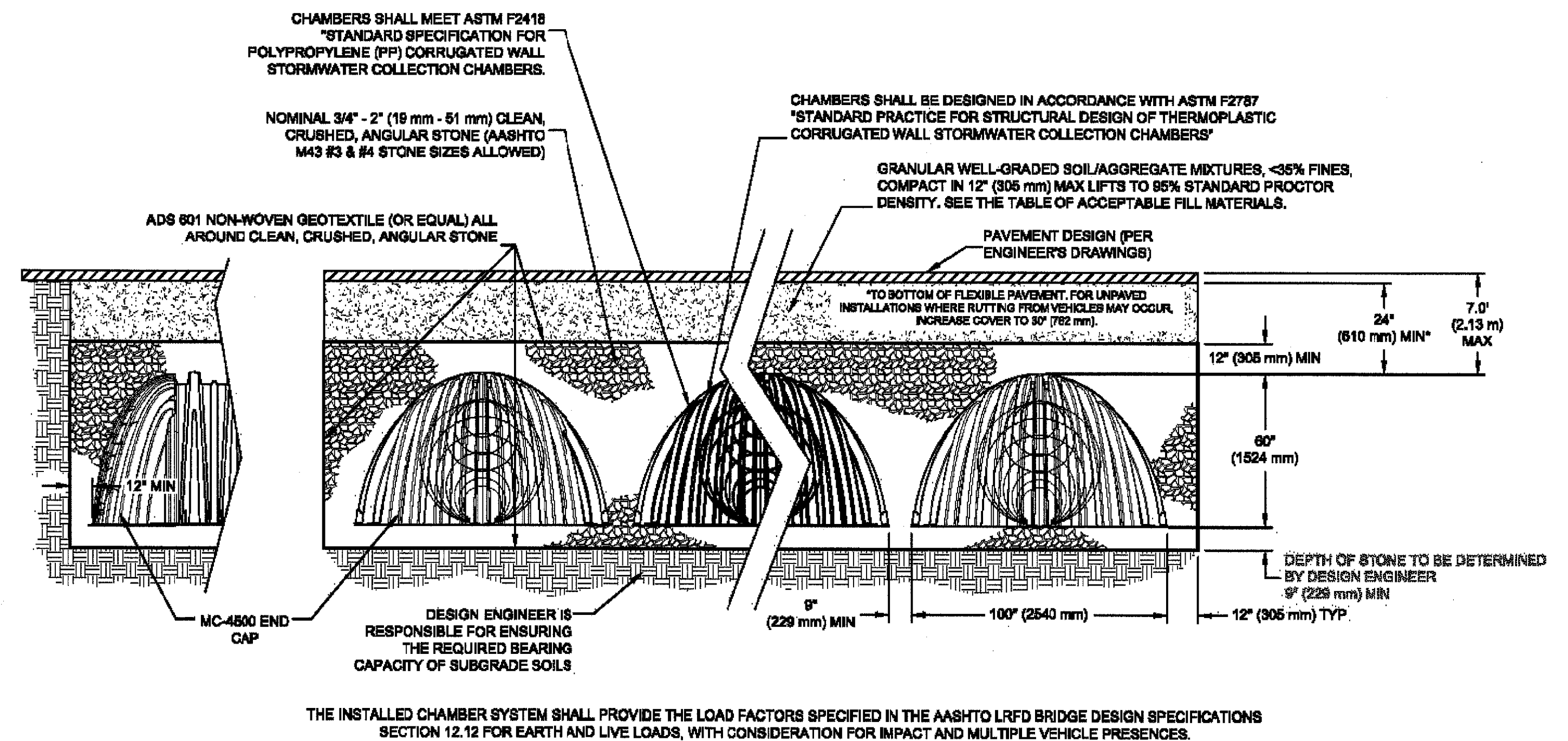
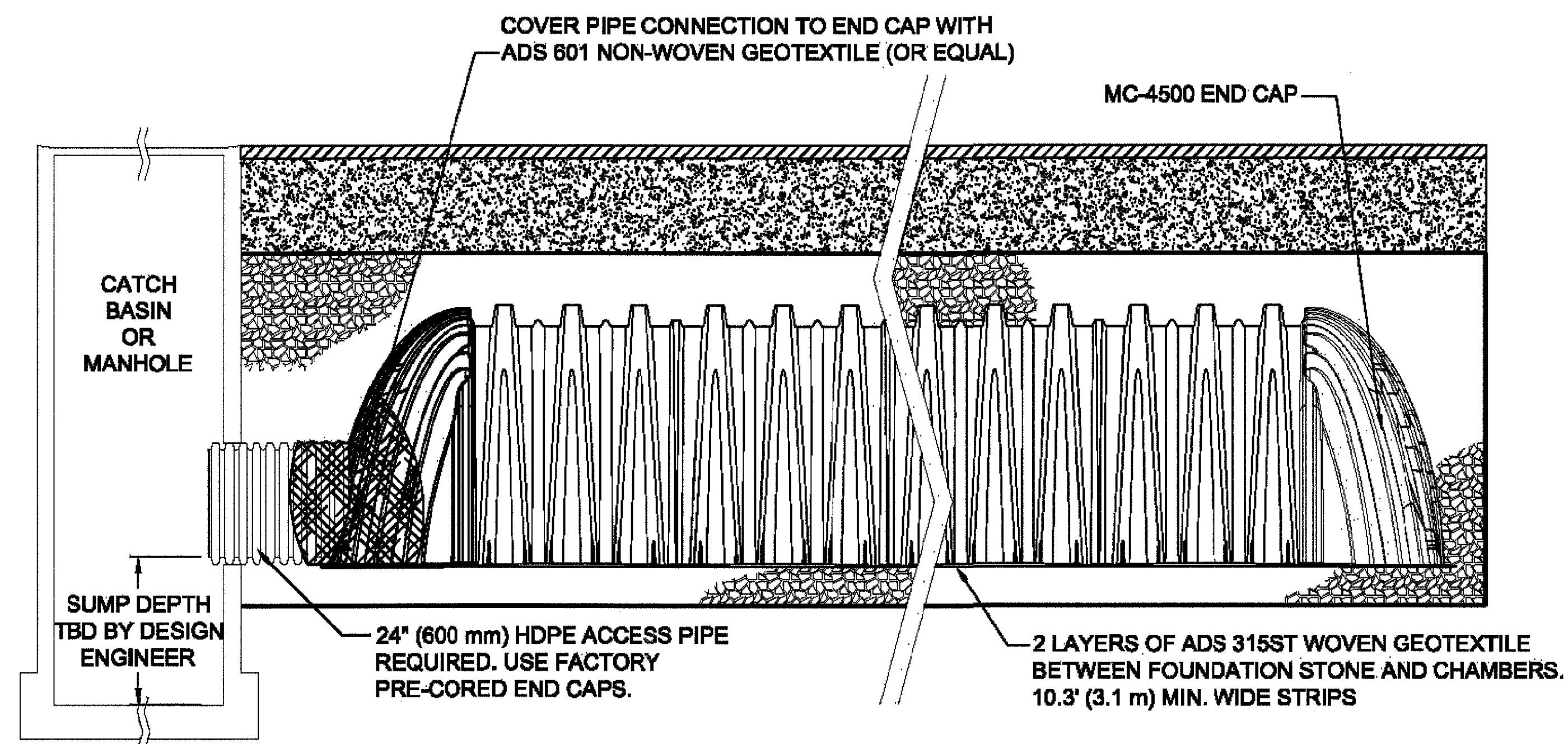
Larry H. Miller
American Toyota ALBUQUERQUE
LARRY H. MILLER
AMERICAN TOYOTA
5995 ALAMEDA BLVD NE
ALBUQUERQUE, NEW MEXICO

PROJECT NO.: 1325
ISSUE DATE: 12/2/14

LANDSCAPE PLAN

L100

SHEET 2 OF 7



THE DESIGN ENGINEER SHALL REVIEW THIS DRAWING PRIOR TO CONSTRUCTION. IT IS THE ULTIMATE RESPONSIBILITY OF THE DESIGN ENGINEER TO ENSURE THAT THE PRODUCT(S) DEPICTED AND ALL ASSOCIATED DETAILS MEET ALL APPLICABLE LAWS, REGULATIONS, AND PROJECT REQUIREMENTS.



StormTech
Subsurface Stormwater Management™
70 INWOOD ROAD, SUITE 3 | ROCKY HILL, CT 06067
PHONE: 866-622-2884 | FAX: 866-622-4401
WWW.STORMTECH.COM

MC-4500 ISOLATOR ROW PROFILE

SCALE: NTS
DATE: 12-29-10
DRAWN BY: JM
CHECKED: KAM



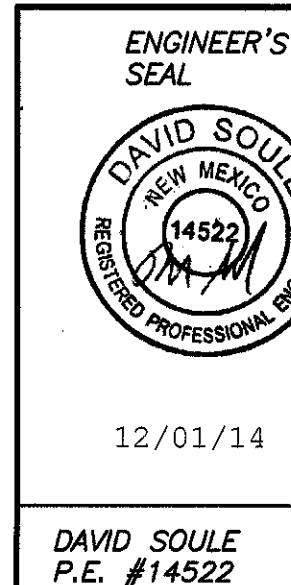
THE DESIGN ENGINEER SHALL REVIEW THIS DRAWING PRIOR TO CONSTRUCTION. IT IS THE ULTIMATE RESPONSIBILITY OF THE DESIGN ENGINEER TO ENSURE THAT THE PRODUCT(S) DEPICTED AND ALL ASSOCIATED DETAILS MEET ALL APPLICABLE LAWS, REGULATIONS, AND PROJECT REQUIREMENTS.



StormTech
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70 INWOOD ROAD, SUITE 3 | ROCKY HILL, CT 06067
PHONE: 866-622-2884 | FAX: 866-622-4401
WWW.STORMTECH.COM

MC-4500 TYP CROSS SECTION

SCALE: NTS
DATE: 08-22-12
DRAWN BY: JLM
CHECKED:



AMERICAN TOYOTA

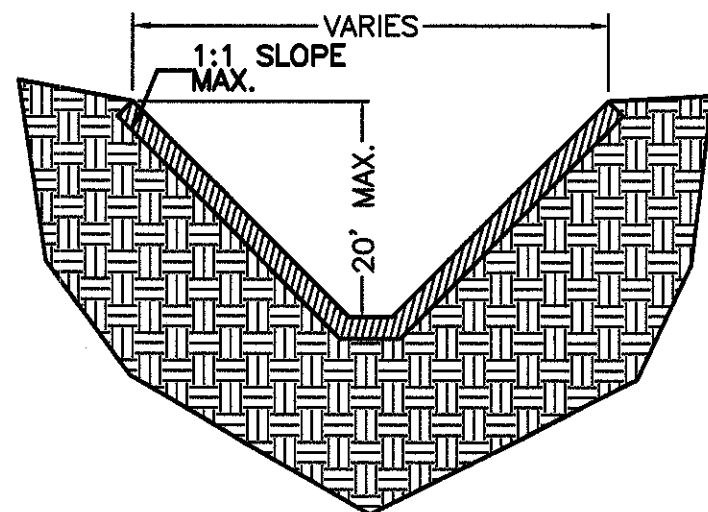
INFILTRATION TANK DETAILS

Rio Grande Engineering
1806 CENTRAL AVENUE SE
SUITE 201
ALBUQUERQUE, NM 87106
(505) 872-0989

DRAWN BY: WCHJ
DATE: 12-01-14
SHEET #
JOB # 21403

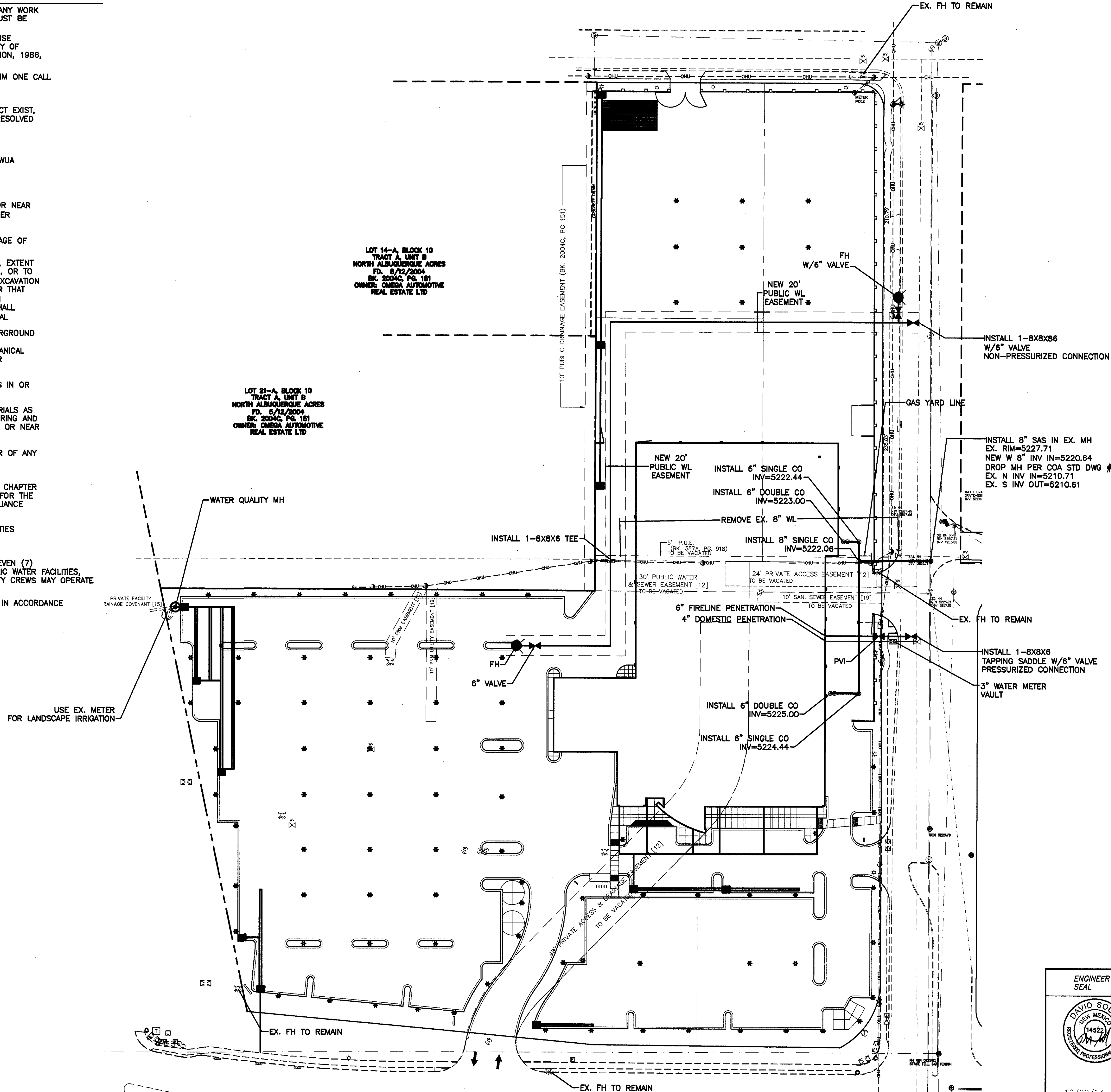
NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN BERNALILLO COUNTY EASEMENT. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986, UPDATE #8.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NM ONE CALL LINE LOCATING SERVICE, 260-1990, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTION. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO ARTERIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE ABCWUA
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR SHALL DETERMINE LOCATION OF ANY UNDERGROUND FACILITY IN OR NEAR WORK AREAS, INCLUDING REQUESTS TO OWNERS/OPERATORS OF SAID FACILITIES PER SECTION 62-14-5 NMSA 1978.
9. CONTRACTOR SHALL PLAN ALL EXCAVATION TO MINIMIZE INTERFERENCE OR DAMAGE OF UNDERGROUND FACILITIES.
10. CONTRACTOR SHALL PROVIDE ADVANCE TELEPHONE NOTICE OF COMMENCEMENT, EXTENT AND DURATION OF ALL EXCAVATION WORK TO THE ONE-CALL NOTIFICATION SYSTEM, OR TO OWNERS/OPERATORS OF ANY EXISTING UNDERGROUND FACILITY IN OR NEAR THE EXCAVATION AREA THAT ARE NOT MEMBERS OF THE ONE-CALL NOTIFICATION CENTER; IN ORDER THAT OWNERS/OPERATORS MAY LOCATE AND MARK UNDERGROUND FACILITY PER SECTION 62-14-5 NMSA 1978 PRIOR TO ANY COMMENCEMENT OF WORK. CONTRACTOR SHALL REQUEST REAFFIRMATION OF LOCATION EVERY TEN (10) WORKING DAYS AFTER INITIAL REQUEST.
11. CONTRACTOR SHALL MAINTAIN EIGHTEEN (18) INCHES BETWEEN EXISTING UNDERGROUND FACILITIES THAT HAVE BEEN PREVIOUSLY IDENTIFIED AND MARKED BY THE OWNERS/OPERATORS OF SAID FACILITIES. CUTTING EDGE OR POINT OF ANY MECHANICAL EXCAVATING EQUIPMENT UTILIZED IN EXCAVATION AREA WILL BE USED IN A MANNER NECESSARY TO PREVENT DAMAGE TO EXISTING UNDERGROUND FACILITIES.
12. CONTRACTOR SHALL PROVIDE SUPPORT FOR EXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA AS NECESSARY TO PREVENT DAMAGE TO SAID FACILITIES.
13. CONTRACTOR SHALL BACKFILL ALL EXCAVATIONS IN A MANNER AND WITH MATERIALS AS MAY BE NECESSARY TO PREVENT DAMAGE TO AND PROVIDE RELIABLE SUPPORT DURING AND FOLLOWING BACK FILLING ACTIVITIES FOR PREEXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA.
14. CONTRACTOR SHALL IMMEDIATELY NOTIFY BY TELEPHONE THE OWNER/OPERATOR OF ANY UNDERGROUND FACILITY WHICH MAY HAVE BEEN DAMAGED OR DISLODGED DURING EXCAVATION WORK.
15. CONTRACTOR SHALL NOT MOVE OR OBLITERATE MARKINGS MADE PURSUANT TO CHAPTER 62, ARTICLE 14 NMSA 1978, OR FABRICATE MARKINGS IN A UNMARKED LOCATION FOR THE PURPOSE OF CONCEALING OR AVOIDING LIABILITY FOR VIOLATION OF OR NONCOMPLIANCE WITH THE PROVISIONS OF CHAPTER 62, ARTICLE 11 NMSA 1978.
16. EMS'S SHALL BE INSTALLED ON WATER LINE AND SANITARY SEWER LINE FACILITIES PER SECTION 170 OF THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS 1986 EDITION AS REVISED THROUGH UPDATE #8.
17. THE WATER AUTHORITY (857-8200) WILL BE NOTIFIED BY THE CONTRACTOR SEVEN (7) WORKING DAYS IN ADVANCE OF ANY WORK WHICH MAY AFFECT THE EXISTING PUBLIC WATER FACILITIES, REFER TO SECTION 18 OF THE STANDARD SPECIFICATIONS. ONLY WATER AUTHORITY CREWS MAY OPERATE PUBLIC VALVES.
18. ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE CARRIED OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.6450 SUBPART P.
19. ALL IMPACTED STRIPING SHALL BE REPLACED BY CONTRACTOR.



SUPPLEMENTAL TRENCH DETAIL

NTS-PER FIGURE V-2-13 OSHA STANDARD SPECIFICATIONS
NOTE: ENTIRE TRENCH PRISM SHALL BE COMPACTED AT 95% ASTM D1557 INCLUDING ALL UTILITY MAIN LINES, WATER METER BOXES AND SERVICES, SAS SERVICES.

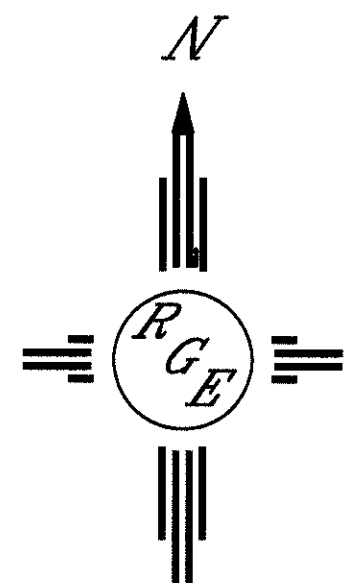


WATER SHUTOFF NOTES:

The contractor shall coordinate with the Water Authority seven (7) days in advance of performing work that will affect the public water or sanitary sewer infrastructure. Work requiring shutoff of facilities designated as Master Plan facilities must be coordinated with the Water Authority 14 days in advance of performing such work. Only Water Authority crews are authorized to operate public valves. Shutoff requests must be made online at <http://abcwua.org/content/view/463/729/>

LEGEND


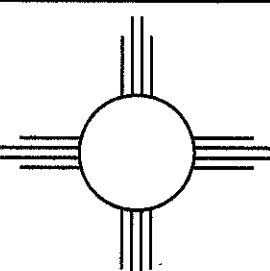
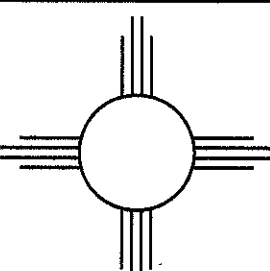
- EX. 12" SD EXISTING STORM SEWER LINE
- EXISTING SAS MANHOLE
- EX. 8" SAS EXISTING SANITARY SEWER LINE
- EXISTING VALVE W/BOX
- EX. 6" WL EXISTING WATER LINE
- PROPOSED METER
- PROPOSED FIRE HYDRANT
- EXISTING EDGE OF PAVEMENT
- PROPOSED CURB & GUTTER
- BOUNDARY LINE
- CENTERLINE
- RIGHT-OF-WAY
- LOT LINES
- STREET LIGHTS
- CONTRACTOR SHALL REMOVE AND REPLACE PAVING PER COA STD DWG #2465 (COLLECTOR).

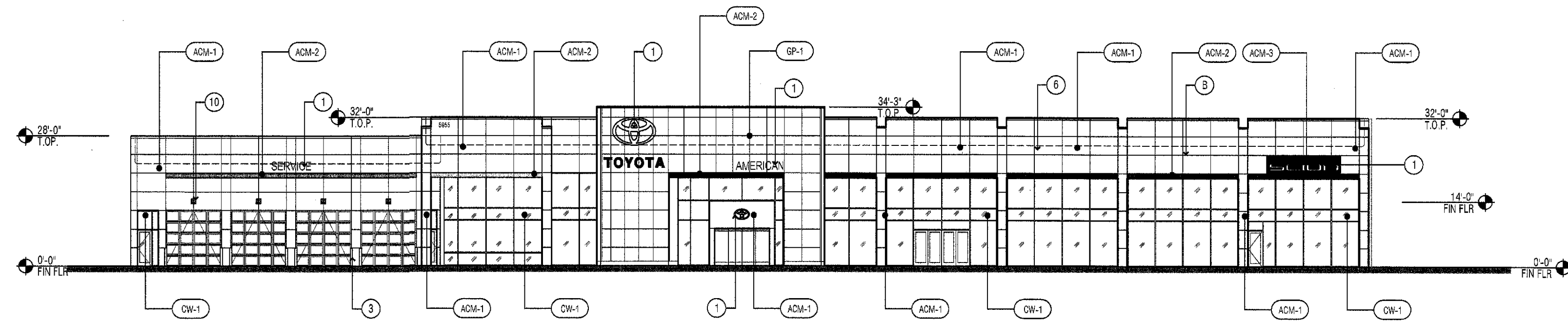


GRAPHIC SCALE

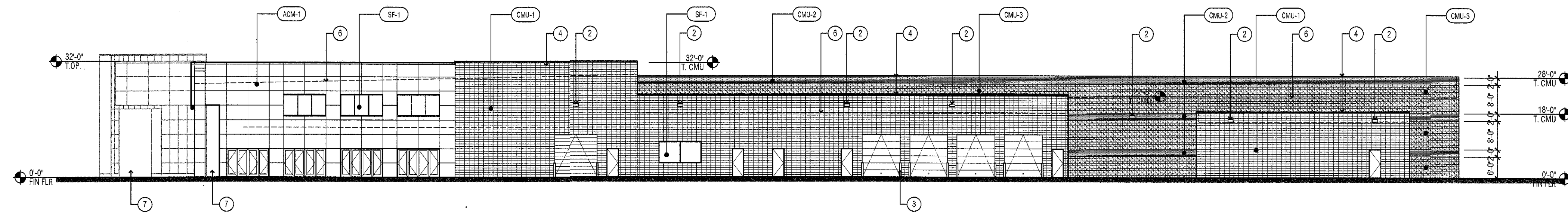


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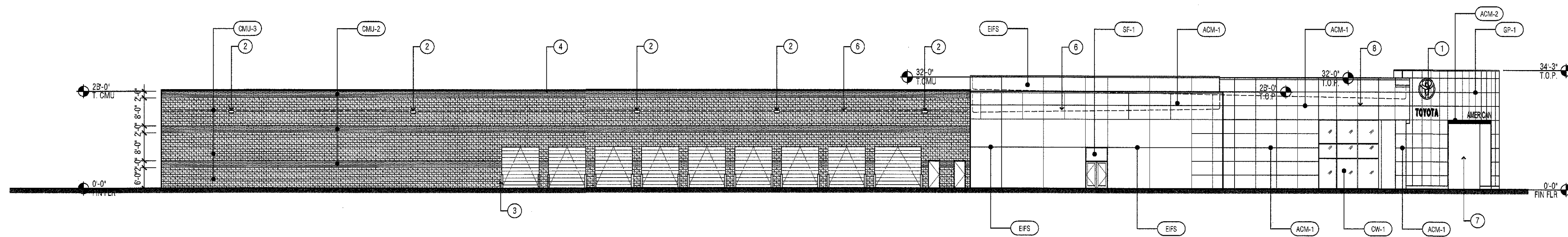
ENGINEER'S SEAL	AMERICAN TOYOTA		DRAWN BY WCUJ
	MASTER UTILITY PLAN		DATE 12-22-14
	 <div><i>Rio Grande Engineering</i> 1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999</div>		21403-LAYOUT-1-25-14
			SHEET #
12/22/14	 <div><i>Rio Grande Engineering</i> 1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999</div>		JOB # 21403
DAVID SOULE P.E. #14522			



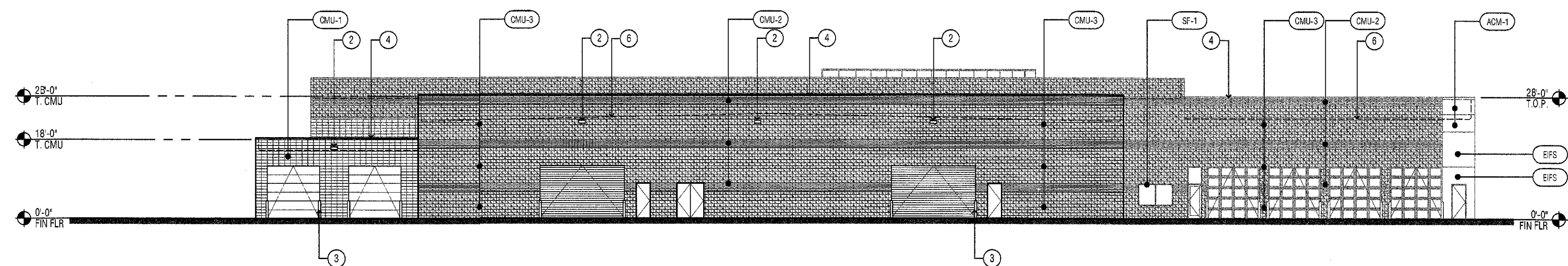
SOUTH ELEVATION



EAST ELEVATION



WEST ELEVATION



NORTH ELEVATION

FINISH LEGEND

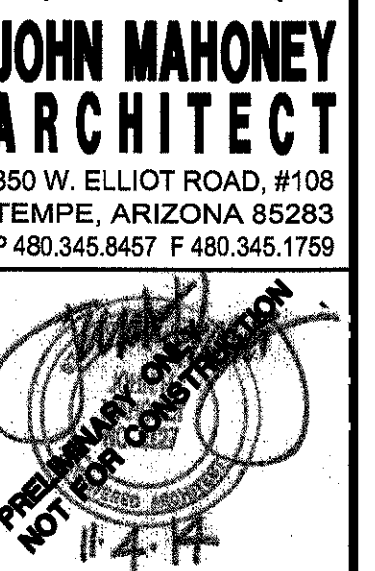
SYM.	MATERIAL DESCRIPTION
ACM-1	MATERIAL: ALUMINUM COMPOSITE PANEL MANUF: REYNOLDBOND OR ALPOLIC SYSTEM: 4 MM THICK BONDED METAL PANEL - 3/4" REVEALS TESTED DRY OR RAINSCREEN SYSTEM WITH EXPOSED EXTRUSIONS TO MATCH PANELS COLOR: TOYOTA SILVER NOTE: FLASHINGS TO MATCH ADJACENT WALL PANELS
ACM-2	MATERIAL: ALUMINUM COMPOSITE PANEL MANUF: REYNOLDBOND OR ALPOLIC SYSTEM: 4 MM THICK BONDED METAL PANEL - 3/4" REVEALS TESTED DRY OR RAINSCREEN SYSTEM WITH EXPOSED EXTRUSIONS TO MATCH PANELS COLOR: TOYOTA SILVER NOTE: FLASHINGS TO MATCH ADJACENT WALL PANELS
ACM-3	MATERIAL: ALUMINUM COMPOSITE PANEL MANUF: REYNOLDBOND OR ALPOLIC SYSTEM: 4 MM THICK BONDED METAL PANEL - 3/4" REVEALS TESTED DRY OR RAINSCREEN SYSTEM WITH EXPOSED EXTRUSIONS TO MATCH PANELS COLOR: TOYOTA BLACK NOTE: FLASHINGS TO MATCH ADJACENT WALL PANELS
GP-1	MATERIAL: GLASS PORTAL MANUF: NOVUM STRUCTURES SYSTEM: SOLERA TRANSLUCENT GLAZING SYSTEM WITH STRUCTURAL STEEL SUPPORT FRAMING & ACM SURROUND
CW-1	MATERIAL: ALUMINUM CURTAIN WALL SYSTEM MANUF: KAWNEER SYSTEM: 1600 SYSTEM 1 SIZE: VARIES - SEE WINDOW FRAME ELEV FINISH: PAINTED TOYOTA SILVER ALT. FINISH: #14 CLEAR ANODIZED ALUMINUM GLASS: 1" INSULATED LOW-E PPG SOLARBAN 60 CLEAR SOLAR CONTROL
CW-2	MATERIAL: ALUMINUM CURTAIN WALL SYSTEM MANUF: KAWNEER SYSTEM: 1600 SYSTEM 1 SIZE: VARIES - SEE WINDOW FRAME ELEV FINISH: PAINTED TOYOTA SILVER ALT. FINISH: #14 CLEAR ANODIZED ALUMINUM GLASS: 1" INSULATED LOW-E PPG SOLARBAN 60 (2) SOLARBONZE + CLEAR SHADE COEFF. = .28
SF-1	MATERIAL: ALUMINUM STOREFRONT WINDOW MANUF: KAWNEER SYSTEM: TRIFAB 451T SIZE: 2'X 4'6" FRONT SET FINISH: PAINTED TOYOTA SILVER ALT. FINISH: #14 CLEAR ANODIZED ALUMINUM GLASS: 1" INSULATED LOW-E PPG SOLARBAN 60 CLEAR SOLAR CONTROL
SF-2	MATERIAL: ALUMINUM STOREFRONT WINDOW MANUF: KAWNEER SYSTEM: TRIFAB 451T SIZE: 2'X 4'6" FRONT SET FINISH: PAINTED TOYOTA SILVER ALT. FINISH: #14 CLEAR ANODIZED ALUMINUM GLASS: 1" INSULATED LOW-E PPG SOLARBAN 60 CLEAR SOLAR CONTROL
EIFS	MATERIAL: EXTERIOR INSULATION & FINISH SYSTEM MANUF: DRYVIT, SYNERGY, PLEKO OR APPROVED EQUAL COLOR: TO MATCH DRYVIT MIDNIGHT WHITE 612, SANDPEBBLE TEXTURE DRYVIT REFERENCE NO. - TOYAD0202Y OR STO NA05-0256 LIGHT GREY
CMU-1	MATERIAL: GROUND FACE INTEGRAL COLOR CMU MANUF: UTILITY BLOCK CO OR EQUAL PRODUCT: 8" X 8" X 16" STACKED BOND COLOR: #910 WHITE SANDS MORTAR: TO MATCH BLOCK SEALER: OXON W-2
CMU-2	MATERIAL: GROUND FACE INTEGRAL COLOR CMU MANUF: UTILITY BLOCK CO OR EQUAL PRODUCT: 8" X 4" X 16" RUNNING BOND COLOR: #130 GRANTITE MORTAR: TO MATCH BLOCK SEALER: OXON W-2
CMU-3	MATERIAL: SPLIT FACE INTEGRAL COLOR CMU MANUF: UTILITY BLOCK CO OR EQUAL PRODUCT: 8" X 8" X 16" RUNNING BOND COLOR: #220 ASHEN BLACK MORTAR: TO MATCH BLOCK SEALER: OXON W-2

GENERAL NOTES

1. ALL HOLLOW METAL DOORS AND FRAMES TO BE PAINTED TO MATCH ADJACENT WALL, UNO.
2. SEE STRUCTURAL FOR MASONRY CONTROL JOINT LOCATIONS.
3. TYVEK TO BE FURNISHED AND INSTALLED BY ACM FABRICATOR AND MEET AIR AND WATER INFILTRATION SPECIFICATIONS WHEN ACM PANEL WAS TESTED TO MEET THE TOYOTA IMAGE USA II ACM SPECIFICATIONS. TYVEK INSTALLATION SHALL BE REVIEWED AND APPROVED BY TYVEK MANUFACTURERS REPRESENTATIVE PRIOR TO ACM INSTALLATION.

KEYNOTES

- 1 SIGNAGE
- 2 WALL MOUNTED LIGHT FIXTURE
- 3 TYPICAL BOLLARD W/ COVER
- 4 PREFINISHED METAL COPING
- 5 ROOF-MOUNTED MECHANICAL EQUIPMENT
- 6 LINE OF ROOF
- 7 OPEN
- 8 ALIGN REVEAL WITH CENTER OF MULLION
- 9 ADDRESS NUMERALS BY G.C.
- 10 TRAFFIC CONTROL LIGHT



LARRY H. MILLER
AMERICAN TOYOTA
5995 ALAMEDA BLVD NE
ALBUQUERQUE, NEW MEXICO

Larry H. Miller
American Toyota Architecture

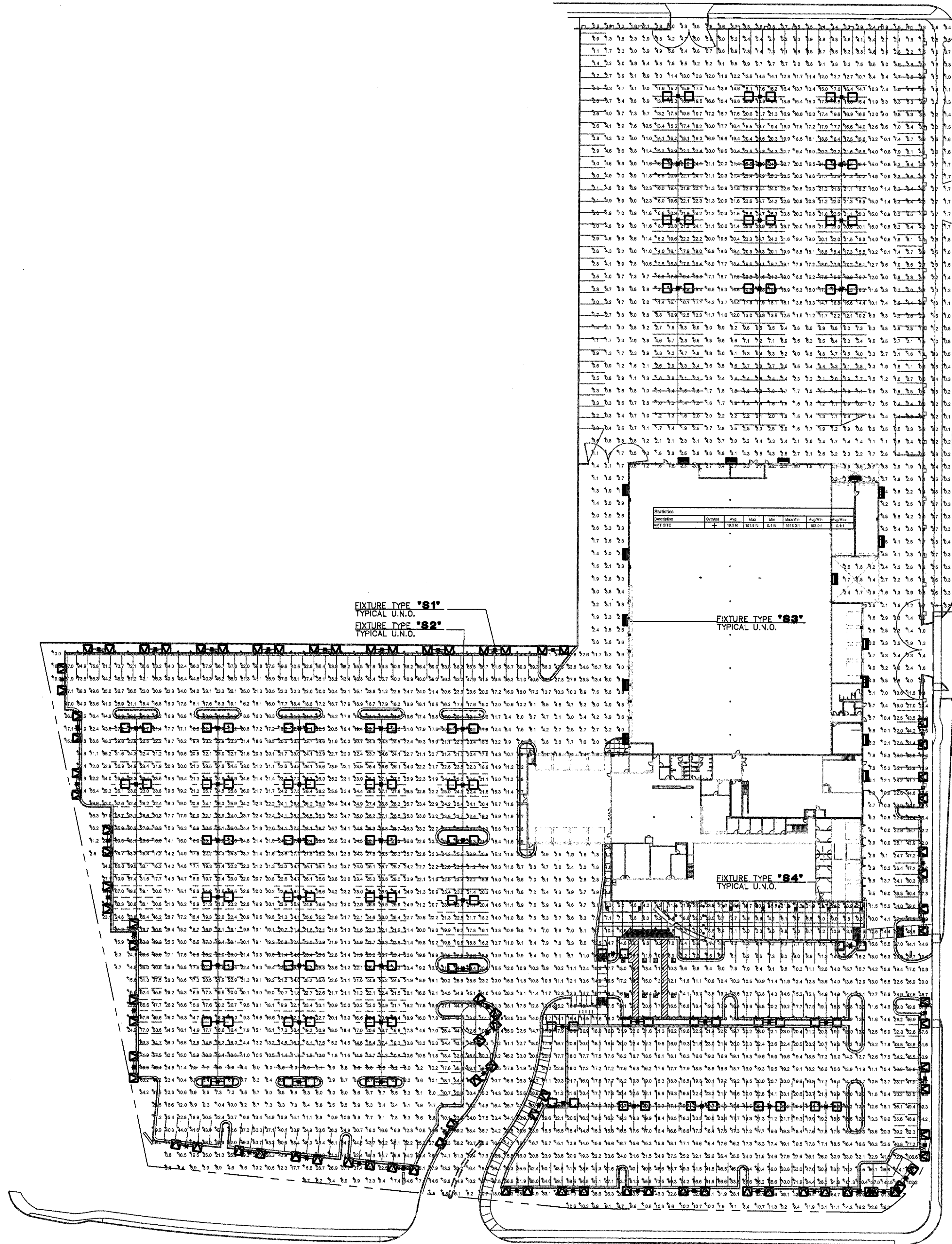
PROJECT NO. 1925
ISSUE DATE 10/30/14

EXTERIOR
ELEVATIONS

A200

JOHN MAHONEY
ARCHITECT
850 W. ELLIOT ROAD, #108
TEMPE, ARIZONA 85283
P 480.345.8457 F 480.345.1759

DR SUBMITTAL
NOT FOR
CONSTRUCTION



PHOTOMETRICS SITE LIGHTING PLAN

Project Contact/Designer: BRIAN R. SANDON
Project # 14048
HAWKINS DESIGN GROUP INC.
ELECTRICAL CONSULTING ENGINEERS
282 SOUTH VINEYARD AVE. SUITE 107
MESA, ARIZONA 85204
PH 480.933.5000 FAX 480.933.9001
EMAIL: brian@hwdsg.com

Larry H. Miller
American Toyota ALBUQUERQUE
LARRY H. MILLER
AMERICAN TOYOTA
5995 ALAMEDA BLVD NE
ALBUQUERQUE, NEW MEXICO

PROJECT NO. 1325

ISSUE DATE: 6/16/14

PHOTOMETRICS
PLAN

E200

