

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



April 22, 2016

David Soule, P.E.
Rio Grande Engineering
P.O. Box 93924
Albuquerque, NM 87199

Richard J. Berry, Mayor

RE: American Toyota (File: C18D012)
Grading and Drainage Plan, Engineer's Stamp Date 7-22-15
Engineer's Certification Dated 4-20-16

Dear Mr. Soule:

Based upon your Engineer's Certification received 4-21-16, the site is acceptable for a TEMPORARY 90-day Certificate of Occupancy by Hydrology with the following conditions:

- Existing inlets at NE corner, behind wall, need to be cleared of all debris and trash
- After 90-days, the NE corner should be graded and paved, and a subsequent TEMPORARY C.O. must be sought. This subsequent TEMPORARY C.O. should be given indefinitely, until the remainder of the site is complete.
- Once the entire site is complete, a Permanent C.O. should be sought. Until then, only Temporary C.O.'s will be issued.
- The Engineer's Certificate should include the addition of inlets and StormTec chambers that were added in the NW corner.
- If this project is to be phased, and it is intended to obtain Permanent C.O. after each phase, then intermediate grading plans are required.

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

If you have any questions, you can contact me at 924-3695.

Sincerely,

Rita Harmon, P.E.
Senior Engineer, Planning Dept.
Development Review Services

Orig: Drainage file
c.pdf via email: Recipient, Camille Cordova, Darlene Sandoval, Rachel Miranda, Lois Blocker

C18D012_CO_Temp.doc

1 of 2



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: _____ Building Permit #: _____ City Drainage #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: _____

City Address: _____

Engineering Firm: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Owner: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Architect: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- _____ DRAINAGE REPORT
- _____ DRAINAGE PLAN 1st SUBMITTAL
- _____ DRAINAGE PLAN RESUBMITTAL
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ EROSION & SEDIMENT CONTROL PLAN (ESC)
- _____ ENGINEER'S CERT (HYDROLOGY)
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ ENGINEER'S CERT (TCL)
- _____ ENGINEER'S CERT (DRB SITE PLAN)
- _____ ENGINEER'S CERT (ESC)
- _____ SO-19
- _____ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ SIA/FINANCIAL GUARANTEE RELEASE
- _____ PRELIMINARY PLAT APPROVAL
- _____ S. DEV. PLAN FOR SUB'D APPROVAL
- _____ S. DEV. FOR BLDG. PERMIT APPROVAL
- _____ SECTOR PLAN APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY (PERM)
- _____ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- _____ FOUNDATION PERMIT APPROVAL
- _____ BUILDING PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ WORK ORDER APPROVAL
- _____ GRADING CERTIFICATION
- _____ SO-19 APPROVAL
- _____ ESC PERMIT APPROVAL
- _____ ESC CERT. ACCEPTANCE
- _____ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

DATE SUBMITTED: _____ By: _____

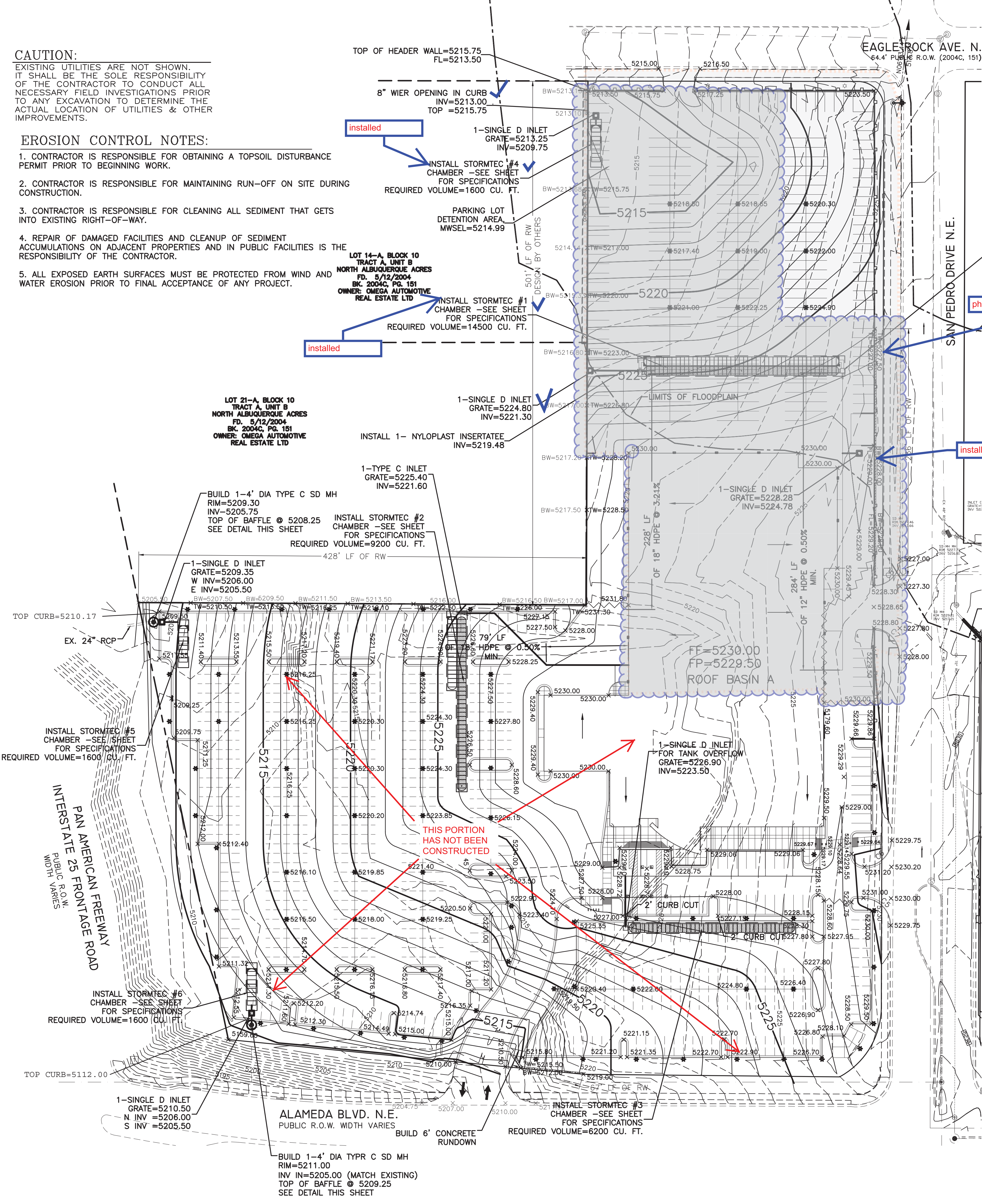
Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

CAUTION:
EXISTING UTILITIES ARE NOT SHOWN.
IT SHALL BE THE SOLE RESPONSIBILITY
OF THE CONTRACTOR TO CONDUCT ALL
NECESSARY FIELD INVESTIGATIONS PRIOR
TO ANY EXCAVATION TO DETERMINE THE
ACTUAL LOCATION OF UTILITIES & OTHER
IMPROVEMENTS.

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



I David Soule, NMPE 14522 , of the firm Rio Grande Engineering, hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intend of the approved plan dated 7/22/15 . The record information edited on the original design document has performed by me or under my direct supervision and is true and correct to the best of my knowledge and belief. The as-built survey was provided GARY GRISTKO NMLS8686 . The certification is submitted in support of a request for TEMPORARY CERTIFICATE OF OCCUPANCY. The record information presented heron is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

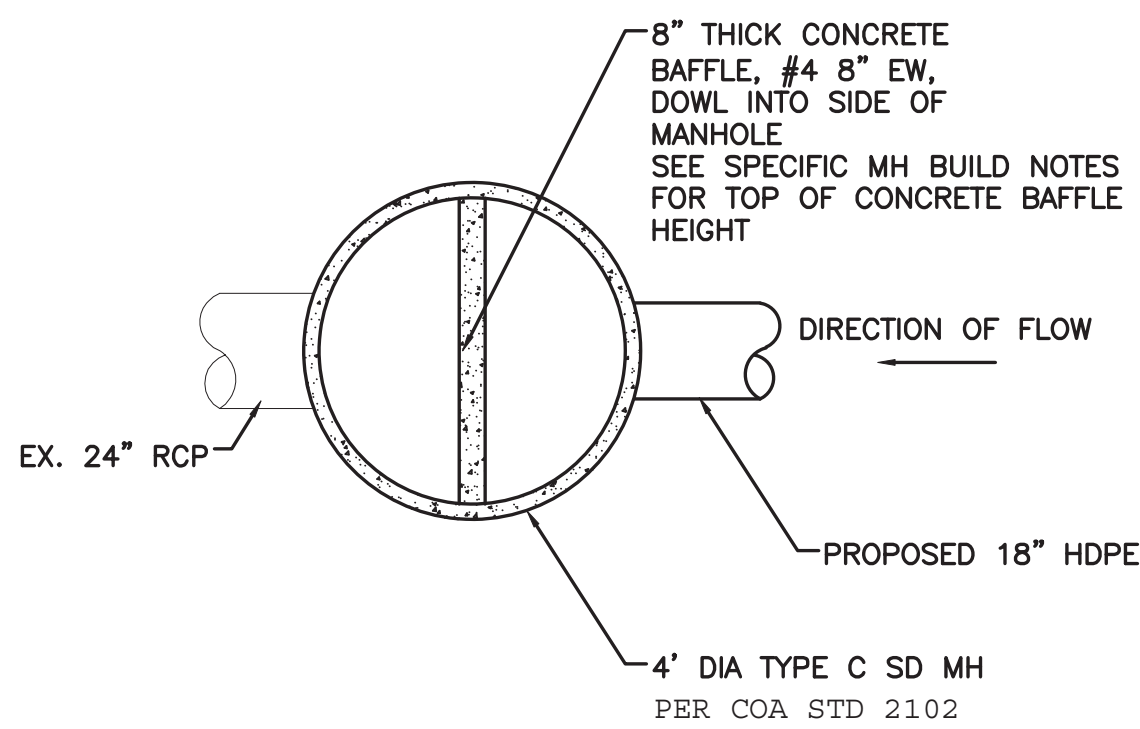
THIS CERTIFICATION IS ONLY FOR THE HIGHLIGHTED AREA. THE SITE WAS ALLOWED BY CITY BUILDING DEPARTMENT TO BE CONSTRUCTED AND OCCUPIED IN PHASES. ALL OF THE DRAINAGE IMPROVEMENTS THAT SUPPORT THIS PHASE HAS BEEN CONSTRUCTED IN COMPLIANCE TO THE GRADING PLAN. THE TEMPORARY CERTIFICATION IS TO ALLOW OCCUPANCY OF THE CONSTRUCTED PORTION. THE FINAL CERTIFICATION WILL NOT BE ISSUED UNTIL ALL IMPROVEMENTS ARE COMPLETED



4/20/16

BENCH MARK INFORMATION

Elevations shown hereon are referenced to Albuquerque Geographic Reference System Station "10-C18". Published elevation of station is 5222.09 ft., NAVD 1988 datum, NM State
Plain coordinates: N=1,524,123.885, E=1,542,565.263, NAD 1983 Datum.



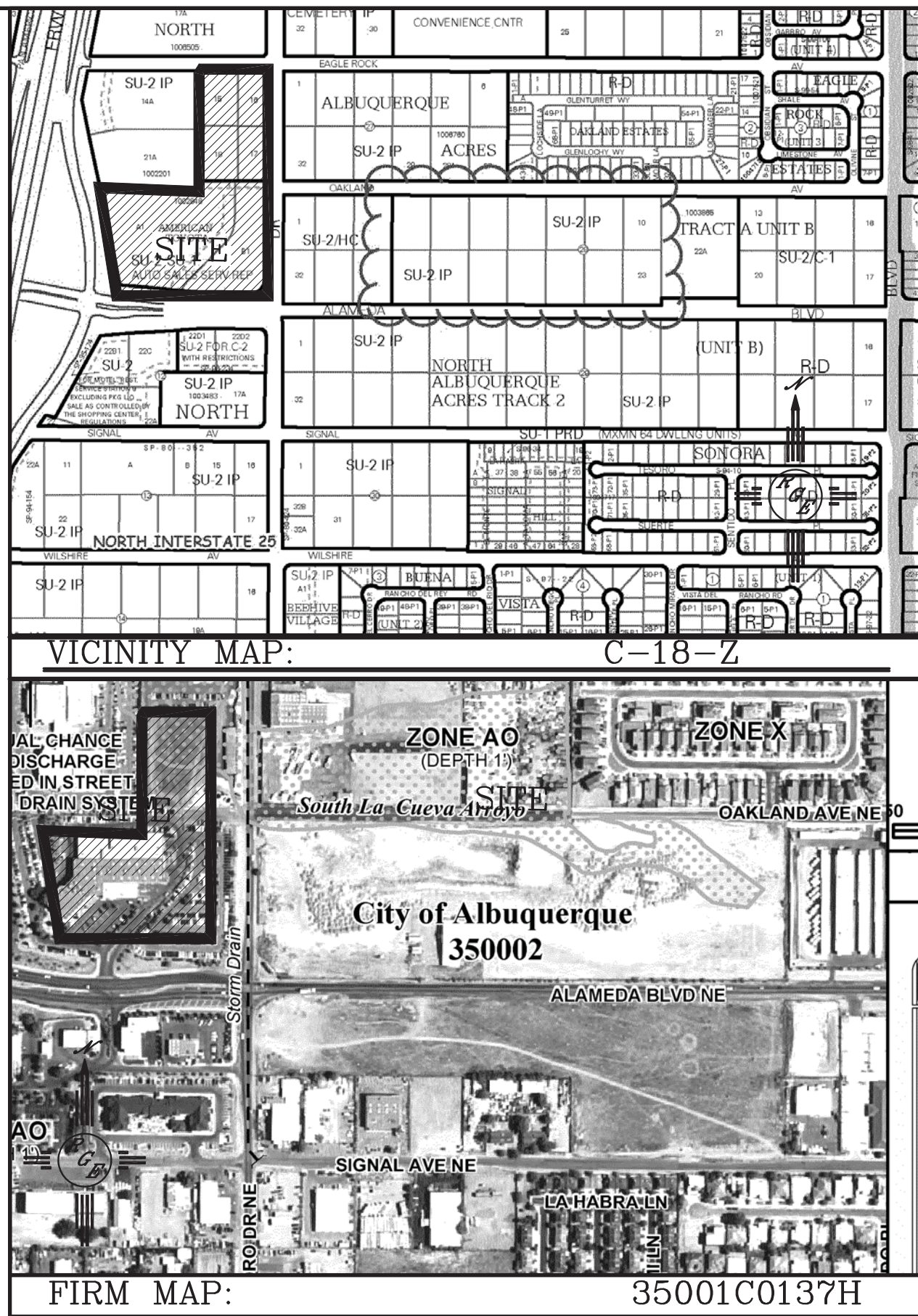
CONCRETE BAFFEL DETAIL IN MH
NTS



GRAPHIC SCALE

50 25 0 25 50

SCALE: 1"=50'



LEGAL DESCRIPTION:

TRACT A-1-A, AMERICAN TOYOTA SUBDIVISION

NOTES:


1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL CURB AND GUTTER TO 6" HEADER UNLESS OTHERWISE NOTED.
3. ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
4. ALL LANDSCAPE MEDIANS WILL BE DEPRESSED 8" FROM FLOW LINE AND 1' CURB OPENING PROVIDED ON THE HIGH SIDE, FOR WATER QUALITY.
5. ALL STORM DRAIN NOT LABELED ON PLAN SHALL BE 18" HDPE.
6. ALL STORMTEC MANIFOLDS SHALL BE 24".
7. TYPE D INLETS PER COA STD 2206

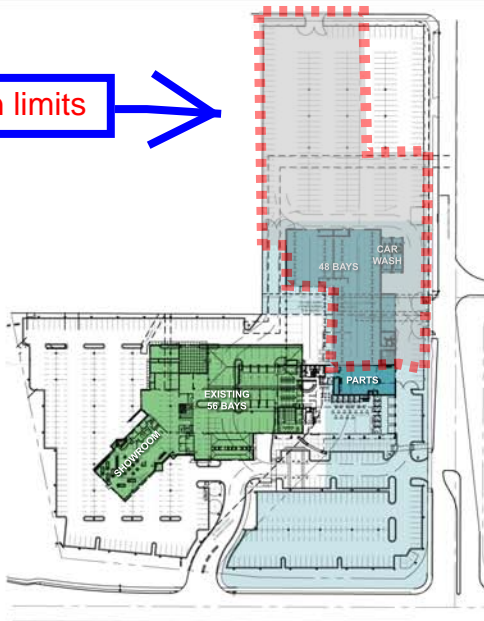

LEGEND

- 5414--- EXISTING CONTOUR
- 5415--- EXISTING INDEX CONTOUR
- 5414--- PROPOSED CONTOUR
- 5415--- PROPOSED INDEX CONTOUR
- 5415--- SLOPE TIE
- 5415--- EXISTING SPOT ELEVATION
- 5415--- PROPOSED SPOT ELEVATION
- 5415--- BOUNDARY
- 5415--- CENTERLINE
- 5415--- RIGHT-OF-WAY
- 5415--- PROPOSED CURB AND GUTTER
- 5415--- EXISTING CURB AND GUTTER
- 5415--- PROPOSED SIDEWALK
- 5415--- PROPOSED SETBACK
- 5415--- PROPOSED LOT LINE
- 5415--- PROPOSED SCREEN WALL
- 5415--- PROPOSED RETAINING WALL
- 5415--- LIMITS OF FLOODPLAIN

ROUGH GRADING APPROVAL

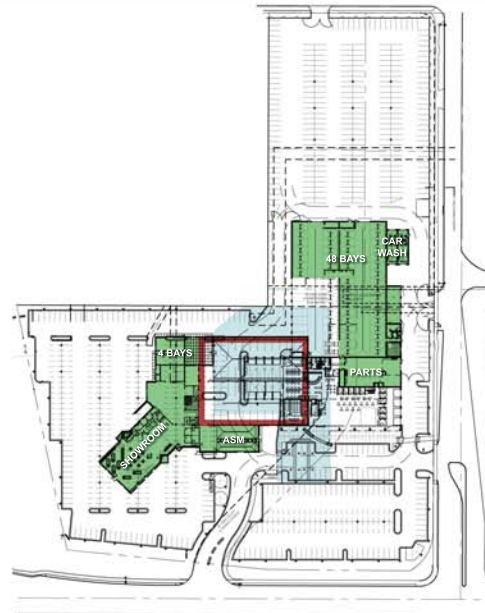
DATE

ENGINEER'S SEAL  7/22/15 DAVID SOULE P.E. #14522	AMERICAN TOYOTA GRADING AND DRAINAGE PLAN <i>Rio Grande Engineering</i> 1806 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	DRAWN BY WCWJ
		DATE 7-22-15
		21403-LAYOUT-1-25-14
		SHEET # — JOB # 21403



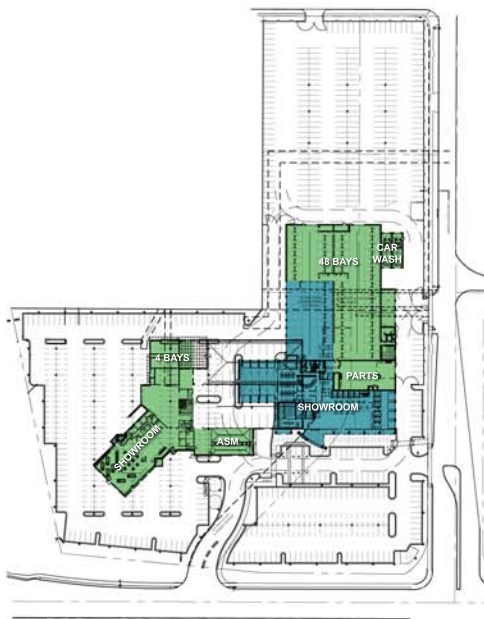
PHASE 1

FIXED OPS EXCEPT EXPRESS



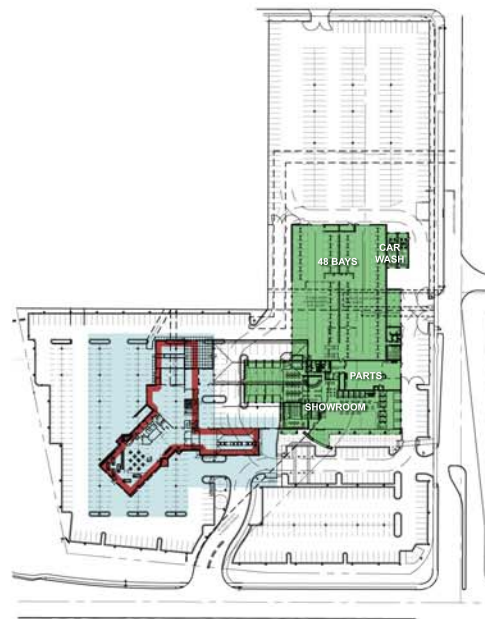
PHASE 2

DEMOLITION & PAD



PHASE 3





SHOWROOM & SERVICE DRIVE



PHASE 4

DEMOLITION

LEGEND

-  Area of building construction
-  Area of site construction
-  Existing building to remain
-  Area of demolition

**JOHN MAHONEY
ARCHITECT**
850 W. ELLIOT ROAD, #108
TEMPE, ARIZONA 85283
P 480.345.8457 F 480.345.1759

PRELIMINARY ONLY
NOT FOR CONSTRUCTION

Larry H. Miller,
American Toyota Albuquerque
LARRY H. MILLER
AMERICAN TOYOTA
\$5995 ALAMEDA BLVD NE
ALBUQUERQUE, NEW MEXICO

PROJECT NO. 1326

ISSUE DATE: 10/6/14

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BILGİLER		

PHASING PLAN

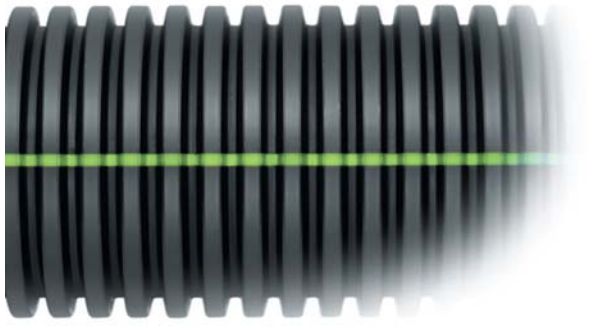
PLAN

A105

A105

PHASING PLAN

A105



THE MOST **ADVANCED** NAME IN WATER MANAGEMENT SOLUTIONS™



April 14, 2016

David Soule, PE
Rio Grande Engineering
Albuquerque, NM

Re: American Toyota – Albuquerque, NM

Dear Mr. Soule:

This letter is to address the installation of the Stormtech system for the American Toyota project in Albuquerque, NM. ADS conducted a preconstruction meeting with the contractor at the jobsite to review installation recommendations for the Stormtech system, then followed up with periodic visits during the installation to confirm. Based on jobsite visits during the installation, the system was installed according to manufacturer's recommendations.

Please don't hesitate to contact me if you have any questions.

Sincerely,

Peter Nichols

Peter Nichols, PE
Sr. Sales Engineer
ADS

Cc: Pat Joseph, PJ Development Inc.
Peggy Graham, ADS