

# CITY OF ALBUQUERQUE



July 12, 2018

David Soule  
Rio Grande Engineering  
PO Box 93924  
Albuquerque, NM 87199

**Re: American Toyota, 5995 Alameda**  
**Request for Certificate of Occupancy**  
**Transportation Development Final Inspection**  
Engineer's Stamp dated 12-18-14 (C18-D012)  
Certification dated 04-24-18

Dear Mr. Soule,

Based upon the information provided in your submittal received 07-06-18, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Ernie Gomez at (505) 924-3981 or me at (505)924-3630.

Sincerely,

Logan Patz  
Senior Engineer, Planning Department  
Development Review Services

LWP via: email  
C: CO Clerk, File



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: American Toyota Building Permit #: \_\_\_\_\_ City Drainage #: C18d012  
 DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
 Legal Description: Tracts A1 and B-1, American Toyota and lots 15-18 tract a unit b NAA  
 City Address: 5995 Alameda NE

Engineering Firm: RIO GRANDE ENGINEERING Contact: DAVID SOULE  
 Address: PO BOX 93924, ALBUQUERQUE, NM 87199  
 Phone#: 505.321.9099 Fax#: 505.872.0999 E-mail: DAVID@RIOGRANDEENGINEERING.COM

Owner: milller family group Contact: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Architect: john mahony Contact: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Surveyor: CONSTRUCTION SURVEY INCORPORATED Contact: JOHN GALLEGOS  
 Address: \_\_\_\_\_  
 Phone#: 917.8921 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

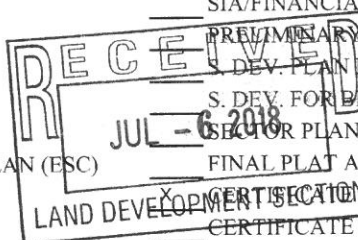
Contractor: \_\_\_\_\_ Contact: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

### TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☒ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY)

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY)



WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_ Yes \_\_\_\_\_ No \_\_\_\_\_ Copy Provided

DATE SUBMITTED: 4/24/18 By: \_\_\_\_\_

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
- Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
- Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
- Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

# **RIO GRANDE ENGINEERING OF NEW MEXICO, LLC**

## **TRAFFIC CERTIFICATION**

I, DAVID SOULE, NMPE, OF THE FIRM RIO GRANDE ENGINEERING, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED SITE PLAN DATED 12/18/14, APPROVED 7/10/15. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY GARY GRITSKO NMPLS 8686 OF THE FIRM CONSTRUCTION ALPHA PRO SURVEY. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 4/15/18 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

### *EXCEPTIONS:*

*NONE*

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

  
\_\_\_\_\_  
Signature of Engineer



4/24/18  
Date



**David Soule**

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**From:** David Soule [david@riograndeengineering.com]  
**Sent:** Tuesday, June 05, 2018 9:45 AM  
**To:** 'Pat Joseph'  
**Subject:** FW: 5995 Alameda NE 87113, American Toyota ( C18D012 )  
[PLEASE FIND CITY COMMENT FOR TRANSPORTATION CO](#)

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**From:** Patz, Logan W. [mailto:lpatz@cabq.gov]  
**Sent:** Tuesday, June 05, 2018 9:27 AM  
**To:** David Soule; Gomez, Ernest P.  
**Cc:** Tena, Victoria C.; Fox, Debi; Sandoval, Darlene M.; Serna, Yvette M.; Zamora, Renee C.; Armijo, Ernest M.  
**Subject:** RE: 5995 Alameda NE 87113, American Toyota ( C18D012 )

Hello David,

This is a known issue our IT is working on correcting. You do **NOT** need to sign up to the 3<sup>rd</sup> party site. IT is working on the issue to get it corrected. (this is something with our server and is not a security threat but I would not sign in or follow the link).

The E-mail had the comment letter as an attachment. The comments for the American Toyota are as follows.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

1. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 "**Violators Are Subject to a Fine and/or Towing.**" If that language is present it is not visible in the detail.
2. Please add parking bumpers to the two center ADA accessible spaces where the pavement is flush with the ADA ramp.
3. Motorcycle parking spaces shall be designated by its own conspicuously posted upright sign, either free-standing or wall mounted per the zoning code.
4. Please close the unused curb cut on San Pedro Dr. at the north end of the site with curb & gutter (Standard Drawing 2415) and sidewalk (Standard Drawing 2430).

A 30 day extension to the temp CO is approved through Transportation.

If you need an official copy of the letter we can print you a copy here at the office.

Let me know if you have an other issues.

Thanks.

**Logan Patz**

Planning Department  
Transportation Development  
600 2nd St. NW, Suite 201  
Albuquerque, NM 87102  
505-924-3630

7/6/2018