



# *City of Albuquerque*

October 3, 2000

Kerry L. Davis, P.E.  
Bohannon-Huston Inc.  
7500 Jefferson Street, NE  
Albuquerque, NM 87109

RE: ENGINEER'S CERTIFICATION FOR ALOHA R.V./TRUCKS UNIQUE (C-18/  
D014), ENGINEER'S STAMP DATED 3/1/00, CERTIFICATION DATED  
09/29/2000.

Dear Mr. Davis,

Based upon the information provided in your submittal dated  
September 29, 2000, the Engineering Certification for Certificate  
of Occupancy for the project referred to above is approved.

If you have any questions, please call me at 924-3988.

Sincerely,

*Stuart Reeder, P.E.*

Stuart Reeder, P.E.  
Hydrology Division

xc: Whitney Reiersen  
✓ File



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

June 20, 2000

Kerry L. Davis, P.E.  
Bohannon Huston, Inc.  
7500 Jefferson NE  
Albuquerque, New Mexico 87109

**RE: *Grading and Drainage Plan for Aloha R.V./Trucks Unique (C18/D14) Submitted for Final Plat Approval, Building Permit Approval, and Infrastructure List Approval, Engineer's Stamp Dated 6/1/00.***

Dear Mr. Davis:

Based on the information provided, the above referenced plan dated June 1, 2000 is approved for Final Plat approval and Building Permit release.

The design is also adequate for approval of the Infrastructure List. The construction plans must go through the DRC process.

As you are aware, the Engineer's Certification is required prior to issuance of the Certificate of Occupancy for this site.

If you have any questions, or if I may be of further assistance to you, please call me at 924-3982.

Sincerely,

Susan M. Calongne, P.E.  
City/County Floodplain Administrator

c: File



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 14, 2000

Kerry L. Davis, P.E.  
Bohannon Huston, Inc.  
7500 Jefferson NE  
Albuquerque, New Mexico 87109

**RE: *Grading and Drainage Plan for Aloha R.V./Trucks Unique (C18/D14) Submitted for Rough Grading Permit Approval, Engineer's Stamp Dated 3/1/00.***

Dear Mr. Davis:

Per Fred Aguirre's signature dated April 13, 2000 on the above referenced plan, the plan is approved for Rough Grading.

Prior to Final Plat sign-off, however, an infrastructure list must be provided for the proposed asphalt swale to be constructed within the vacated Anaheim right-of-way. An Agreement and Covenant will also be required for this swale. The plat must provide a cross-lot drainage easement on Tract 8A for the benefit of Tract 22A.

All comments from my letter of March 20, 2000 must be addressed prior to Building Permit release for this site.

If you have any questions regarding these comments, please call me at 924-3982.

Sincerely,

Susan M. Calongne, P.E.  
City/County Floodplain Administrator

c: File



# City of Albuquerque

March 20, 2000

Kerry L. Davis, P.E.  
Bohannon Huston, Inc.  
7500 Jefferson NE  
Albuquerque, New Mexico 87109

**RE: *Grading and Drainage Plan for Aloha R.V./Trucks Unique (C18/D14) Submitted for Site Development Plan for Building Permit Approval, Final Plat and Building Permit Approval, Engineer's Stamp Dated 3/1/00.***

Dear Mr. Davis:

Based on the information provided on March 2, 2000, the above referenced plan is approved for Site Development Plan approval by the DRB. However, the proposed asphalt swale must be incorporated into your site. It is unclear from the plan whether this swale is located within your property or on the property to the north. This issue must be resolved prior to Final Plat sign-off.

Prior to Building Permit approval, the following comments must be addressed:

1. Permission must be obtained from the Highway Department for the proposed connection to the I-25 box culverts within their right-of-way. Please provide a copy of the state's approval letter with your resubmittal.
2. An Agreement and Covenant is required for the proposed asphalt drainage swale. This document will state that the swale will be maintained by the underlying property owner, and not by the City.
3. At this time, there is no approved plan for the Carmel Office Park, and the master drainage plan for this area, by Wilson & Company, has not yet been approved. Prior to Building Permit release, please check to see whether a retaining wall is required along your east property line to direct any off-site runoff towards Anaheim.

If you have any questions regarding these comments, please call me at 924-3982.

Sincerely,

Susan M. Calongne, P.E.  
City/County Floodplain Administrator

c: Scott Schiabor, SPS Investments  
File



# City of Albuquerque

February 3, 2000

Kerry L. Davis, P.E.  
Bohannon Huston, Inc.  
7500 Jefferson NE  
Albuquerque, New Mexico 87109

**RE: *Grading and Drainage Plan for Aloha R.V./Trucks Unique (C18/D14) Submitted for Site Development Plan for Building Permit Approval and Building Permit Approval, Engineer's Stamp Dated 12/23/99.***

Dear Mr. Davis:

Prior to Site Development Plan approval or Building Permit approval for the above referenced site, the following comments must be addressed:

1. This site is located within the area covered by a master drainage plan by Wilson & Co. therefore the plan for your site may not be approved until the master plan is approved. As of this date, the Wilson master plan has not been approved because the downstream capacity/stability of the channel through the Mobile Home Park has not been provided. Since your site discharges to this same channel downstream of Anaheim, the allowable discharge from your site has not yet been determined.
2. It appears that this site will need to be consolidated into one tract for the proposed development. The proposed Plat should go through the DRB approval process with the Site Plan.
3. The plan shows a retaining wall along the east property line to be constructed by others, however, the plan for Lot 12 did not propose to build that wall at this time. Therefore, your plan must address the off-site flow condition in the interim, or you may build the wall.
4. Please coordinate with the development to the east regarding proposed grades along your east property line. Provide existing and/or proposed spot elevations adjacent to your site.
5. The plan shows a proposed 20' asphalt channel to be constructed within the "public drainage and utility easement". On section A-A please show the existing utilities through this easement. Is AMAFCA's outfall pipe located in this easement? It appears that this easement is partially located on private property. Please identify the property lines and easement limits on the plan. The proposed channel should be located within the vacated road right-of-way.
6. Where is basin A3 located?

February 3, 2000

7. Existing street grades were not provided for Carmel or for the portion of Anaheim east of the site. Are the required one-foot water blocks provided at each entrance?
8. Provide existing spot elevations west of the site to show how the proposed grading will tie in.
9. It appears that Mike Zamora has provided comments regarding the traffic circulation layout. Since the site plan must be approved by DRB, transportation comments will be addressed at that time.

If you have any questions regarding these comments, please call me at 924-3982.

Sincerely,



Susan M. Calongne, P.E.  
City/County Floodplain Administrator

c: Scott Schiabor, SPS Investments  
File



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

January 25, 2000

Kerry Davis, Reg. Professional Engineer,  
Bohannon-Huston Inc.  
7500 Jefferson N.E.  
Albuquerque, New Mexico 87109

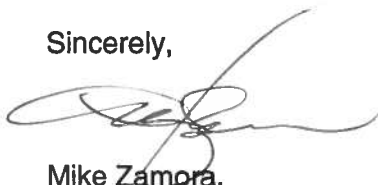
Re: Site Plan/TCL submittal for building permit approval for Aloha R.V./Trucks Unique, \_ \_ \_ Carmel  
N.E. (At Wyoming), North Albuquerque Acres, Tract A, Block 16, Lots 8-10 and 22-25.  
No Engineer's Stamp dated or signed. [C-18/D014]

Dear Mr. Davis,

The location referenced above requires modification to the Site Plan prior to Building Permit release  
as stated on the attached comments and marked up Site Plan.

Please provide revised T.C.L. , **along with marked up copies and comments**, having  
addressed all concerns. Submit a full size copy of those markups, if it is your  
preference to keep the original red lines.

Sincerely,



Mike Zamora,  
Commercial Plan Checker

cc:  
Engineer  
Hydrology File  
Office File

- Label sheet - "Traffic Control Layout Plan".
- T.C.L./Site Plan must be stamped and stamp must be dated.
- For this Plan, and all others following, submit street address of site. Could be part of title block or application sheet in Hydrology file.
- The certification by the designer of record, required by the Transportation Section, needs to certify that this site was constructed in accordance with the Traffic Circulation Layout (TCL) before C.O. is released. Place note on T.C.L. to this effect.
- Only one T.C.L. is needed per Permit submittal. Multiple copies of T.C.L. will need to match exactly.
- Parking stalls - are long stalls at the front for standard vehicles? Stall length must be 18-20', with maximum 32' wide drive aisle, if extra width is needed for large vehicles. \_H.C. area must be shifted as shown.
- Minim. 5' wide concrete sidewalk, raised 6" above parking surface, needed where adjacent to building and at the front of parked vehicles adjacent to the building.
- Because of the preliminary nature of the new review process - if Zoning has not seen this layout prior to this review, any requirements by Zoning at time of their review, altering the parking layout, will void approval of T.C.L. and new review will be needed.
- Label - "Construct new drivepad per City of Albuquerque Std. Detail Dwg. No. 2426."
- "Tractor-trailer turnaround" shown and all of the area surrounding the building, east of the fence splitting the property, must be paved. \_The asphalt area can be reduced by shifting the parking and reducing the drive aisle width as shown. If Zoning requires landscaped buffers at property lines they can be accommodated. \_Move parking at the rear half of the site, at the gates, in toward the middle of the site, as shown. \_6" concrete curbing will be required for landscaped buffers. \_Label asphalt and thickness of parking surface per city std. or refer to a detail which illustrates the proposed method of paving and states it's equivalency to standard asphalt surfacing.
- Property description on T.C.L. does not match current City Zone Atlas Map. Copy of replat, to eliminate the lot line, or acceptable current plat, stamped and signed by County Clerk's Office will be needed.
- Show and label property lines and right-of-way lines.
- Need to see that all existing obstacles in City right-of-way, in existing sidewalks, have been picked up.
- All Civil Sheets (Drainage Plan and Site Plan & details) must be together at front of plan set.
- Linework on Drainage Plan and Landscape Plan must match T.C.L. exactly. \_Per DPM, 23.6B.11a, drive apron grade max. is 6% for curb return drives. Label new drivepad flowline elevations plus flowline elevations where new drivepad is matching existing street.
- New and existing elements noted on the T.C.L. must be shown, labelled, and dimensioned correctly and accurately, this includes all street curb & gutter. \_Need to see clear differentiation between new construction and existing on TCL and on streets.
- Work being done in city property (all applicable streets) as part of this development must be complete before issuance of C.O. or Financial Guarantee must be on file with Design Review Office. Place this note, or equal on TCL and label Work Order No. on TCL, preferably with street name.