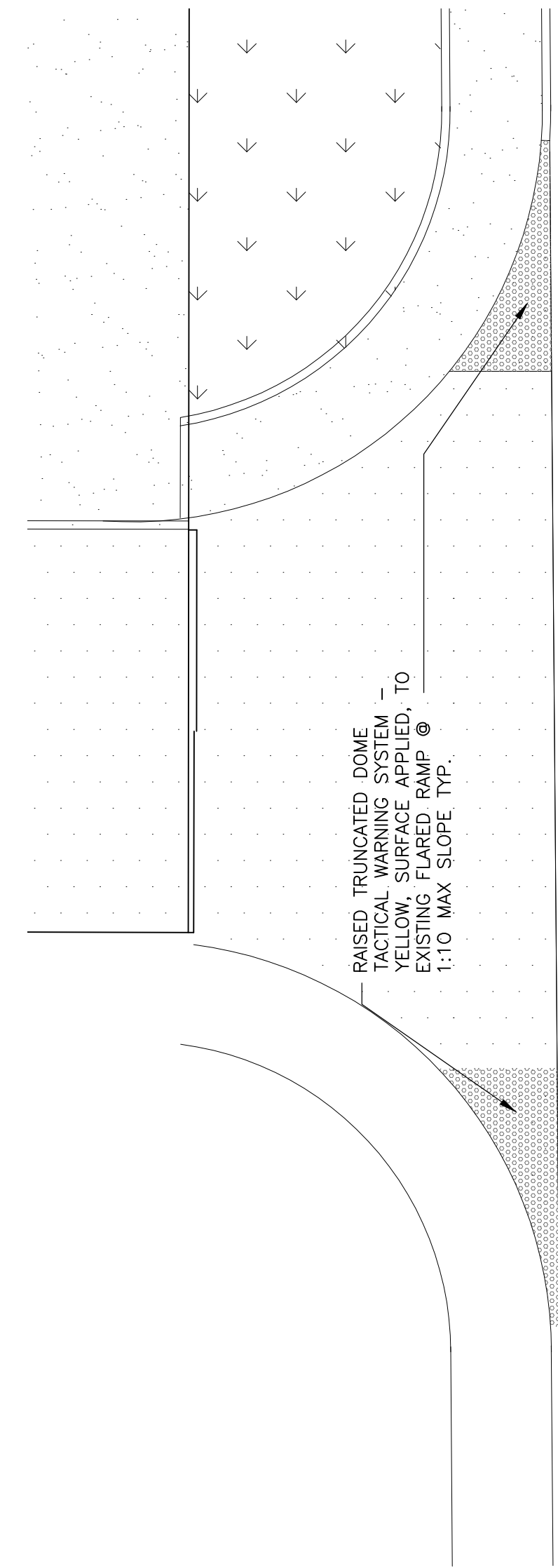
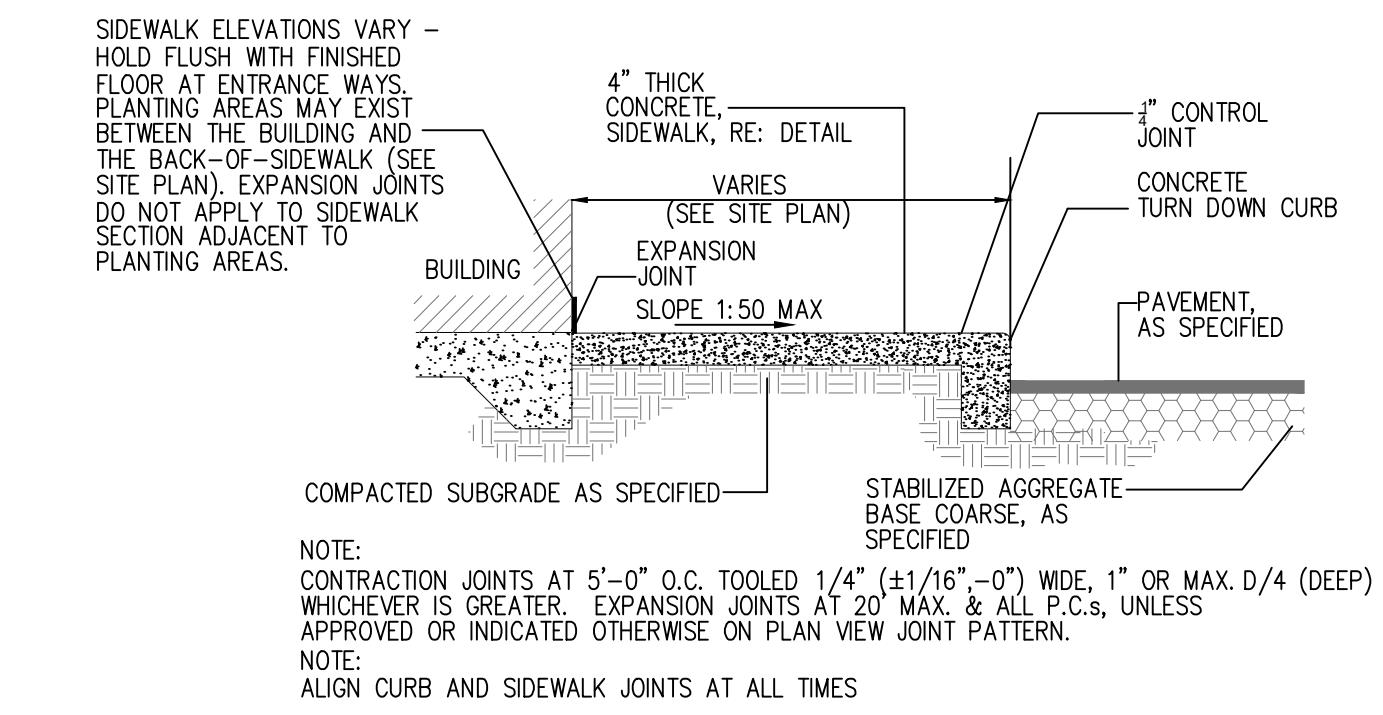
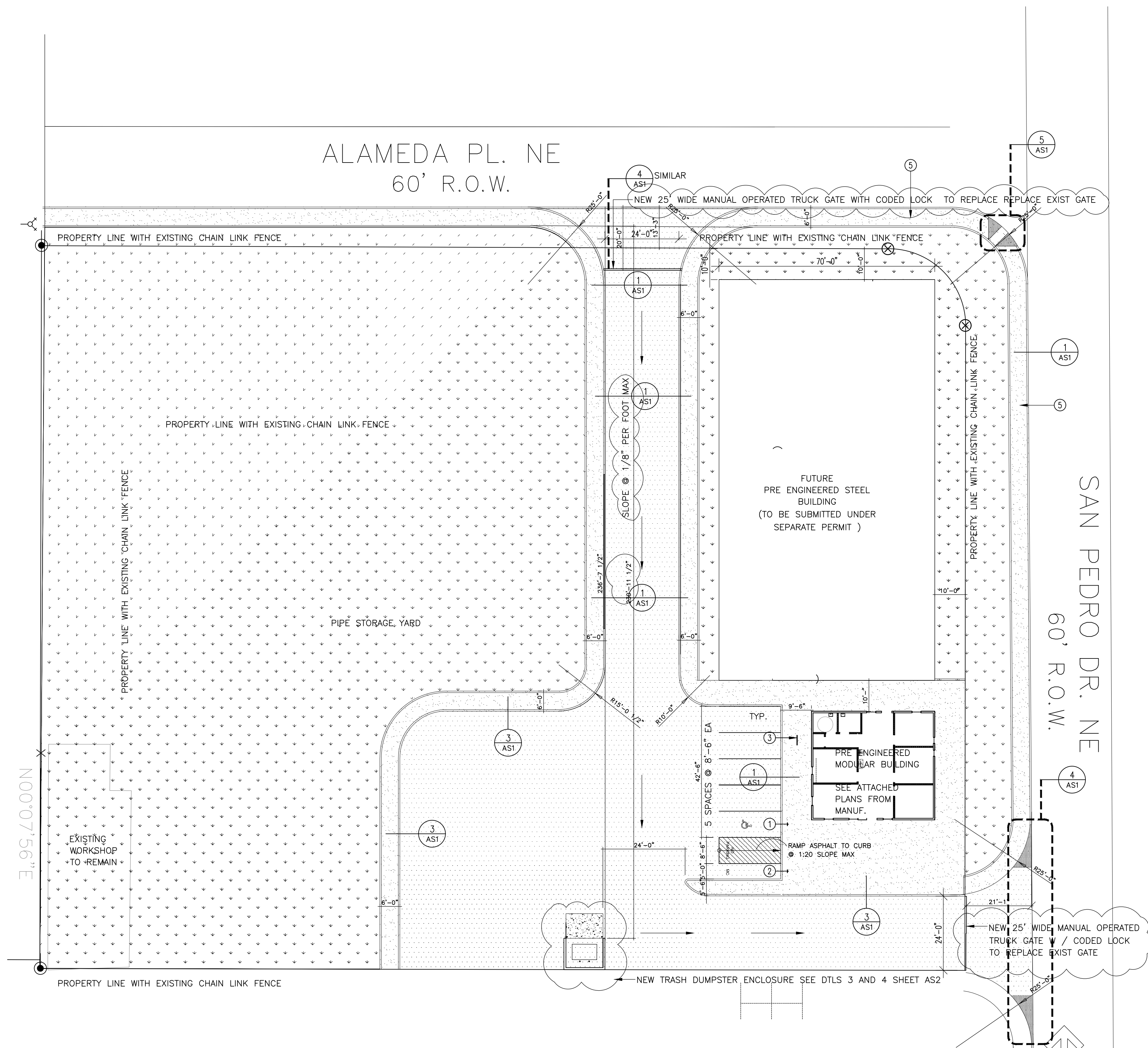




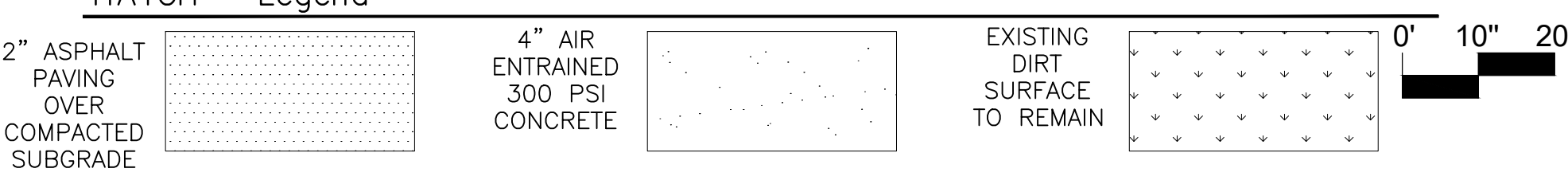
4 SIDEWALK RAMP AT DRIVEWAY, TYP.



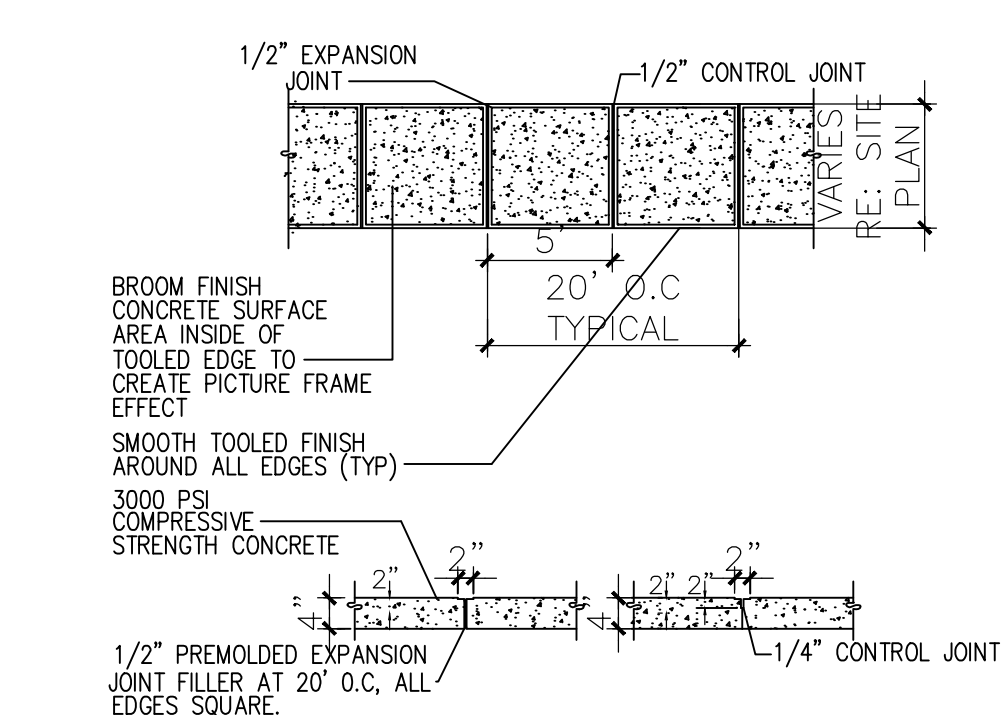
2 SIDEWALK DETAILS TYP.



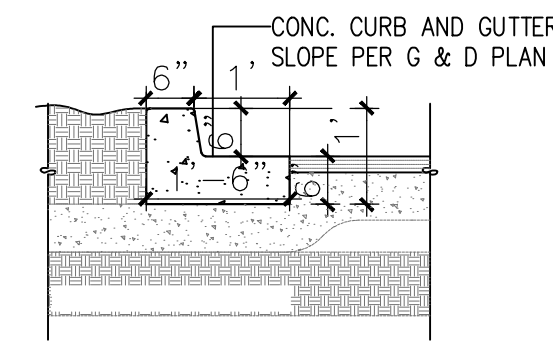
1 Site Plan



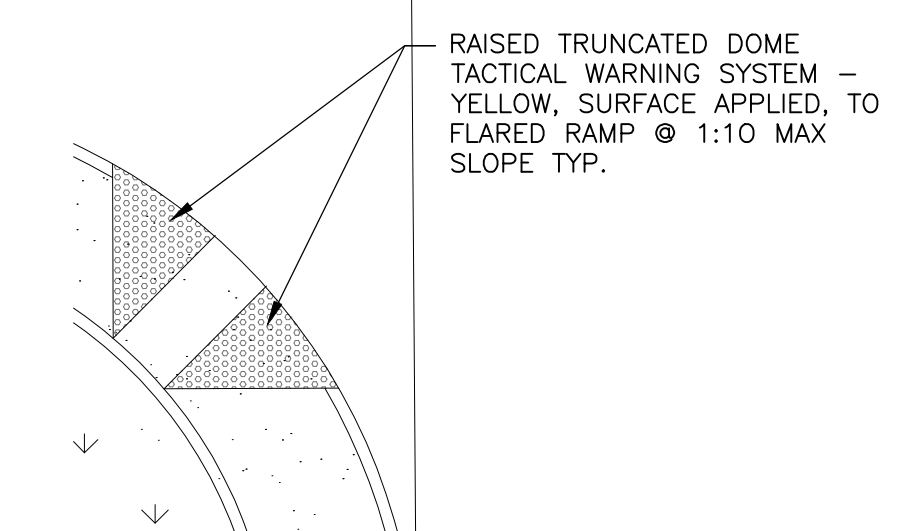
3 CURB & GUTTER DETAIL TYP.



2 SIDEWALK JOINT DETAILS TYP.



Approved for access by the Solid Waste Department for a single trash enclosure. All containers are to be made accessible for pickup between the hours of 5AM and 8PM. The code for both locks will be shared with the Solid Waste Department. 08-30-23 Herman Gallegos/Herman Gallegos



5 SIDEWALK RAMP AT INTERSECTION

GENERAL NOTES

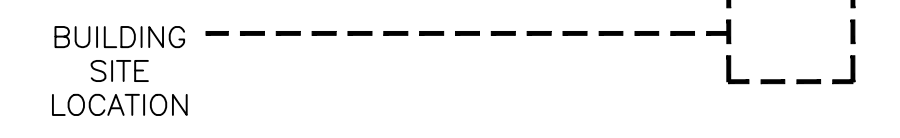
- A. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PLAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- B. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER.
- C. RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER.
- D. REFUSE CONTAINER LOCATION AND DETAILS HAVE BEEN APPROVED ON BLD PERMIT SUBMITTAL.
- E. FIRE MARSHAL APPROVAL IS ATTACHED.
- F. NO SANITARY DRAIN AT DUMPSTER ENCLOSURE IS REQUIRED
- G. THERE ARE NO OVERHEAD WIRES
- H. BUILDING IS NOT USED FOR CANNABIS OR FOOD PURPOSES
- I. REFUSE DRIVER WILL HAVE ACCESS TO SITE BY 5:00 AM DAILY
- J. ROLL OUT RECYCABLE BIN WILL BE USED FOR PICK UP
- K. CONSTRUCTION WILL NOT ALTER TRASH SERVICE OF SURROUNDING BUSINESSES
- L. CODE FOR LOCKS AT BOTH GATES WILL BE SHARED WITH REFUSE PICKUP DRIVERS

KEYED NOTES

- 1. HANDICAPPED PARKING SIGN, SEE DTL 1/AS2
- 2. MOTORCYCLE PARKING SIGN, SEE DTL 2/AS2
- 3. BIKE RACK. SEE D1/ 3/AS2
- 4.
- 5. SIDEWALKS TO BE CONSTRUCTED PER COA STANDARD DWG 2430, TYP.

PARKING REQUIREMENTS

REQUIRED - 4 SPACES / 1000 S.F
WAREHOUSE - NO SPACES REQUIRED
1,410 / 4 = 3.5 (4 SPACES REQUIRED, 6 PROVIDED - 1 HC)
1 MOTORCYCLE SPACE REQUIRED AND PROVIDED
3 BICYCLE SPACES REQUIRED, 5 REQUIRED



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SATELLITE VIEW

Project Description

SITE PLAN FOR A PRE-ENGINEERED MODULAR OFFICE BUILDING (COMPLETE MANUFACTURER'S PLANS OF THE BUILDING - INCLUDING FOUNDATION ARE ATTACHED SEPARATELY SEPARATELY) CID PERMIT APPROVAL IS INCLUDED IN DOCUMENTS

Project Data

ADDRESS: 5609 ALAMEDA PL. NE ALBUQUERQUE, NM, 87113
OWNER REP : FIDEL NABOR 818.606.5592
ARCHITECT: BOB MCELHENY: BOB MAC ARCHITECTURE 9232 HILTON AVE. NE ALBUQUERQUE, NM 87111 P 505.262.0193

Code Information

BUILDING AREA: 1,410 S.F.
CONSTRUCTION TYPE: VB NON SPRINKLED
BUILDING OCCUPANCY : B

OCCUPANCY LOAD (BUSINESS)

SPACE	AREA	OCC LD FACTOR	OCCUPANTS
RECEPTION	167 S.F.	15	12
OFFICE 101	129 S.F.	100	2
OFFICE 102	134 S.F.	100	2
OFFICE 103	133 S.F.	100	2
WORK 104	426 S.F.	100	5
BREAK RM	167 S.F.	15	12
MANITOR	16 S.F.	300	1
TOTAL OCCUPANTS			36

FIRE SUPPRESSION

BUILDING IS NOT FIRE SPRINKLED

Fire Extinguishers

1-2A10BC FIRE EXTINGUISHERS REQUIRED 1-PROVIDED

PLUMBING FIXTURES

48 OCCUPANTS, 18 FEMALE, 18 MEN
WATER CLOSETS:
WOMEN: 1 REQUIRED 1 UNISEX PROVIDED
MEN: 1 REQUIRED 1 UNISEX PROVIDED
LAVATORIES:
WOMEN: 1 REQUIRED 1 UNISEX PROVIDED
MEN: 1 REQUIRED 1 UNISEX PROVIDED
DRINKING FOUNTAIN:
1 REQUIRED 2 PROVIDED
SERVICE SINK:
1 REQUIRED 1 PROVIDED

March 2023
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STATE OF NEW MEXICO
03/23
ROBERT MCELHENY
No. 3814
REGISTERED ARCHITECT

1010 Pipe and Casing
5609 ALAMEDA /PL NE.
Albuquerque, NM 87112

SHEET NO.
AS1