

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

July 19, 2023

Bob McElheney, R.A
Bob Mac Architecture
9232 Hilton Ave. NE
Albuquerque, NM 87110

Re: 1010 Pipe and Casing
5609 Alameda Pl. NE
Traffic Circulation Layout
Architect's Stamp 03-XX-23 (C18-D015)

Dear Mr. McElheney,

Based upon the information provided in your submittal received 07-11-23, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

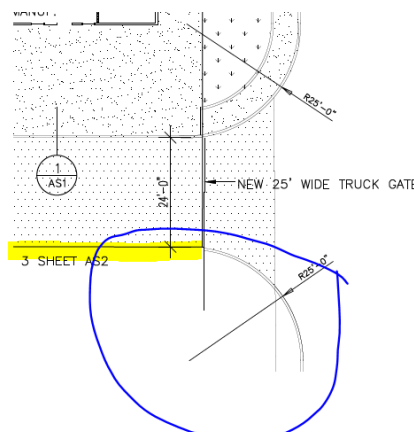
1. List the number of Bicycle parking spaces required by the IDO.
2. The traffic circulation layout must be dated by an engineer or architect licensed in the state of New Mexico.
3. Identify all existing access easements and rights of way width dimensions.
4. Identify the right of way width, medians, curb cuts, and street widths on Alameda Pl. and San Pedro Dr.
5. Please provide design details for both proposed driveways and reference COA std dwg.
6. ADA curb ramp at the corner of Alameda Pl. and San Pedro Dr. must be built to current standards and have truncated domes installed. Please provide design details and reference COA std dwg.
7. Please reference COA std dwg 2430 for the proposed sidewalk.
8. Please show on the site plan a minimum 20 ft. setback for the proposed gates.
9. It appears that the proposed driveway off San Pedro will encroach with the south side adjacent property. Please provide adjacent property owner agreement.

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10. Details sheet is missing.
11. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please call out detail and location of signs.
12. The pavement marking "MC" should be shown in the opposite direction for motorcycles entering the parking space.
13. All bicycle racks shall be designed according to the following guidelines:
 - a. The rack shall be a minimum 30 inches tall and 18 inches wide.
 - b. The bicycle frame shall be supported horizontally at two or more places. Comb/toaster racks are not allowed.
 - c. The rack shall be designed to support the bicycle in an upright position. See the IDO for additional information.
 - d. The rack allows varying bicycle frame sizes and styles to be attached.
 - e. The user is not required to lift the bicycle onto the bicycle rack.
 - f. Each bicycle parking space is accessible without moving another bicycle.
14. Bicycle racks shall be sturdy and anchored to a concrete pad.
15. A 1-foot clear zone around the bicycle parking stall shall be provided.
16. Bicycle parking spaces shall be at least 6 feet long and 2 feet wide.
17. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the ADA parking stall access aisles to the building entrances. Please clearly show this pathway and provide details.
18. ADA accessible pedestrian pathway should not be placed behind parking space or adjacent to a vehicular way. Vehicle and pedestrian/wheel chair conflicts should be avoided as much as possible.
19. Curbing should be installed to delineate landscape, parking, and pedestrian ways and identify points of access. Please call out detail and location of barrier curb.
20. Refuse vehicle maneuvering shall be contained on-site. The refuse vehicle shall not back into the public right of way.; provide a copy of refuse approval.
21. Provide a copy of Fire Marshal approval.
22. Show the clear sight triangle and add the following note to the plan: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle.
23. Please specify the City Standard Drawing Number when applicable.
24. Work within the public right of way requires a work order with DRC approved plans.
25. Please add a note on the plan stating "All improvements located in the Right of Way must be included on the work order."

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26. Please provide a letter of response for all comments given.
27. Traffic Studies: See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 vehicles entering and exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination (**Contact Matt Grush: mgrush@cabq.gov**).

Once corrections are complete resubmit

1. The Traffic Circulation Layout
2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
4. The \$75 re-submittal fee.

for log in and evaluation by Transportation.

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If you have any questions, please contact me at (505) 924-3675.

Sincerely,

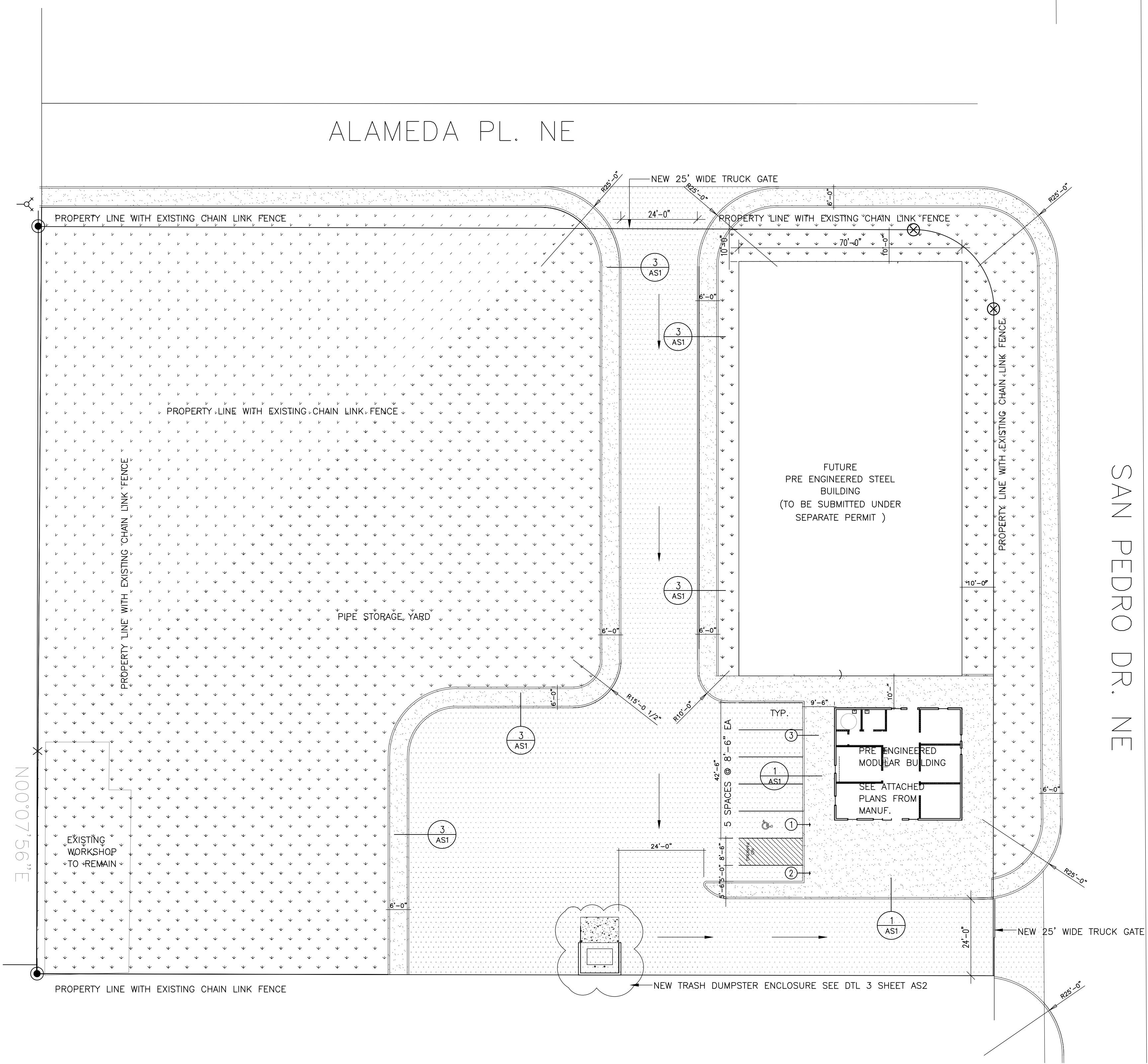
Albuquerque

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Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

\ma via: email
C: CO Clerk, File



1 Site Plan

HATCH Legend

2" ASPHALT PAVING OVER COMPACTED SUBGRADE	4" AIR ENTRAINED 300 PSI CONCRETE	EXISTING DIRT SURFACE TO REMAIN
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SAN PEDRO DR. NE

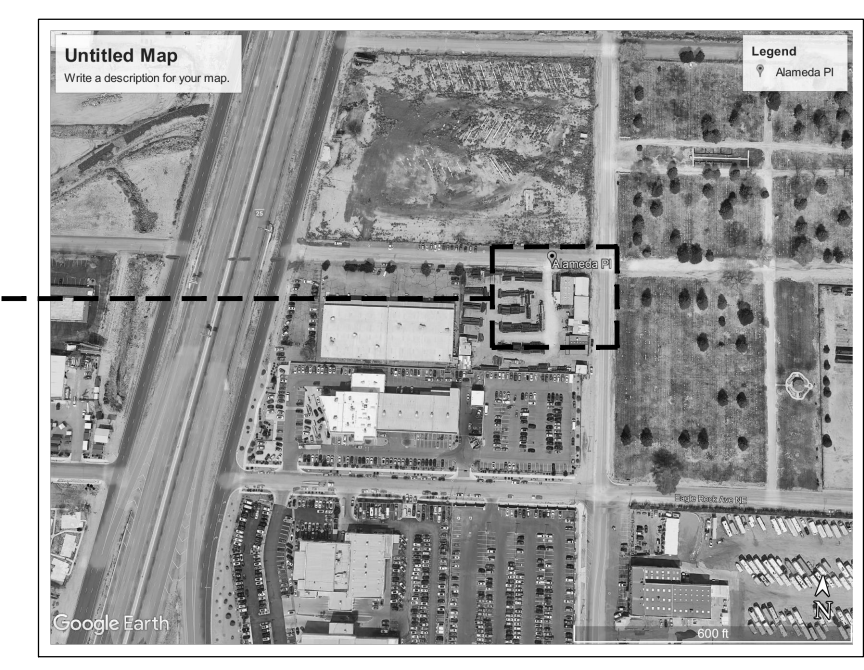
SCALE: 1"=20'-0"

KEYED NOTES

- HANDICAPPED PARKING SIGN, SEE DTL 1/AS2
- MOTORCYCLE PARKING SIGN, SEE DTL 2/AS2
- BIKE RACK, SEE DT/ 3/AS2
-

PARKING REQUIREMENTS

REQUIRED - 4 SPACES / 1000 S.F.
WAREHOUSE - NO SPACES REQUIRED
 $1,410 / 4 = 3.5$ (4 SPACES REQUIRED, 6 PROVIDED - 1 HC)
1 MOTORCYCLE SPACE REQUIRED AND PROVIDED
1.



BUILDING
SITE
LOCATION

SATELLITE VIEW



NTS

Project Description

SITE PLAN FOR A PRE-ENGINEERED MODULAR OFFICE BUILDING
(COMPLETE MANUFACTURER'S PLANS OF THE BUILDING -
INCLUDING FOUNDATION ARE ATTACHED SEPARATELY
) CID PERMIT APPROVAL IS INCLUDED IN DOCUMENTS

Project Data

ADDRESS: 5609 ALAMEDA PL. NE ALBUQUERQUE, NM, 87113
OWNER REP : FIDEL NABOR
818.606.5592
ARCHITECT: BOB MCELHENY: BOB MAC ARCHITECTURE
9232 HILTON AVE. NE
ALBUQUERQUE, NM 87111
P 505.262.0193

Code Information

BUILDING AREA: 1,410 S.F.
CONSTRUCTION TYPE: VB NON SPRINKLED
BUILDING OCCUPANCY : B

OCCUPANCY LOAD (BUSINESS)

SPACE	AREA	OCC LD FACTOR	OCCUPANTS
RECEPTION	167 S.F.	15	12
OFFICE 101	129 S.F.	100	2
OFFICE 102	134 S.F.	100	2
OFFICE 103	133 S.F.	100	2
WORK 104	426 S.F.	100	5
BREAK RM	167 S.F.	15	12
JANITOR	16 S.F.	300	1
TOTAL OCCUPANTS			36

FIRE SUPPRESSION

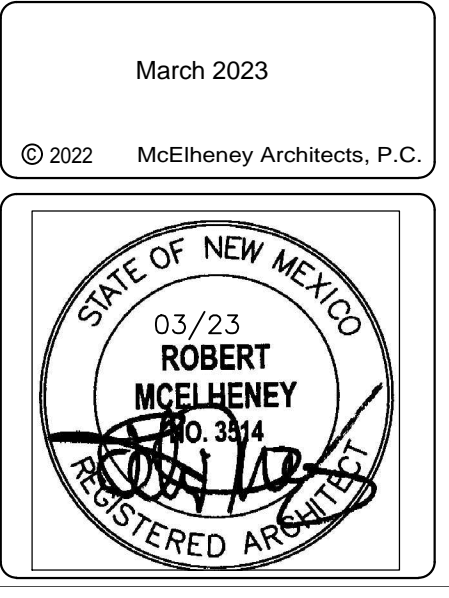
BUILDING IS NOT FIRE SPRINKLED

Fire Extinguishers

1-2A10BC FIRE EXTINGUISHERS REQUIRED 1-PROVIDED

PLUMBING FIXTURES

48 OCCUPANTS, 18 FEMALE, 18 MEN
WATER CLOSETS:
WOMEN: 1 REQUIRED 1 UNISEX PROVIDED
MEN: 1 REQUIRED 1 UNISEX PROVIDED
LAVATORIES:
WOMEN: 1 REQUIRED 1 UNISEX PROVIDED
MEN: 1 REQUIRED 1 UNISEX PROVIDED
DRINKING FOUNTAIN:
1 REQUIRED 2 PROVIDED
SERVICE SINK:
1 REQUIRED 1 PROVIDED



March 2023

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1010 Pipe and Casing

ALAMEDA /PL NE.
Albuquerque, NM 87112

SHEET NO.

AS1