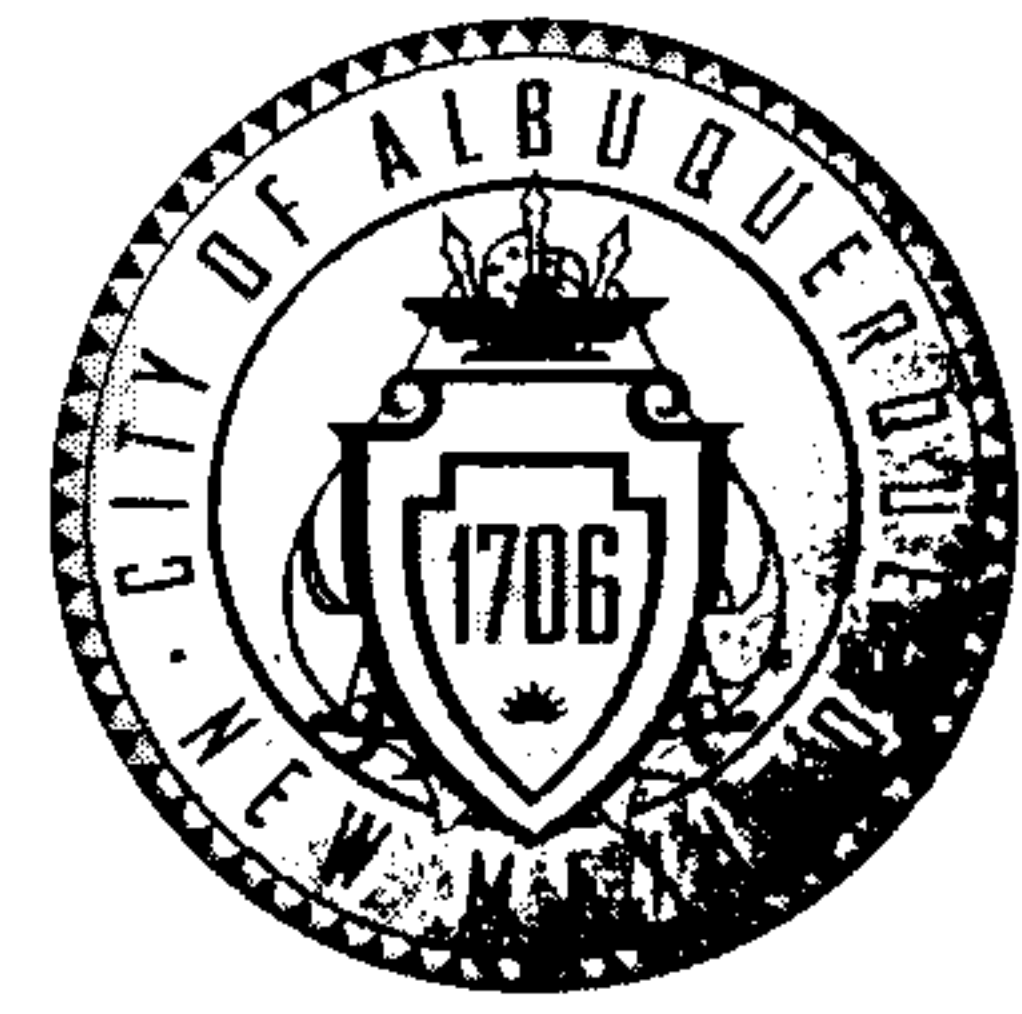


CITY OF ALBUQUERQUE



July 6, 2016

David Soule, PE
Rio Grande Engineering
1606 Central SE Suite 201
Albuquerque, NM 87106

**Re: Beehive Village at San Pedro-Building 2
6401 Corona NE
Requested for Permanent C. O. – Accepted
Engineers Stamp Date 6/23/11 (C18D016A)
Certification dated: 5-22-16**

Dear Mr. Soule,

Based on the Certification received 7/1/2016, the site is acceptable for release of Certificate of Occupancy by Hydrology.

PO Box 1293

- In the future ensure that the as-built accurately reflects the final condition. One inlet was not crossed off of the drawing.

Albuquerque

- In the future ensure that the roof drains do not flow over a pedestrian sidewalk.

If you have any questions, you can contact me at 924-3986 or Totten Elliott at 924-3982.

New Mexico 87103

www.cabq.gov

Sincerely,

Abiel Carrillo, P.E.
Principal Engineer, Planning Department
Development and Review Services

TE/AC

C: email Cordova, Camille C.; Miranda, Rachel; Sandoval, Darlene M.; Blocker, Lois

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 01/28/2003rd)

PROJECT TITLE: BeehiveVillage at San Pedro-phase 2
DRB #: _____ EPC #: _____

ZONE MAP/DRG. FILE #: C18/D016A
WORK ORDER #: _____

LEGAL DESCRIPTION: Tracts A1,B-1 Beehive village
CITY ADDRESS: 6401 Corona

ENGINEERING FIRM: Rio Grande Engineering
ADDRESS: PO BOX 67305
CITY, STATE: Alb

CONTACT: David Soule, PE
PHONE: (505)321-9099
ZIP CODE: 87199

OWNER: San Pedro Bee Hive
ADDRESS: 6401 Corona
CITY, STATE: alb, nm

CONTACT: _____
PHONE: _____
ZIP CODE: 87109

ARCHITECT: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: Dan Herr
PHONE: 246-0870
ZIP CODE: 87104

SURVEYOR: Geo surv CO
ADDRESS: _____
CITY, STATE: _____

CONTACT: David Vigil
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

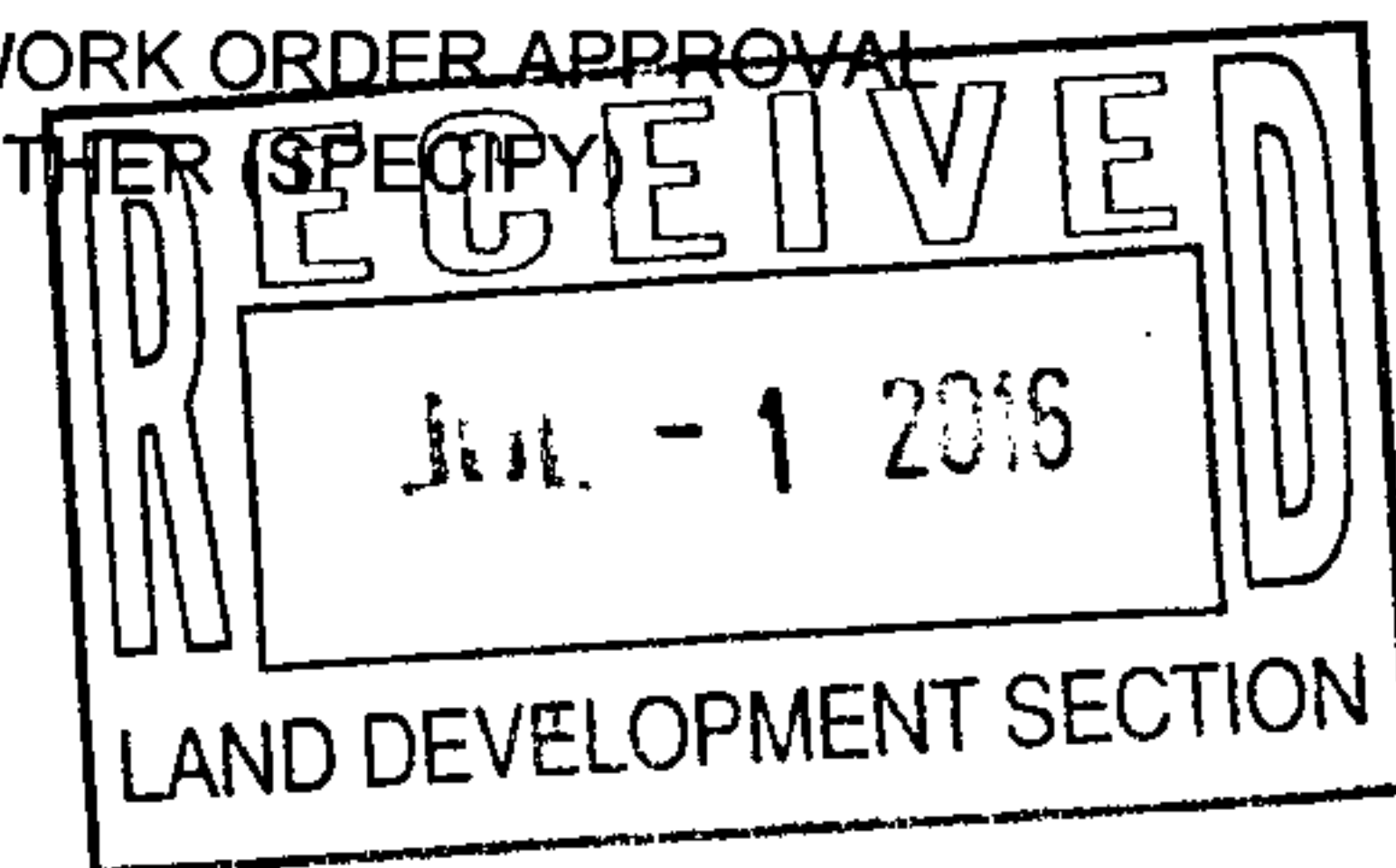
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANACIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 7/1/16 BY: David Soule

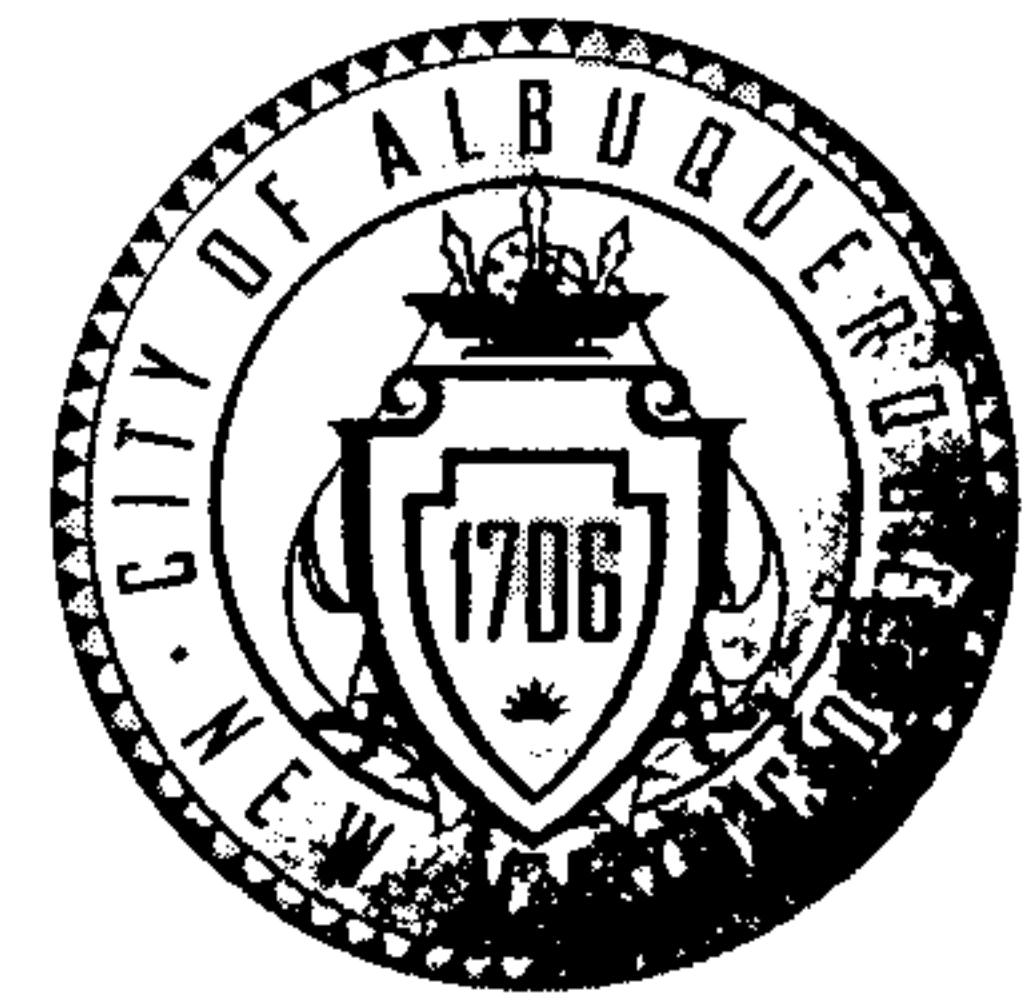
Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal.

The particular nature, location and scope of the proposed development defines the degree of drainage detail.

One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plans:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



June 8, 2016

David Soule, PE
Rio Grande Engineering
1606 Central SE Suite 201
Albuquerque, NM 87106

**Re: Beehive Village at San Pedro-Building 3
6401 Corona NE
Requested for Permanent C. O. - Accepted
Engineers Stamp Date 6/23/11 (C18D016A)
Certification dated: 5-22-16**

Dear Mr. Soule,

Based on the Certification received 6/6/2016, the site is acceptable for release of Certificate of Occupancy by Hydrology.

PO Box 1293

If you have any questions, you can contact me at 924-3986 or Totten Elliott at 924-3982.

Albuquerque

Sincerely,

New Mexico 87103

Abiel Carrillo, P.E.
Principal Engineer, Planning Department
Development and Review Services

www.cabq.gov

TE/AC

C: email Cordova, Camille C.; Miranda, Rachel; Sandoval, Darlene M.; Blocker,
Lois

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 01/28/2003rd)

PROJECT TITLE: BeehiveVillage at San Pedro-phase 2
DRB #: _____ EPC #: _____

ZONE MAP/DRG. FILE #: C18/D016A
WORK ORDER #: _____

LEGAL DESCRIPTION: Tracts A1,B-1 Beehive village
CITY ADDRESS: 6401 Corona

ENGINEERING FIRM: Rio Grande Engineering
ADDRESS: PO BOX 67305
CITY, STATE: Alb

CONTACT: David Soule, PE
PHONE: (505)321-9099
ZIP CODE: 87199

OWNER: San Pedro Bee Hive
ADDRESS: 6401 Corona
CITY, STATE: alb, nm

CONTACT: _____
PHONE: _____
ZIP CODE: 87109

ARCHITECT: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: Dan Herr
PHONE: 246-0870
ZIP CODE: 87104

SURVEYOR: Geo surv CO
ADDRESS: _____
CITY, STATE: _____

CONTACT: David Vigil
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANACIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)



WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 6/6/2016 BY: David Soule

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal.

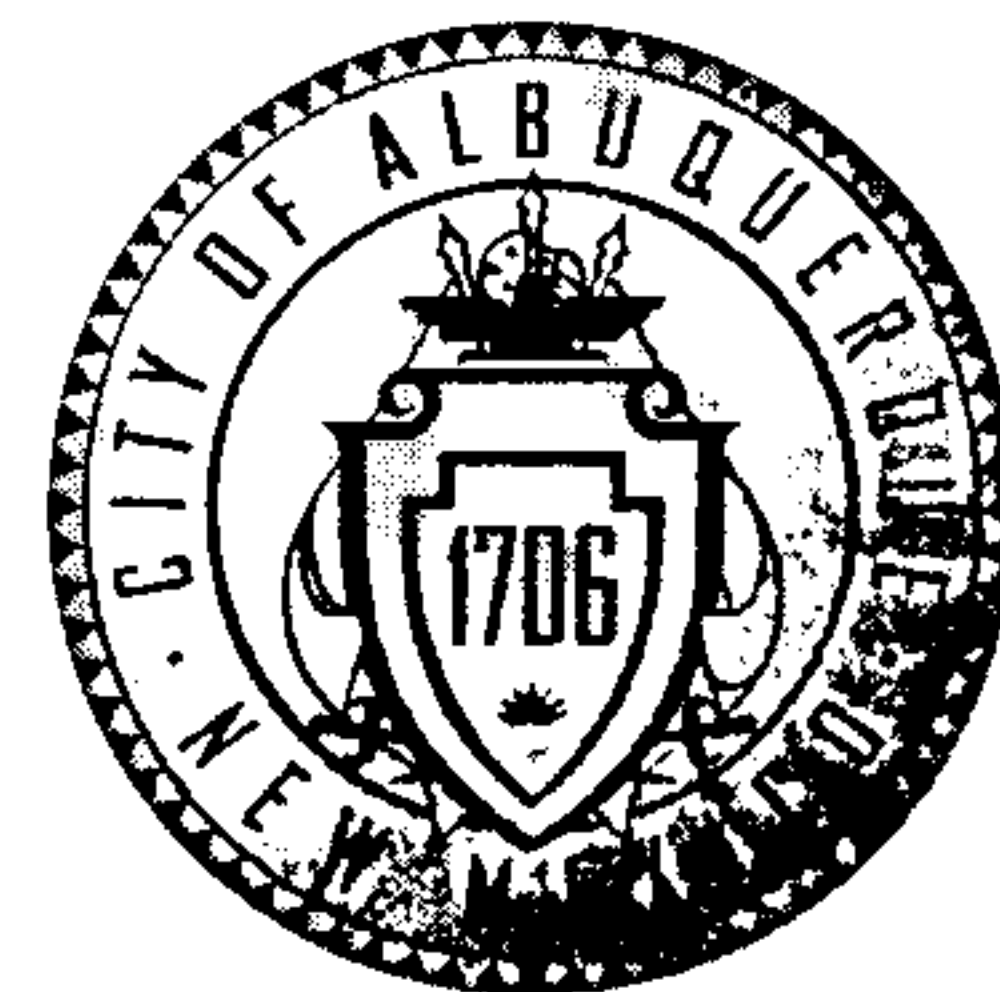
The particular nature, location and scope of the proposed development defines the degree of drainage detail.

One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plans:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE

Planning Department
Suzanne Lubar, Directo



Mayor Richard J. Berry

May 26, 2016

David Soule, PE
Rio Grande Engineering
1606 Central SE Suite 201
Albuquerque, NM 87106

**RE: Beehive Village at San Pedro-phase 2
6401 Corona NE
Requested for Permanent C. O. – Not Accepted
Engineers Stamp Date 6/23/15 (C18D016A)
Certification dated: 5-24-16**

Dear Mr. Soule,

PO Box 1293

Based on the certification provided in your submittal received 5/23/2016, the above referenced is not approved for Release of Occupancy by Hydrology. However, before a permanent CO can be accepted the following comments must be addressed.

Albuquerque

- The 12" HDPE INV on the SE corner of the building is missing.
- There is an open trench and construction materials scattered on the north end
- The as-built submitted is not the approved drawing. It does not have your engineer's stamp date.

New Mexico 87103

An inspection by our office will need to take place after these corrects are made.

www.cabq.gov

If you have any questions, you can contact me at 924-3986 or Totten Elliott at 924-3982.

Sincerely,

Abiel Carrillo, P.E.
Principal Engineer, Planning Department
Development and Review Services

TE/AC

C: email, Cordova, Camille C.; Miranda, Rachel; Sandoval, Darlene M.; Blocker, Lois

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 01/28/2003rd)

PROJECT TITLE: BeehiveVillage at San Pedro-phase 2
DRB #: _____ EPC #: _____

ZONE MAP/DRG. FILE #: C18/D016A
WORK ORDER #: _____

LEGAL DESCRIPTION: Tracts A1,B-1 Beehive village
CITY ADDRESS: 6401 Corona

ENGINEERING FIRM: Rio Grande Engineering
ADDRESS: PO BOX 67305
CITY, STATE: Alb

CONTACT: David Soule, PE
PHONE: (505)321-9099
ZIP CODE: 87199

OWNER: San Pedro Bee Hive
ADDRESS: 6401 Corona
CITY, STATE: alb, nm

CONTACT: _____
PHONE: _____
ZIP CODE: 87109

ARCHITECT: Slagle Herr
ADDRESS: 1600 Rio Grande Blvd NE
CITY, STATE: Alb, NM

CONTACT: Dan Herr
PHONE: 246-0870
ZIP CODE: 87104

SURVEYOR: Geo surv CO
ADDRESS: _____
CITY, STATE: _____

CONTACT: David Vigil
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

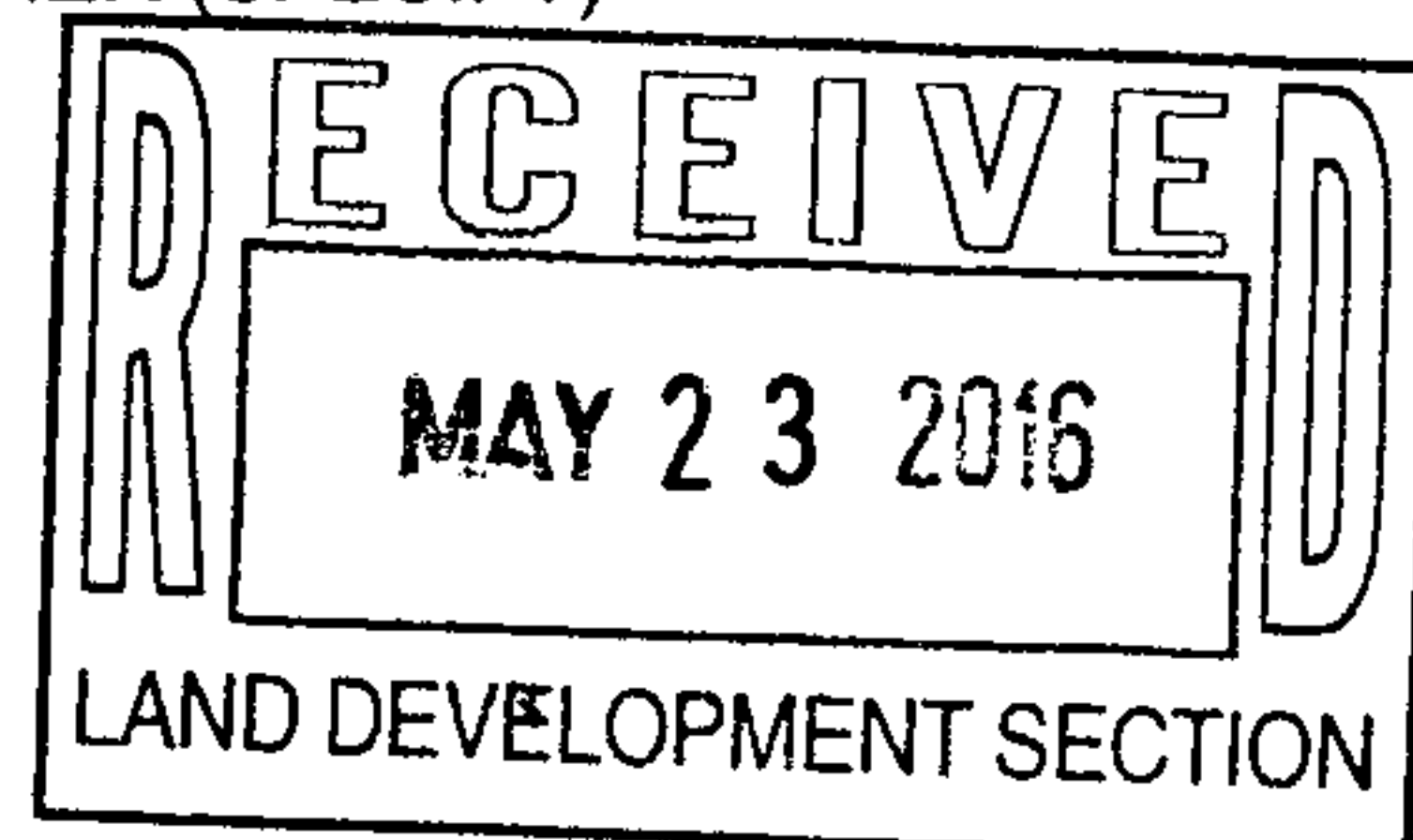
____ DRAINAGE REPORT
____ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
____ DRAINAGE PLAN RESUBMITTAL
____ CONCEPTUAL GRADING & DRAINAGE PLAN
____ GRADING PLAN
____ EROSION CONTROL PLAN
☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
____ CLOMR/LOMR
____ TRAFFIC CIRCULATION LAYOUT (TCL)
____ ENGINEERS CERTIFICATION (TCL)
____ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
____ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

____ SIA / FINANACIAL GUARANTEE RELEASE
____ PRELIMINARY PLAT APPROVAL
____ S. DEV. PLAN FOR SUB'D. APPROVAL
____ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
____ SECTOR PLAN APPROVAL
____ FINAL PLAT APPROVAL
____ FOUNDATION PERMIT APPROVAL
____ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM.)
____ CERTIFICATE OF OCCUPANCY (TEMP.)
____ GRADING PERMIT APPROVAL
____ PAVING PERMIT APPROVAL
____ WORK ORDER APPROVAL
____ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

____ YES
☒ NO
____ COPY PROVIDED



DATE SUBMITTED: 5/23/2016 BY: David Soule

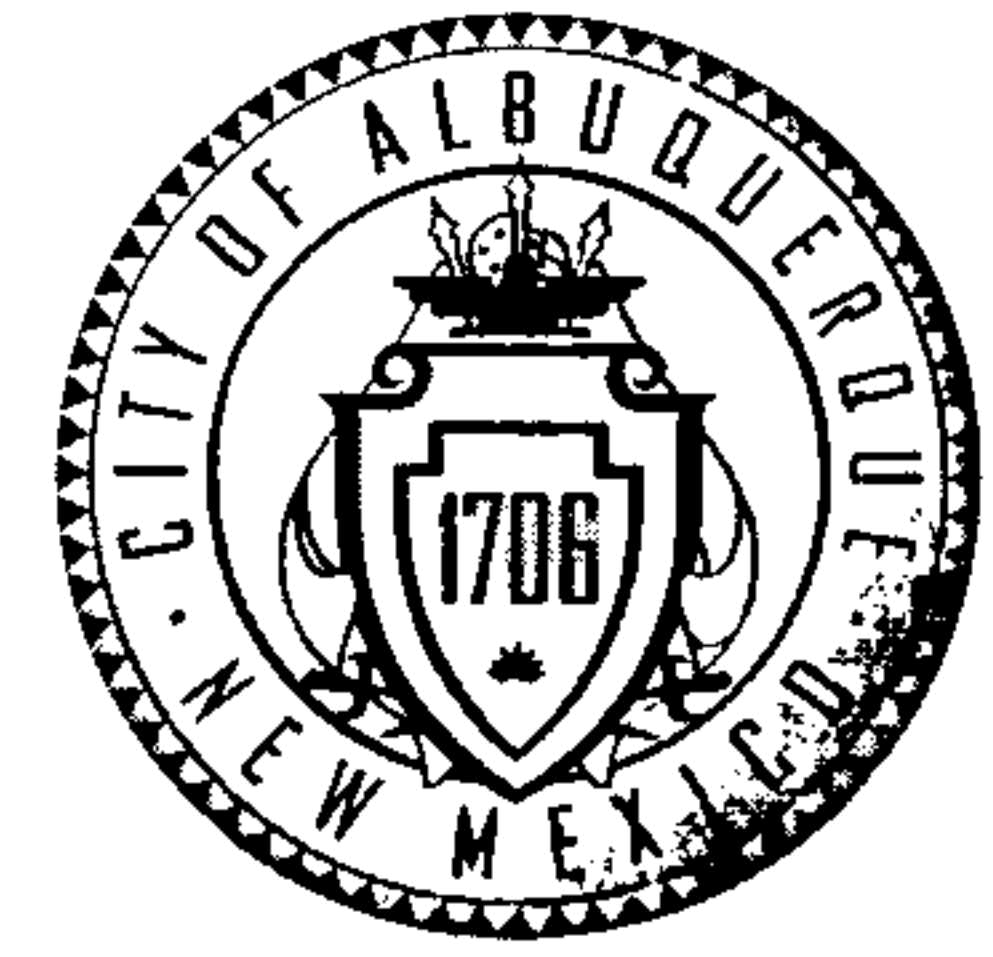
Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal.

The particular nature, location and scope of the proposed development defines the degree of drainage detail.

One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plans:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



April 25, 2013

David Soule, PE
Rio Grande Engineering
PO Box 67305
Albuquerque, NM 87199

Re: Beehive Homes Phase II, 6401 Corona Ave NE,
Request for Permanent C.O. –Accepted
Engineer's Stamp dated: 6-23-11, (C18/D016A)
Certification dated: 4-23-13

Dear Mr. Soule,

Based upon the information provided in the Certification received 04-25-13, the above referenced Certification is acceptable for a release of a Permanent Certificate of Occupancy by Hydrology.

Hydrology is asking for an electronic copy, in .pdf format, of this certification for our records. This certification can be e-mailed to me at: ccherne@cabq.gov or tsims@cabq.gov.

If you have any questions, you can contact me at 924-3986 or Rudy Rael at 924-3977.

Sincerely,

Curtis A. Cherne, P.E.
Principal Engineer—Hydrology Section
Development and Building Services

RR/CC
C: CO Clerk—Katrina Sigala
e-mail

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 01/28/2003rd)

PROJECT TITLE: BeehiveVillage at San Pedro-phase 2
DRB #: _____ EPC #: _____

ZONE MAP/DRG. FILE #: C18/D016A
WORK ORDER #: _____

LEGAL DESCRIPTION: Tracts A1,B-1 Beehive village
CITY ADDRESS: 6401 Corona

ENGINEERING FIRM: Rio Grande Engineering
ADDRESS: PO BOX 67305
CITY, STATE: Alb

CONTACT: David Soule, PE
PHONE: (505)321-9099
ZIP CODE: 87199

OWNER: San Pedro Bee Hive
ADDRESS: 6401 Corona
CITY, STATE: alb, nm

CONTACT: _____
PHONE: _____
ZIP CODE: 87109

ARCHITECT: Kartchner
ADDRESS: 1600 Rio Grande Blvd NE
CITY, STATE: Alb. NM

CONTACT: Dan Herr
PHONE: 246-0870
ZIP CODE: 87104

SURVEYOR: construction survey technologies
ADDRESS: _____
CITY, STATE: _____

CONTACT: David Vigil
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

CHECK TYPE OF APPROVAL SOUGHT:

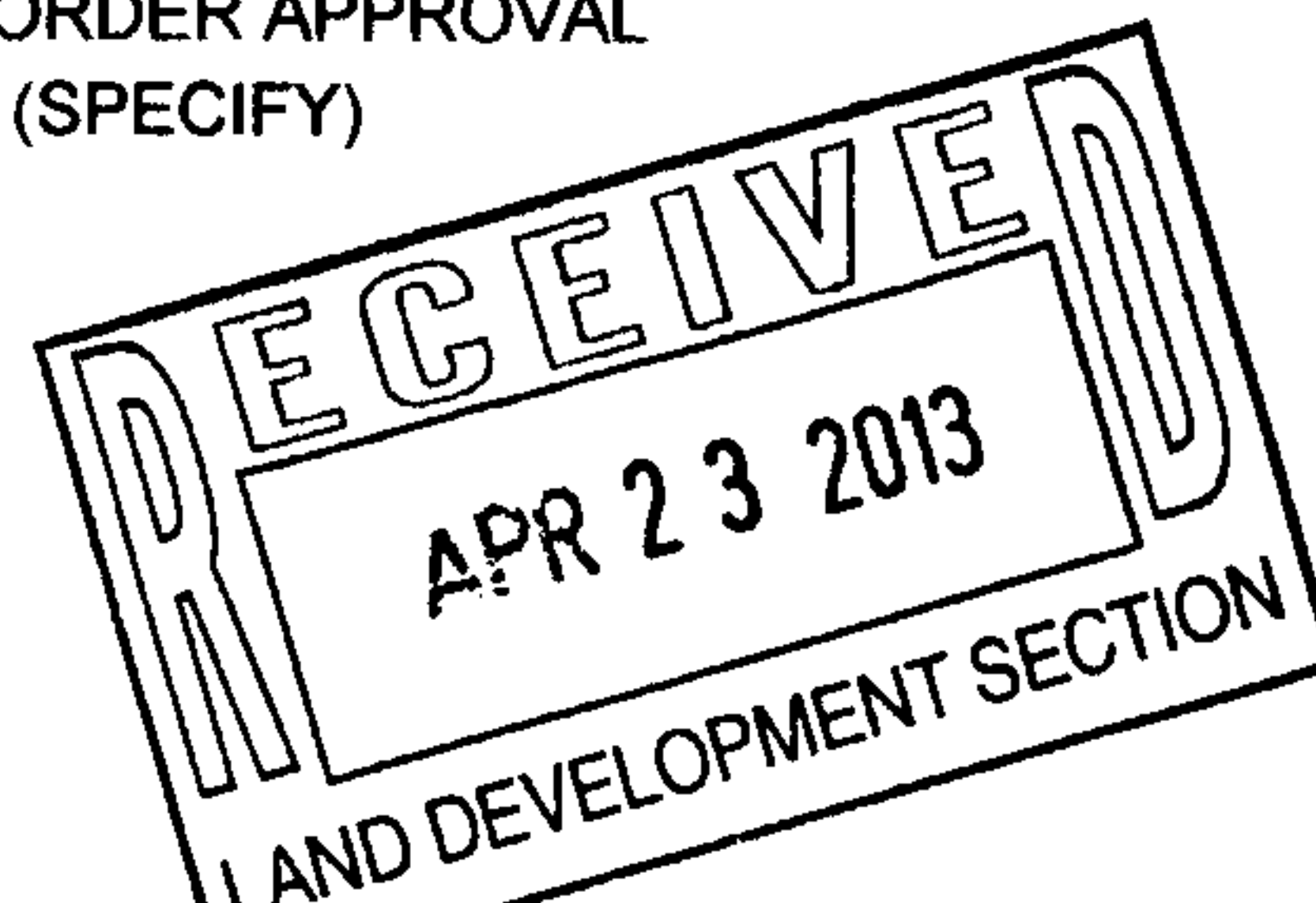
☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEERS CERTIFICATION (TCL)
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

☐ SIA / FINANACIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☒ NO
☐ COPY PROVIDED

DATE SUBMITTED: 4/22/2013 BY: David Soule



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal.

The particular nature, location and scope of the proposed development defines the degree of drainage detail.

One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plans:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

April 25, 2013

David Soule, P.E.
Rio Grande Engineering
P.O. Box 67305
Albuquerque, NM 87199

Re: Beehive Village @ San Pedro-Phase 2, 6401 Corona
Temporary Certificate of Occupancy – Transportation Development
DRB Project Number 1002254 (C18/D016A)
Certification dated 4/23/13

Dear Mr. Soule,

Based upon the information provided in your submittal received 4/23/13, Transportation Development has no objection to the issuance of a 60-day Temporary Certificate of Occupancy. This letter serves as a “green tag” from Transportation Development for a 60-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- The concrete ADA ramp at Wilshire and San Pedro is cracked and must be replaced.
- A section of sidewalk on Corona adjacent to a transformer box and drop inlet is sinking and creating a tripping hazard. This section must be rectified.

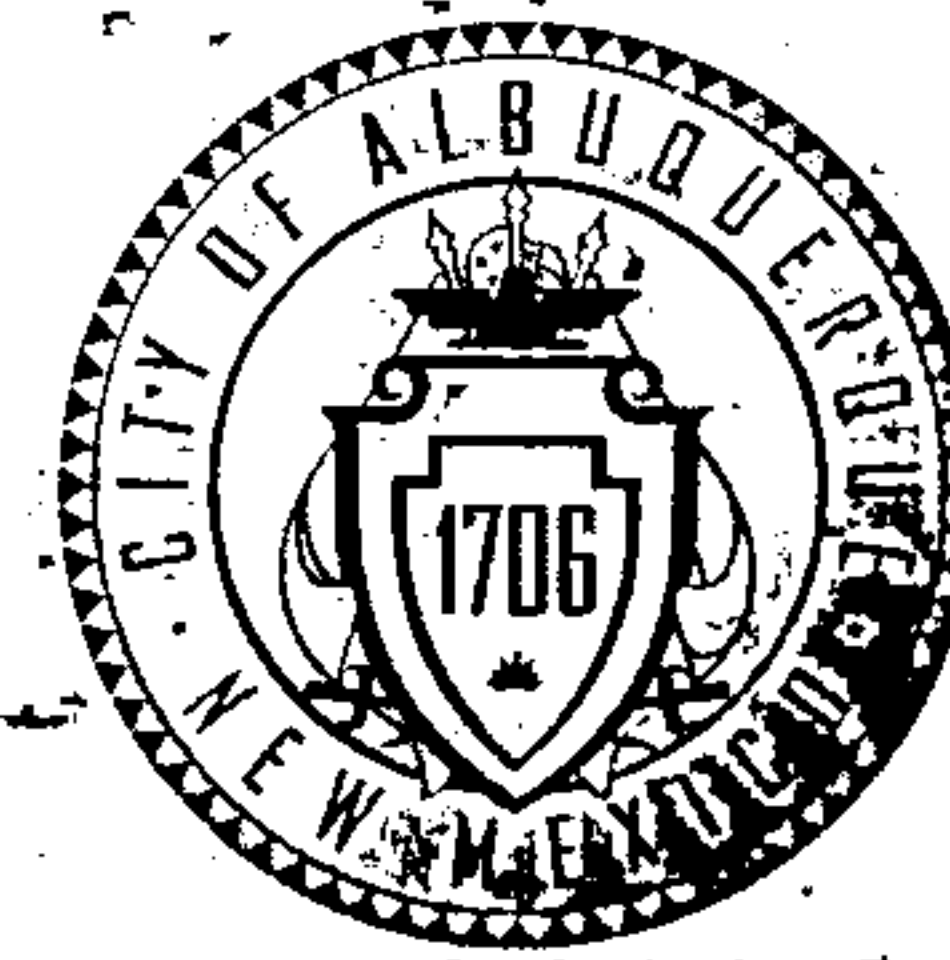
If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: CO Clerk
File

CITY OF ALBUQUERQUE



September 30, 2011

David Soule, P.E.
Rio Grande Engineering
P.O. Box 93924
Albuquerque, NM 87199

**Re: Beehive Village @ San Pedro Phase II
Grading and Drainage Plan
Engineer's Stamp date 6-23-11 (C-18/D016A)**

Dear Mr. Soule,

PO Box 1293
Based upon the information provided in your Grading submittal received 6-24-11 and approved Site Plan (AA) submittal received 9-28-11, the above referenced plan is approved for Building Permit and Grading Permit

Albuquerque
This project requires a National Pollutant Discharge Elimination System (NPDES) permit for storm water discharge and a Topsoil Disturbance Permit since it is disturbing $\frac{3}{4}$ of an acre or more.

NM 87103
Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

www.cabq.gov

If you have any questions, you can contact me at 924-3695.

Sincerely,

Shahab Biazar, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

CITY OF ALBUQUERQUE



July 8, 2011

David Soule, P.E.
Rio Grande Engineering
P.O. Box 67305
Albuquerque, NM 87193

Re: Beehive Village @ San Pedro Phase II
Grading and Drainage Plan
Engineer's Stamp date 6-23-11 (C-18/D016A)

Dear Mr. Soule,

Based upon the information provided in your submittal received 6/24/11, the above referenced plan can not be approved for Building Permit and Grading Permit until the following comment is addressed.

- Submit the signature sheet of the approved DRB Site Plan with all signatures, for further review.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

Hydrology is requesting that proposed landscape areas be depressed to retain/infiltrate the rain that falls on them.

If you have any questions, you can contact me at 924-3986, or Rudy E. Rael at 924-3977.

Sincerely,

Curtis Cherne, P.E., CFM
Principal Engineer, Planning Dept.
Development and Building Services

CAC/RER

C: File

RIO GRANDE ENGINEERING OF NEW MEXICO, LLC

June 23, 2011

Mr. Curtis Cherne, PE
Principal Engineer
Planning Department
City of Albuquerque

**RE: Grading and Drainage Plan
Beehive Village(C18/D016A)**

Dear Curtis:

The purpose of this letter is to accompany the enclosed grading plan for the referenced project. This plan has been modified to address your written comments dated June 20, 2011. The following is a summary of your comments with the annotation as to how the plans were modified to address the comments:

1. A basin map is needed; also flood zone needs to be show.

A new basin map has been included. There are minor changes in basin compared to original. I have included the discharge calculation and verification of the capacity of the 12" storm drain line. The Flood zone has been shown.

2. Show location of SE building.

The line type for the fence was misleading; the line type was changed to clarify.

3. A note displays 12" HDPE but not shown.

The location of the 12" line has been shown better.

4. Elevation cert required for existing structures prior to CO.

The owner has been notified and these will be submitted.

5. A Floodplain development permit is required

The permit will be submitted.

A NPDES is required and landscaping will be depressed per your comments. Should you have any questions or comments regarding this resubmittal, please do not hesitate to call me.

Sincerely,



David Soule, PE

Enclosures

Weighted E Method

Existing Developed Basins

											100-Year, 6-hr.			10-day
Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Volume (ac-ft)
			%	(acres)	%	(acres)	%	(acres)	%	(acres)				
BASIN A-H	15642.00	0.359	0%	0	23%	0.083	30%	0.10773	47%	0.169	1.708	0.051	1.43	0.074
BASIN I	26583.00	0.610	0%	0	2%	0.012	6%	0.03662	92%	0.561	2.267	0.115	2.98	0.190
BASIN J	12596.00	0.289	0%	0	30%	0.087	36%	0.1041	34%	0.098	1.543	0.037	1.08	0.050
TOTAL	54821.00	1.259		0.000		0.182		0.248		0.829		0.204	5.488	

Equations:

Weighted E = $E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d$ / (Total Area)

Volume = Weighted D * Total Area

Flow = $Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$

Where for 100-year, 6-hour storm

Ea= 0.66	Qa= 1.87
Eb= 0.92	Qb= 2.6
Ec= 1.29	Qc= 3.45
Ed= 2.36	Qd= 5.02

Pipe Capacity

Pipe	D	Slope	Area	R	Q Provided	Q Required	Velocity
	(in)	(%)	(ft^2)		(cfs)	(cfs)	(ft/s)
12HDPE	12	1	0.79	0.25	3.10	1.43	1.82

Manning's Equation:

$Q = 1.49/n * A * R^{(2/3)} * S^{(1/2)}$

A = Area

R = D/4

S = Slope

n = 0.015

WILSHIRE AVE NE

BASIN H

1910 SF

BASIN G
1880 SF

BASIN F
2210 SF

BASIN E
1791 SF

BASIN D
2847 SF

BASIN C
2510 SF

BASIN B
1518 SF

BASIN A
976 SF

BASIN I
26583 SF

BASIN J
12596 SF

FF=5237.33
FP=5236.83

74 LF
OF 12" HDPE
@ 5.4%

PROVIDE 2'
CURB FOR
DRAINAGE
FL5237.36

BEGIN NEW 6"
HEADER CURB
TIE TO EX. CURB

FF=5237.85
FP=5237.36

EX. GRATE=5235.74

FF=5238.20
FP=5237.70

EX. FF=5237.25

FF=5237.48

JUMPSTER

Z 5236.24

5246

5245

5242

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 01/28/2003rd)

PROJECT TITLE: BeehiveVillage at San Pedro-phase 2
DRB #: _____ EPC #: _____

ZONE MAP/DRG. FILE #: C18/D016A
WORK ORDER #: _____

LEGAL DESCRIPTION: Tracts A1,B-1 Beehive village
CITY ADDRESS: 6401 Corona

ENGINEERING FIRM: Rio Grande Engineering
ADDRESS: PO BOX 67305
CITY, STATE: Alb

CONTACT: David Soule, PE
PHONE: (505)321-9099
ZIP CODE: 87199

OWNER: San Pedro Bee Hive
ADDRESS: 6401 Corona
CITY, STATE: alb, nm

CONTACT: _____
PHONE: _____
ZIP CODE: 87109

ARCHITECT: Slagle Herr
ADDRESS: 1600 Rio Grande Blvd NE
CITY, STATE: Alb NM

CONTACT: Dan Herr
PHONE: 246-0870
ZIP CODE: 87104

SURVEYOR: Geo surv CO
ADDRESS: _____
CITY, STATE: _____

CONTACT: David Vigil
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

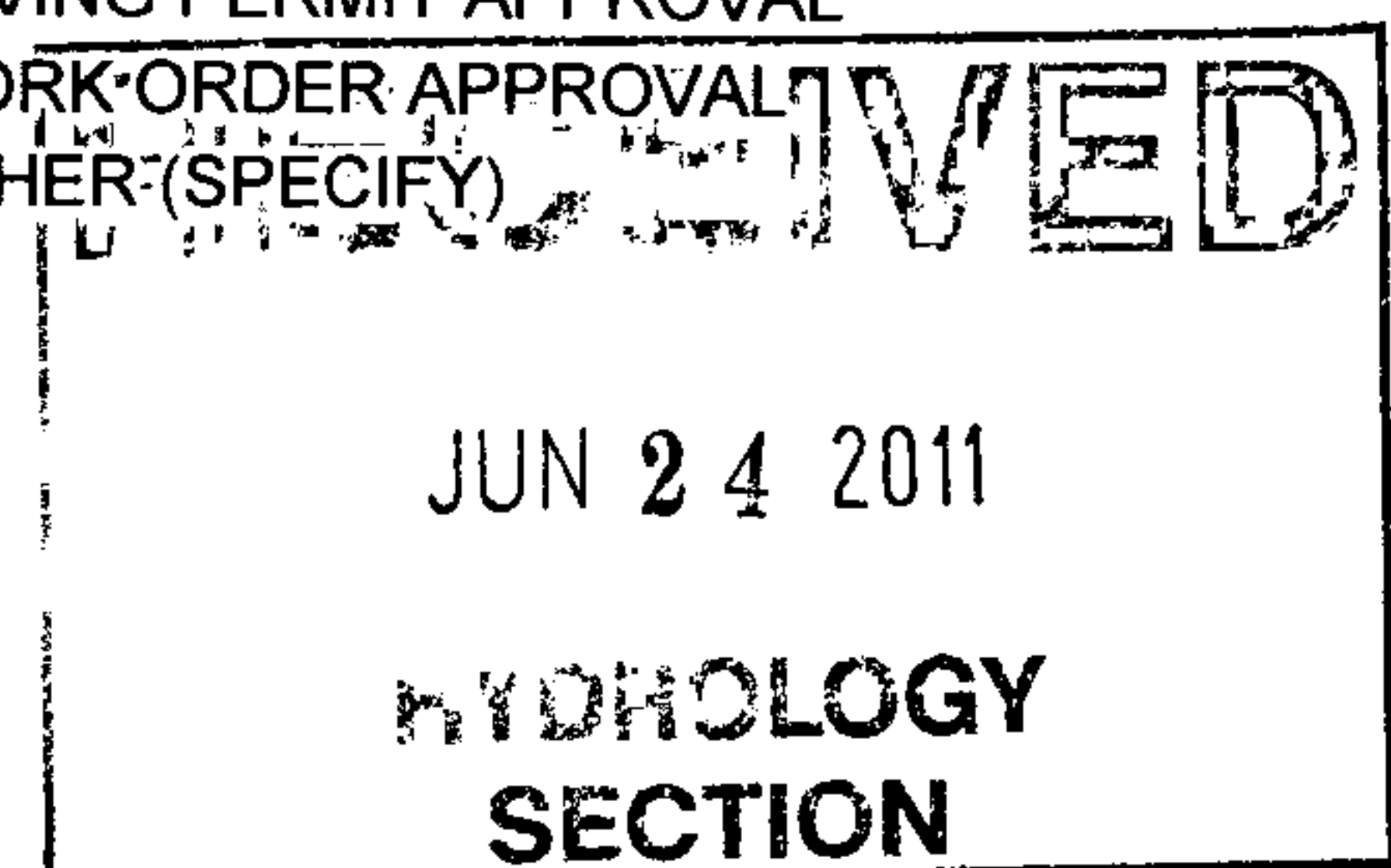
- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
☒ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEERS CERTIFICATION (TCL)
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANACIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☒ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☒ NO
☐ COPY PROVIDED



DATE SUBMITTED: 6/23/2011 BY: David Soule

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal.

The particular nature, location and scope of the proposed development defines the degree of drainage detail.

One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plans:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

November 12, 2002

D. Mark Goodwin, PE
Mark Goodwin & Associates
P.O. Box 90606,
Albuquerque, NM 87199

Re: Buena Vista Pond Reclamation Plan
Engineer's Stamp dated 9-10-02, (C18/D16)
Engineer's Certification dated 10-24-02

Dear Mr. Goodwin,

Based upon the information provided in your submittal dated 10-29-02, the above referenced certification is approved for Final Plat sign-off by City Engineer.

If you have any questions, please contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE
Sr. Engineer, Planning Dept.
Development and Building Services

C: file



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

September 27, 2002

D. Mark Goodwin, PE
Mark Goodwin & Associates
P.O. Box 90606,
Albuquerque, NM 87199

Re: Buena Vista Pond Reclamation Plan
Engineer's Stamp dated 9-10-02, (C18/D16)

Dear Mr. Goodwin,

Based upon the information provided in your submittal dated 9-10-02, the above referenced plan is approved for Grading Permit and Final Plat. Prior to sign-off of the plat (after the vacation action by DRB) by City Engineer, please provide an Engineer's Certification of the plan.

If you have any questions, please contact me at 924-3986.

Sincerely,

Bradley L. Bingham

Bradley L. Bingham, PE
Sr. Engineer, Planning Dept.
Development and Building Services

C: file

*This is approved for SO#19
B1B*



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

September 5, 2002

D. Mark Goodwin, PE
Mark Goodwin & Associates
P.O. Box 90606,
Albuquerque, NM 87199

Re: Buena Vista Pond Reclamation Plan

Engineer's Stamp dated 8-8-02, ~~CP 10021~~

C18/D16

Dear Mr. Goodwin,

Based upon the information provided in your submittal dated 8-9-02, the above referenced plan cannot be approved for Grading Permit or Final Plat until the following comments are addressed.

- I know the trunk line pipe is constructed but please provide me with the specific details about what inlets, manholes, etc. were plugged or unplugged with the Corona project. Include specifics about the inlets at Wilshire as well.
- Are you filling in the pond? If so, what are the new grades?
- There is a gap in the curb near the inlet on San Pedro and an asphalt swale to the bottom of the pond. What are you proposing to do about that?
- There is a CMP culvert shown on your plan (midblock on San Pedro). Please explain what will happen to it.

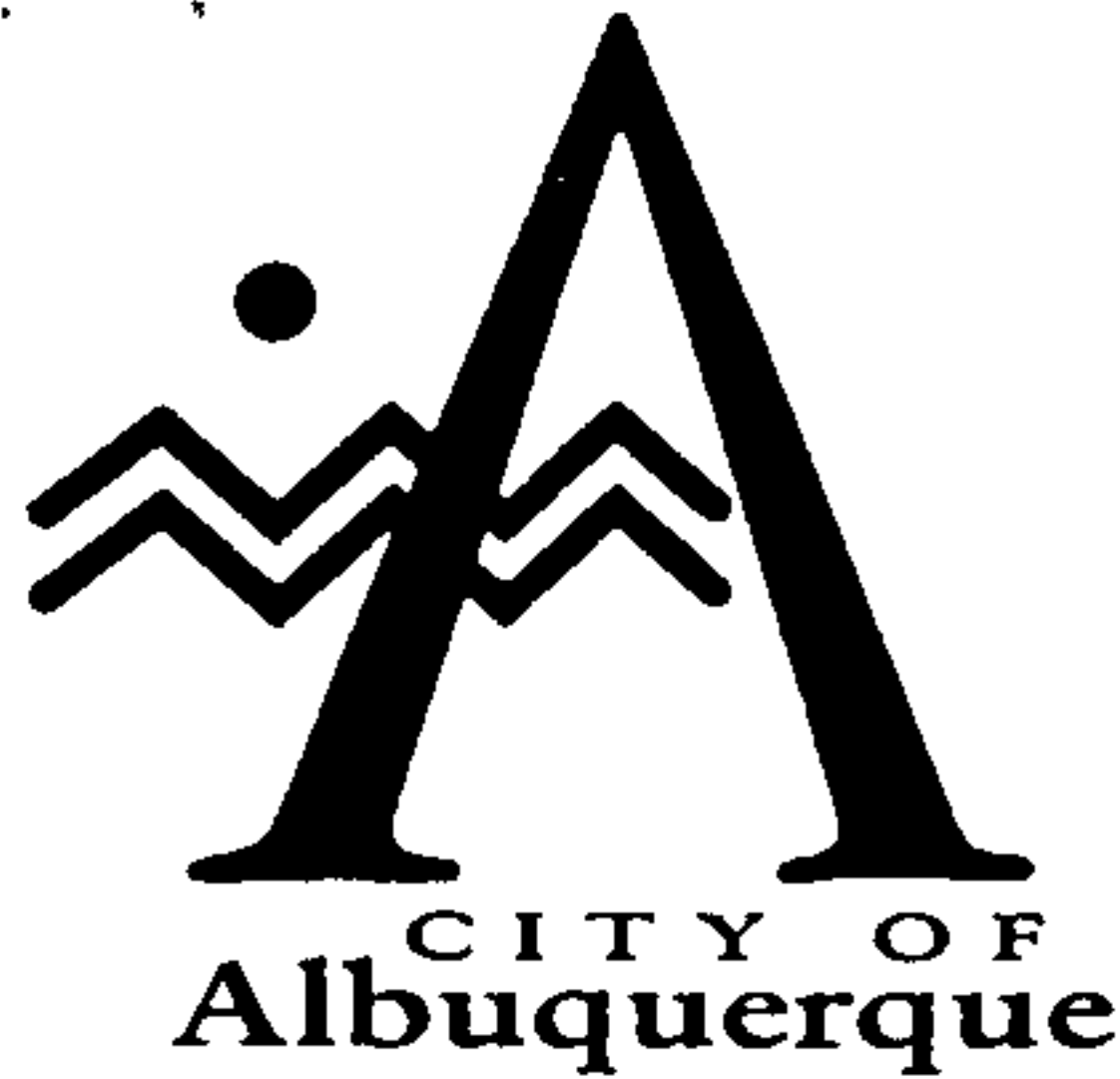
If you have any questions, please contact me at 924-3986.

Sincerely,

Bradley L. Bingham

Bradley L. Bingham, PE
Sr. Engineer, Planning Dept.
Development and Building Services

C: file



March 17, 1998

Diane Hoelzer, P.E.
Mark Goodwin & Associates
P.O. Box 90606
Albuquerque, New Mexico 87199

RE: Engineer's Certification for Buena Vista Estates Unit II (C18/D16) Submitted for Release of Financial Guarantees, Engineer's Certification Stamp Dated 2/19/98.

Dear Ms. Hoelzer:

The above referenced Engineer's Certification for Buena Vista Estates Unit 2 is adequate to satisfy the Grading and Drainage certification requirements per the Infrastructure List dated June 10, 1997 for the release of Financial Guarantees for this Unit.

The submittal for the Letter of Map Revision (LOMR) for the Wyoming Storm Drain to remove the existing floodplain is still in review at FEMA. The owners should be made aware that until the LOMR is issued from FEMA flood insurance may be required and the existing floodplain will not be removed.

If you have any questions, or if I may be of further assistance to you, please call me at 924-3982.

Sincerely,

Susan M. Calongne, P.E.
City/County Floodplain Administrator

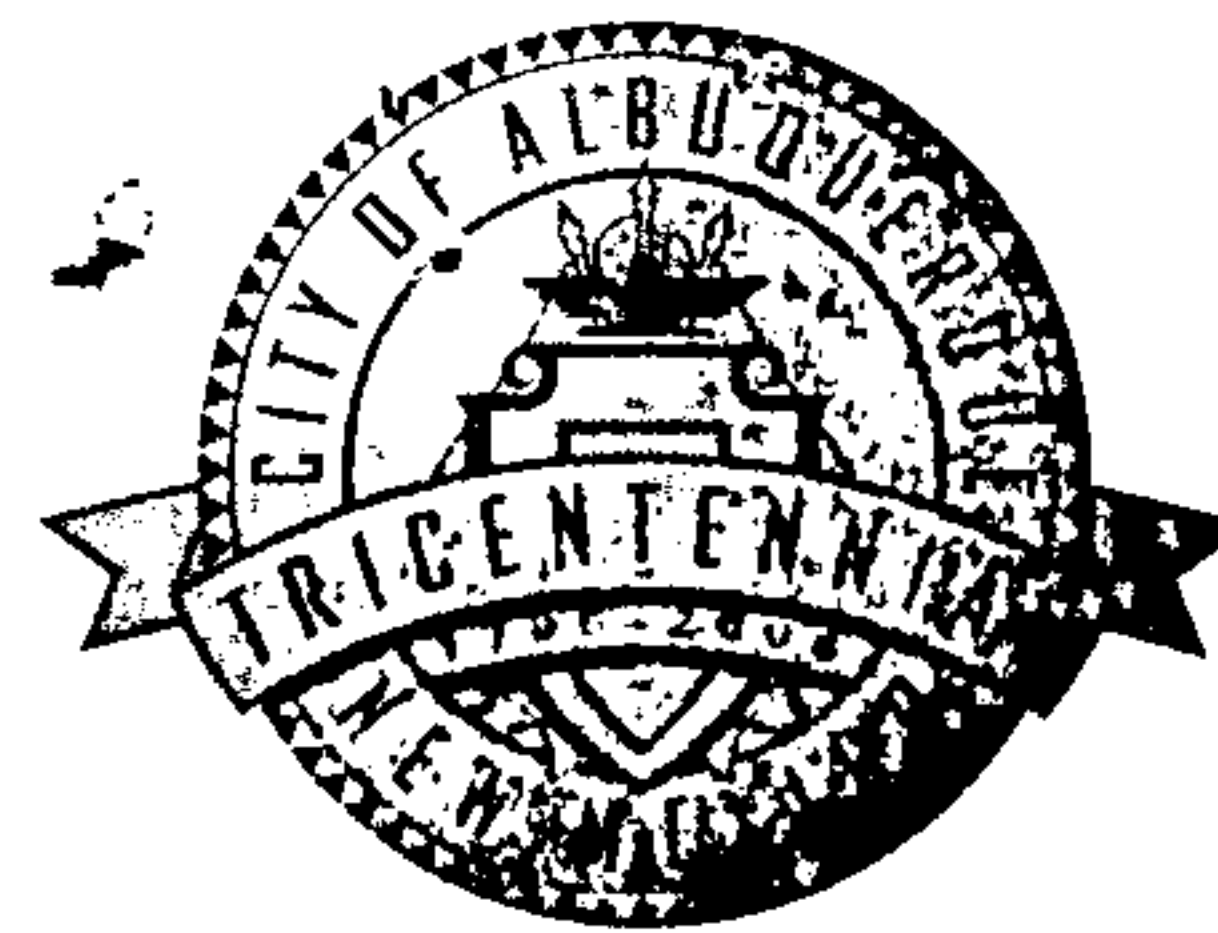
c: Terri Martin, DRB 97-2
Mark Pagels, Sunset West

☐ File

Good for You, Albuquerque!



CITY OF ALBUQUERQUE



June 24, 2008

J. Graeme Means, P.E.
High Mesa Consulting Group
6010-B Midway Park Blvd. NE
Albuquerque, NM 87109

**Re: Beehive Village Ph. I, 6401 Corona NE,
Approval of Permanent Certificate of Occupancy (C.O.), Engineer's Stamp
dated 08/24/07 (C-18/D016) &
Certification dated 6/24/08**

Mr. Means,

P.O. Box 1293

Based upon the information provided in your submittal received 6/24/08, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

Albuquerque

In the future, please, stamp the Engineer's Certification along with the Engineer's signature and date.

New Mexico 87103

If you have any questions, you can contact me at 924-3982.

Sincerely,

www.cabq.gov

Timothy E. Sims
Plan Checker
Development and Building Services

C: CO Clerk – Katrina Sigala
File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 01/06 – KDM)

PROJECT TITLE: Beehive Village – Phase 1 ZONE MAP: C18/D16
 DRB#: 102254 EPC#: _____ WORK ORDER#: _____
 LEGAL DESCRIPTION: Tract 2-A, Buena Vista Estates
 CITY ADDRESS: 6401 Cornona NE

ENGINEERING FIRM: High Mesa Consulting Group CONTACT: Graeme Means #13676
 ADDRESS: 6010-B Midway Park Blvd NE PHONE: 345-4250
 CITY, STATE: Albuquerque, NM ZIP CODE: 87109

OWNER: CW Construction CONTACT: c/o Nick Foutz
 ADDRESS: 1500 West Barrett PHONE: 208-888-1851
 CITY, STATE: Meridian, ID ZIP CODE: 83632

ARCHITECT: Owner CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

SURVEYING FIRM: High Mesa Consulting Group SURVEYOR: Charles G. Cala, Jr, #11184
 ADDRESS: 6010-B Midway park Blve NE PHONE: 345-4250
 CITY, STATE: Albuquerque, NM ZIP CODE: 87109

CONTRACTOR: Owner CONTACT: Owner
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

____ DRAINAGE REPORT
 ____ DRAINAGE PLAN 1st SUBMITTAL
 ____ DRAINAGE PLAN RESUBMITTAL
 ____ CONCEPTUAL G & D PLAN
 ____ GRADING PLAN
 ____ EROSION CONTROL PLAN
☒ ENGINEER'S CERT (HYDROLOGY)
 ____ CLOMR/LOMR
 ____ TRAFFIC CIRCULATION LAYOUT
 ____ ENGINEER'S CERT (TCL)
 ____ ENGINEER'S CERT (DRB SITE PLAN)
 ____ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

____ SIA/FINANCIAL GUARANTEE RELEASE
 ____ PRELIMINARY PLAT APPROVAL
 ____ S. DEV. PLAN FOR SUB'D APPROVAL
 ____ S. DEV. FOR BLDG. PERMIT APPROVAL
 ____ SECTOR PLAN APPROVAL
 ____ FINAL PLAT APPROVAL
 ____ FOUNDATION PERMIT APPROVAL
 ____ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY
 ____ GRADING PERMIT APPROVAL
 ____ PAVING PERMIT APPROVAL
 ____ WORK ORDER APPROVAL
 ____ OTHER (SPECIFY) _____

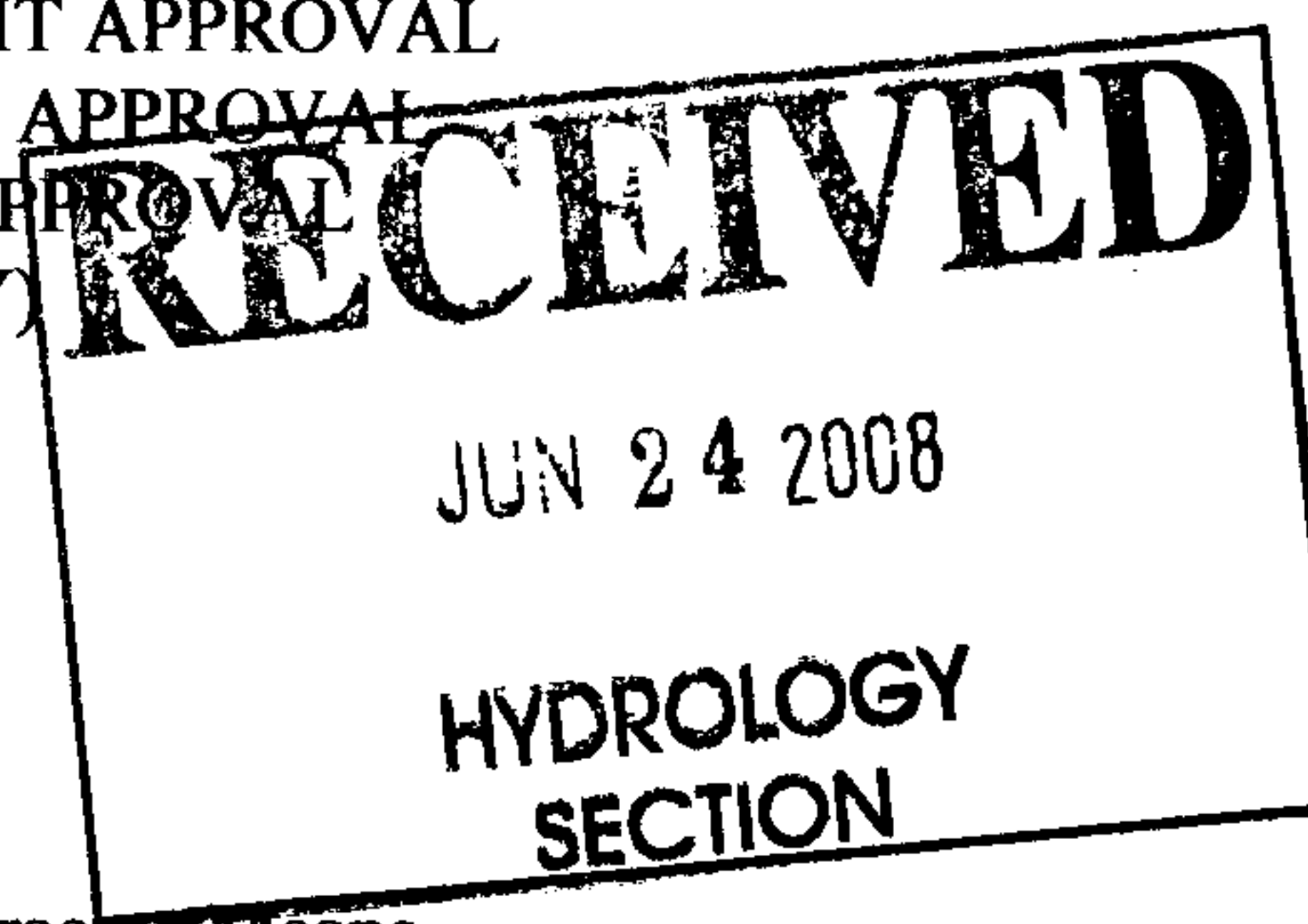
WAS A PRE-DESIGN CONFERENCE ATTENDED:

____ YES
☒ NO
 ____ COPY PROVIDED

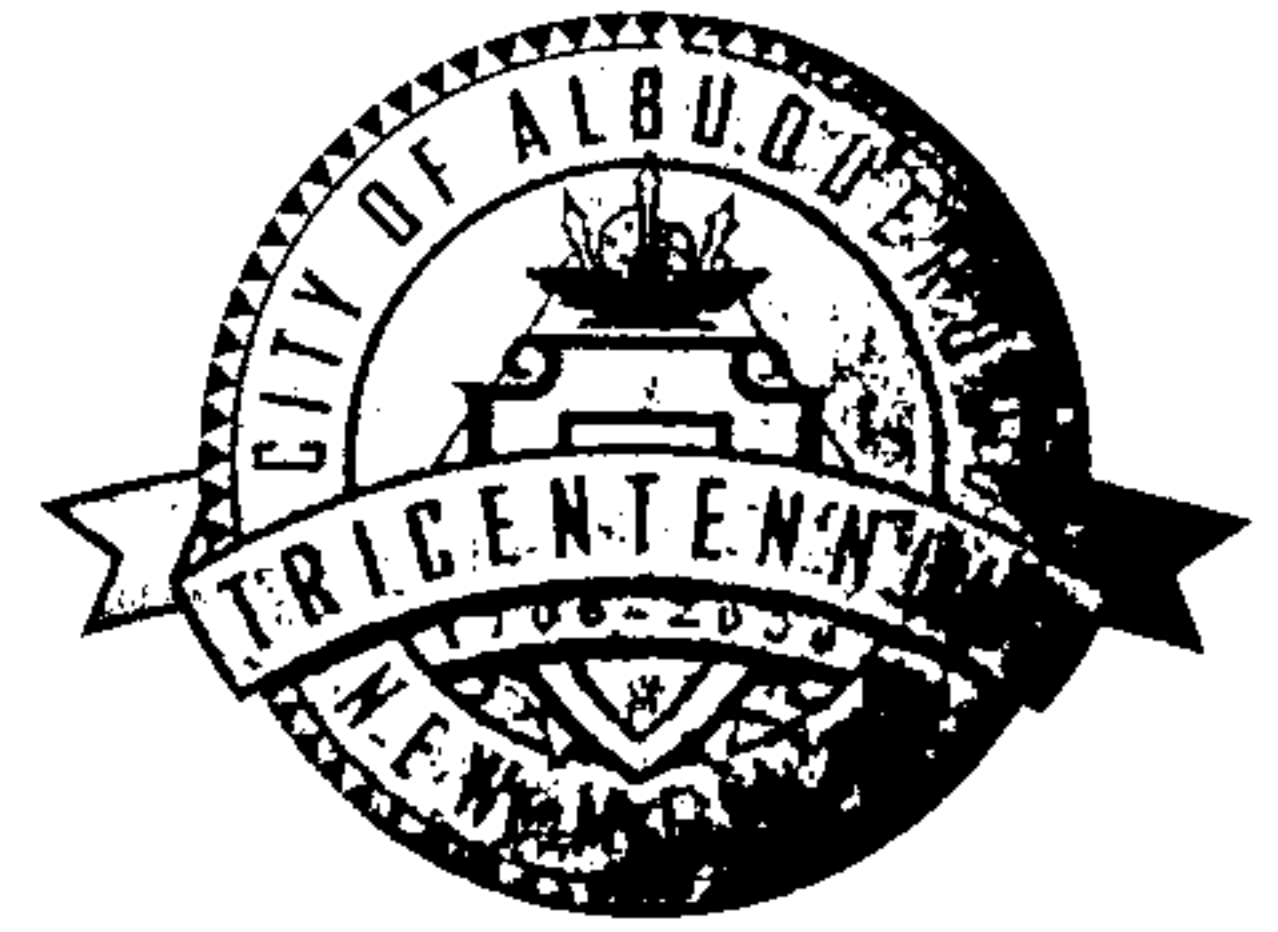
DATE SUBMITTED: 06/24/2008 BY: Graeme Means

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



CITY OF ALBUQUERQUE



October 8, 2007

J. Graeme Means, P.E.
High Mesa Consulting Group
6010-B Midway Park Blvd. NE
Albuquerque, NM 87109

Handwritten note:
C18-D16
10/10/07
John

**Re: Beehive Village – Phase 1, 8500 San Pedro Drive NE, Grading and
Drainage Plan
Engineer's Stamp dated 8-24-07 (C18-D16)**

Dear Mr. Means,

Based upon the information provided in your submittal received 9-21-07, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

A separate permit (SO#19) is required for construction within City Right of Way. A copy of this approval letter must be on hand when applying for the excavation permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. If you have any questions regarding this permit please feel free to call the DMD Storm Drainage Design section at 768-3654 (Charles Caruso).

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: Duane Schmitz, DMD Street / Storm Maintenance (Pino Yards)
Antoinette Baldonado, Construction Services
Kathy Verhage, DMD Storm Drainage Design
File

CITY OF ALBUQUERQUE



May 16, 2006

J. Graeme Means, P.E.
Jeff Mortensen & Associates, Inc.
6010-B Midway Park Blvd. NE
Albuquerque, NM 87109

**Re: Beehive Village Phase 1, Tract 2-A Buena Vista Estates, Grading and
Drainage Plan**

Engineer's Stamp dated 5-02-06 (C18-D16)

Dear Mr. Means,

Based upon the information provided in your submittal received 5-02-06, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

A separate permit (SO#19) is required for construction within City Right of Way. A copy of this approval letter must be on hand when applying for the excavation permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. If you have any questions regarding this permit please feel free to call the DMD Storm Drainage Design section at 768-3654 (Charles Caruso).

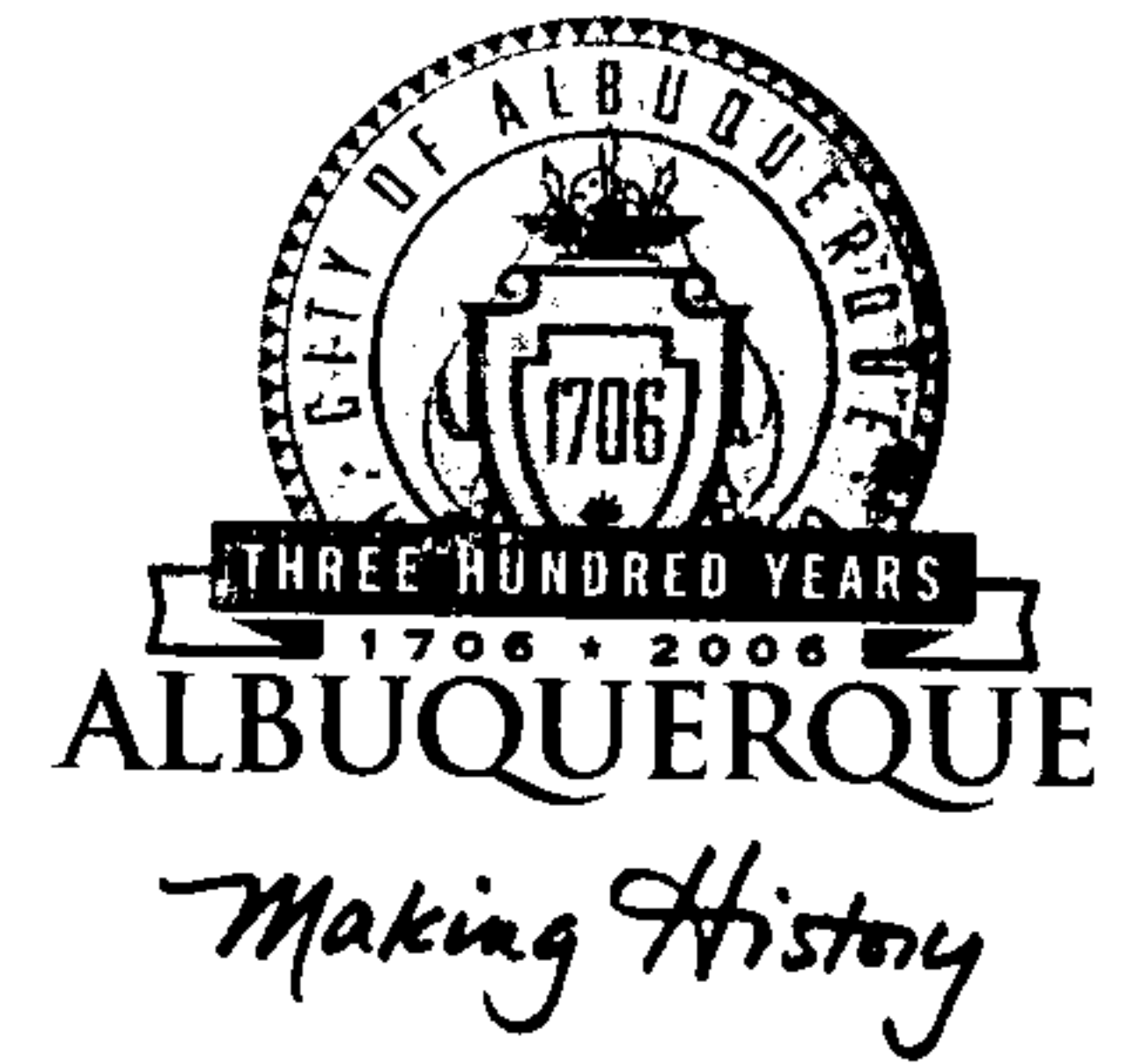
If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: Edward Elwell, DMD Street / Storm Maintenance
Liz Sanchez, Excavation Permits
Charles Caruso, DMD Storm Drainage Design
File

CITY OF ALBUQUERQUE



April 28, 2006

J. Graeme Means, P.E.
Jeff Mortensen & Associates, Inc.
6010-B Midway Park Blvd. NE
Albuquerque, NM 87109

**Re: Beehive Village Phase 1, Tract 2-A Buena Vista Estates, Grading and
Drainage Plan**
Engineer's Stamp dated 4-12-06 (C18-D16)

Dear Mr. Means,

Based upon the information provided in your submittal received 4-12-06, the
above referenced plan cannot be approved for Building Permit until the following
comments are addressed:

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

1. Define how flow will reach the sidewalk culverts. Pipes or rundowns?
Please provide a detail
2. Check the build note for the two northernmost inlets along San Pedro
Drive. An invert should be provided for each inlet.

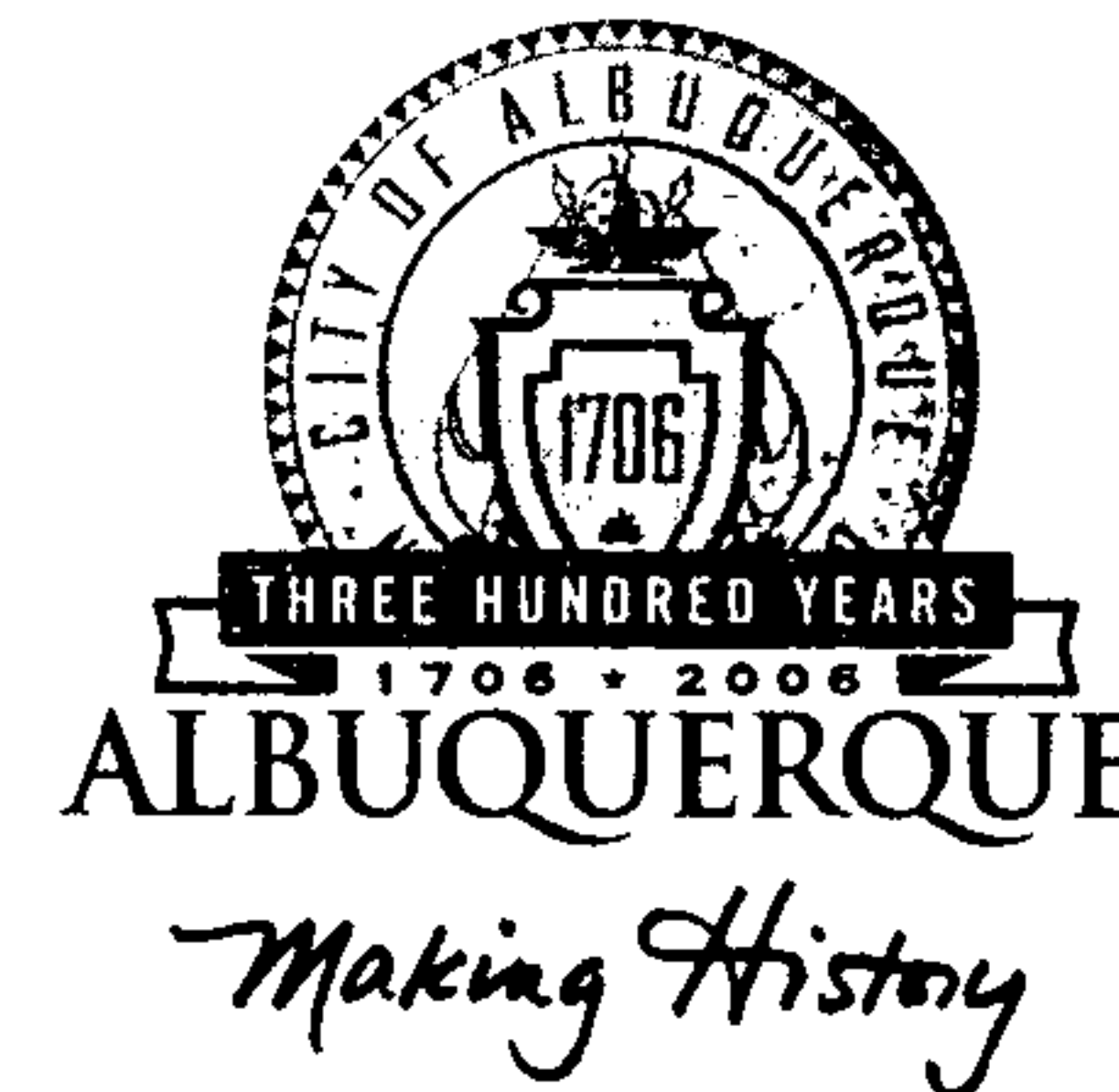
If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

CITY OF ALBUQUERQUE



January 4, 2006

J. Graeme Means, PE
Jeff Mortensen & Associates, Inc.
6010-B Midway Park Blvd. NE
Albuquerque, NM 87109

Re: Beehive Village-Phase I, Buena Vista Estates
Grading and Drainage Plan
Engineer's Stamp dated 12-13-05 (C18/D16)

Dear Mr. Means,

Based upon the information provided in your submittal received 12-20-05, the above referenced plan is approved for Building Permit, Grading Permit and SO-19. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. If you have any questions regarding this permit please feel free to call the DMD Storm Drainage Design section at 768-3654 (Charles Caruso).

If you have any questions, you can contact me at 924-3986.

Sincerely,

Rudy E. Rael, Associate Engineer
Planning Department.
Building and Development Services

C: Charles Caruso
File

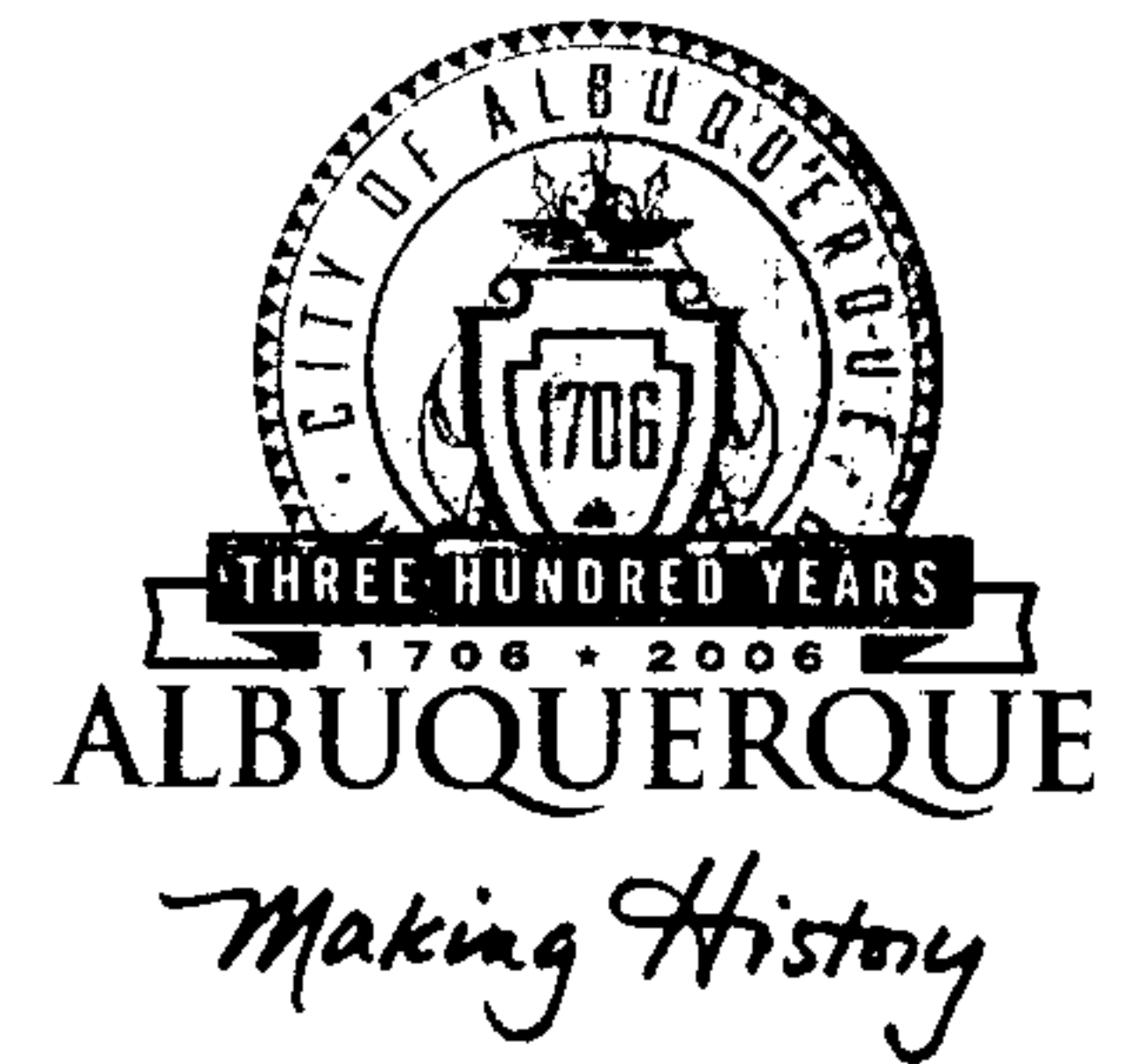
P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

CITY OF ALBUQUERQUE



November 3, 2005

J. Graeme Means, P.E.
Jeff Mortensen & Associates, Inc.
6010-B Midway Park Blvd. NE
Albuquerque, NM 87109

**Re: Beehive Homes, 8500 San Pedro Drive NE, Site Development Plan
Engineer's Stamp dated 9-29-05 (C18-D16)**

Dear Mr. Means,

Based upon the information provided in your submittal received 10-20-05, the above referenced plan is approved for Site Development Plan for Subdivision and Building Permit action by the DRB.

P.O. Box 1293

If you have any questions, you can contact me at 924-3981.

Albuquerque

New Mexico 87103

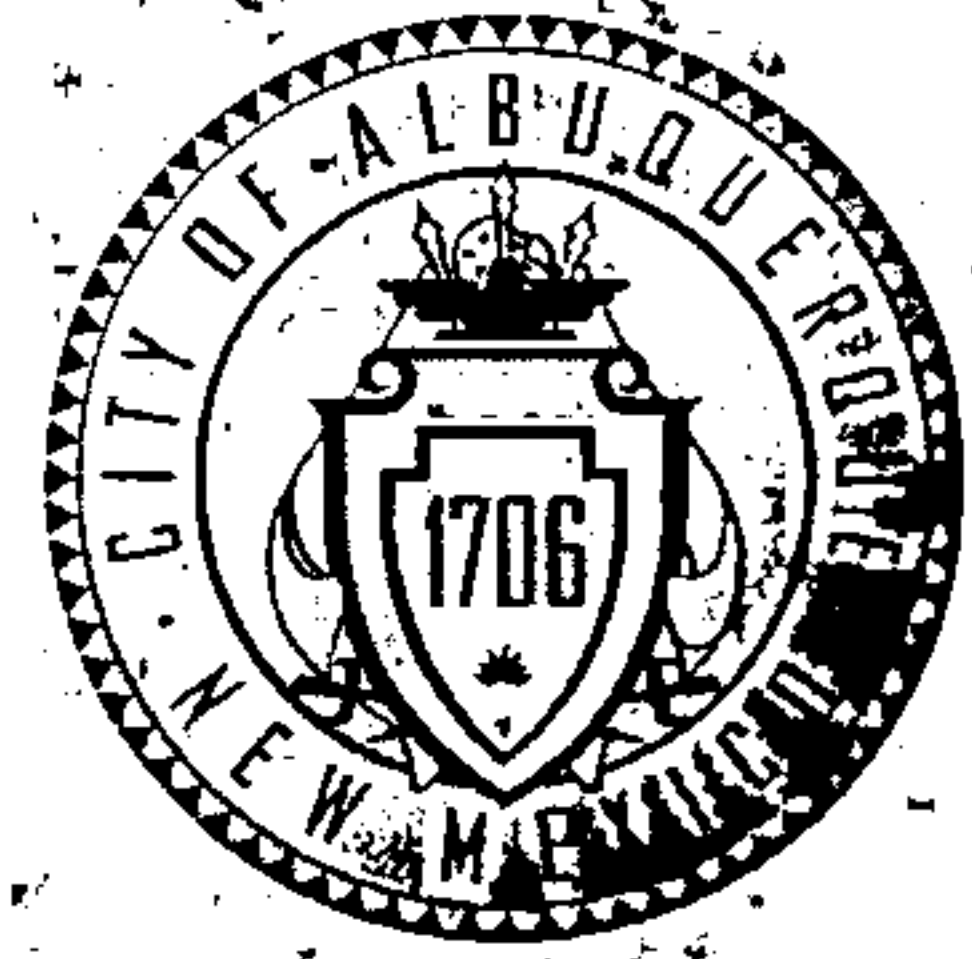
www.cabq.gov

C: File

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

CITY OF ALBUQUERQUE



June 20, 2011

David Soule, P.E.
Rio Grande Engineering
P.O. Box 67305
Albuquerque, NM 87193

**Re: Beehive Village @ San Pedro Phase II
Grading and Drainage Plan
Engineer's Stamp date 5-18-11 (C-18/D016A)**

Dear Mr. Soule,

Based upon the information provided in your submittal received 5/25/11, the above referenced plan is approved for Site Development Plan for Building Permit. However, this plan cannot be approved for Building Permit or Grading Permit until the following comments are addressed:

- A basin map is needed for the new building configuration, also showing the AE flood zone at the south end of this site.
- Show the exact location of the existing building in the SE corner.
- A note displays a 12" SD HDPE, but does not provide the location.
- Prior to CO, an Elevation Certificate for the existing structures in the AE Flood Zone is required.
- A Floodplain Development Permit is required for the proposed building in the AE Flood Zone.

This project requires a National Pollutant Discharge Elimination System (NPDES) permit for storm water discharge and a Topsoil Disturbance Permit since it is disturbing $\frac{3}{4}$ of an acre or more.

Hydrology is requesting that proposed landscape areas be depressed to retain/infiltrate the rain that falls on them.

If you have any questions, you can contact me at 924-3986, or Rudy E. Rael at 924-3977.

Sincerely,

Curtis Cherne, P.E., CFM
Principal Engineer, Planning Dept.
Development and Building Services

CAC/RER
C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

PROJECT TITLE: Beehive homes ZONE MAP: C18/0016A
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: _____
 CITY ADDRESS: _____

ENGINEERING FIRM: Rio Grande Engineering CONTACT: David Souza
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

OWNER: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

SURVEYOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

- _____ DRAINAGE REPORT
- _____ DRAINAGE PLAN 1st SUBMITTAL
- _____ DRAINAGE PLAN RESUBMITTAL
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ EROSION CONTROL PLAN
- _____ ENGINEER'S CERT (HYDROLOGY)
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT
- _____ ENGINEER'S CERT (TCL)
- _____ ENGINEER'S CERT (DRB SITE PLAN)
- _____ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

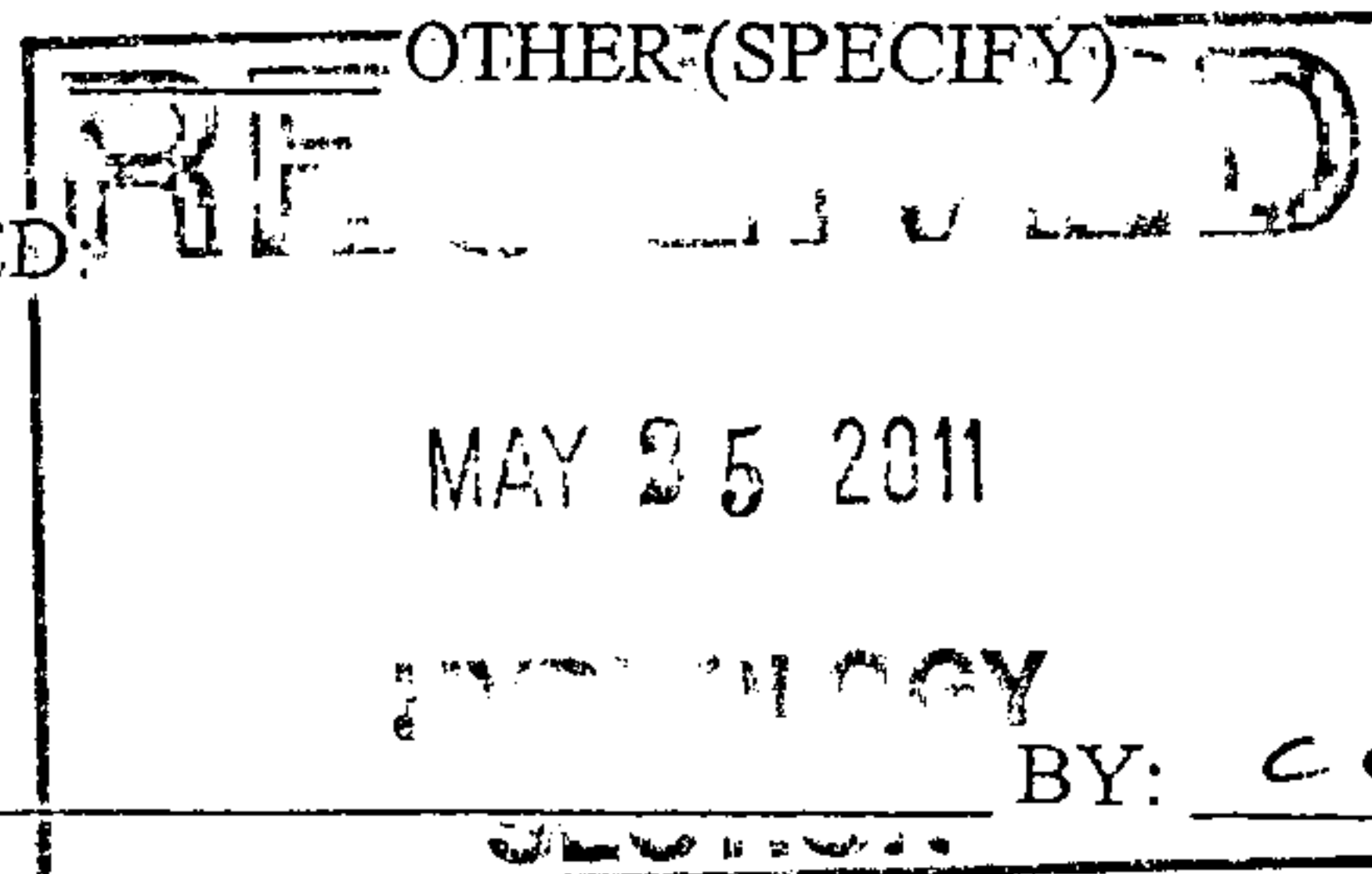
- _____ SIA/FINANCIAL GUARANTEE RELEASE
- _____ PRELIMINARY PLAT APPROVAL
- _____ S. DEV. PLAN FOR SUB'D APPROVAL
- ☒ S. DEV. FOR BLDG. PERMIT APPROVAL **44**
- _____ SECTOR PLAN APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ FOUNDATION PERMIT APPROVAL
- _____ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY (PERM)
- _____ CERTIFICATE OF OCCUPANCY (TEMP)
- _____ GRADING PERMIT APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ WORK ORDER APPROVAL

OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- _____ YES
- ☒ NO
- _____ COPY PROVIDED

DATE SUBMITTED: 5-25-11



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 01/28/2003rd)

PROJECT TITLE: BeehiveVillage at San Pedro-phase 2
DRB #: _____ EPC #: _____

ZONE MAP/DRG. FILE #: C18 / D016A
WORK ORDER #: _____

LEGAL DESCRIPTION: Tracts A1,B-1 Beehive village
CITY ADDRESS: 6401 Corona

ENGINEERING FIRM: Rio Grande Engineering
ADDRESS: PO BOX 67305
CITY, STATE: Alb

CONTACT: David Soule, PE
PHONE: (505)321-9099
ZIP CODE: 87199

OWNER: San Pedro Bee Hive
ADDRESS: 6401 Corona
CITY, STATE: alb, nm

CONTACT: _____
PHONE: _____
ZIP CODE: 87109

ARCHITECT: Slagle Herr
ADDRESS: 1600 Rio Grande Blvd NE
CITY, STATE: Alb, NM

CONTACT: Dan Herr
PHONE: 246-0870
ZIP CODE: 87104

SURVEYOR: Geo surv CO
ADDRESS: _____
CITY, STATE: _____

CONTACT: David Vigil
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☒ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEERS CERTIFICATION (TCL)
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

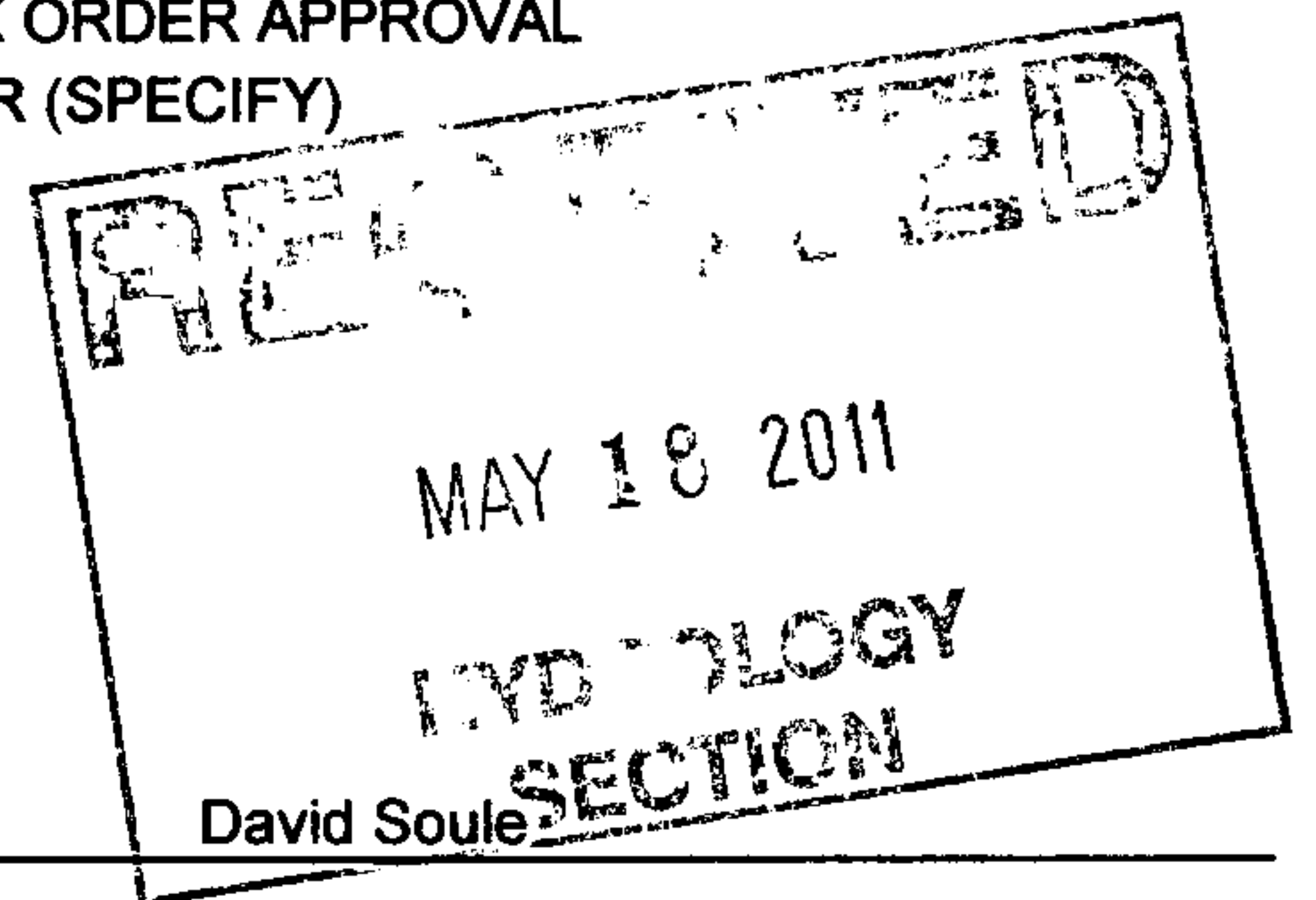
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☐ PRELIMINARY PLAT APPROVAL
☒ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☒ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☒ NO
☐ COPY PROVIDED

DATE SUBMITTED: 5/15/2011

BY: _____



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal.

The particular nature, location and scope of the proposed development defines the degree of drainage detail.

One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plans:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

RIO GRANDE ENGINEERING OF NEW MEXICO, LLC

May 18, 2011

Mr. Curtis Cherne, PE
Section Head-Hydrology
Planning Department
City of Albuquerque

**RE: Grading and Drainage Plan
San Pedro Beehive- phase 2**

Dear Curtis:

The purpose of this letter is to accompany the enclosed grading plan for the referenced project. The project is the construction of the last 3 building on and assisted living facility. The overall grading plan accounted for this development. This plan has been modified to address changes to the building configurations. The drive isle and onsite drainage system were constructed with the initial phase. The changes are so minor; a report is not being prepared. The approved plan anticipated 46,312 square feet of building and the proposed is 116 sf less, so the rates will be unchanged. There will be no modifications to the onsite drainage concept, the continuation of area drains as proposed within approved plan will remain.

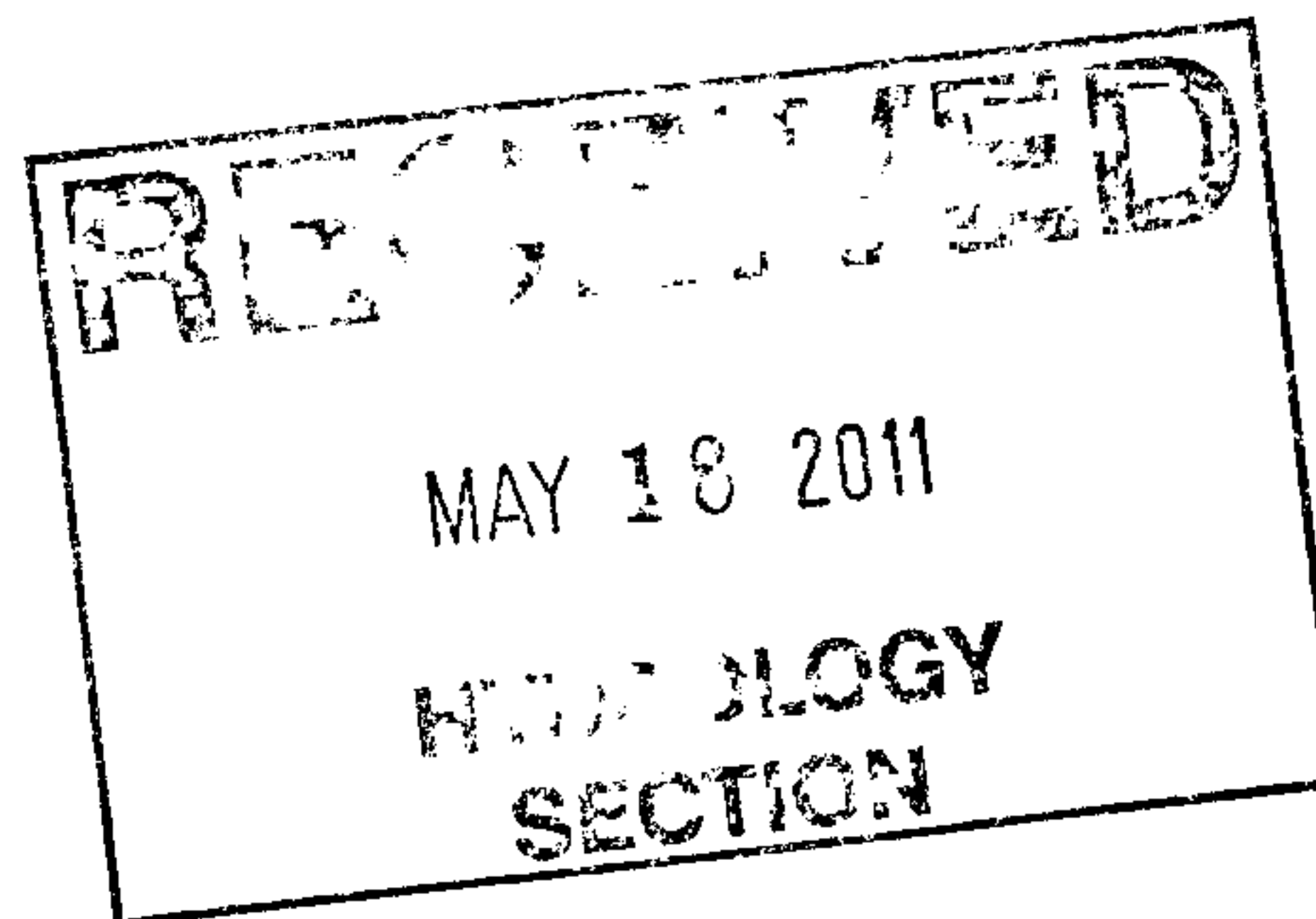
Should you have any questions regarding this submittal, please do not hesitate to call me.

Sincerely,

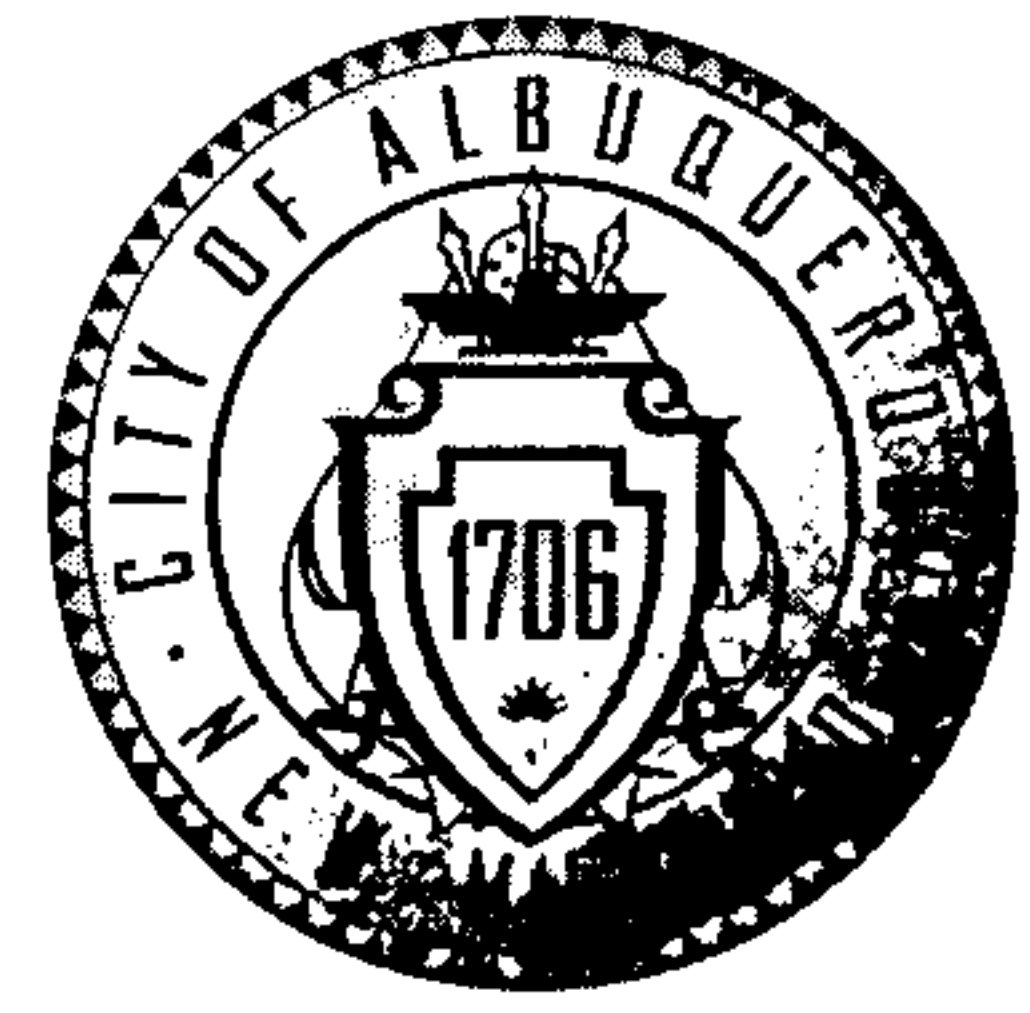


David Soule, PE

Enclosures



CITY OF ALBUQUERQUE



June 3, 2016

David Soule, PE
Rio Grande Engineering
PO Box 67305
Albuquerque, NM

Re: Beehive Village at San Pedro – Phase 2
6401 Corona NE
Request for Certificate of Occupancy- Transportation Development
DRB Administrative Site Plan Amendment dated 9-28-11 (C18-D016A)
Certification dated 5-22-16

Dear Mr. Soule,

Based upon the information provided in your submittal received 5-23-16, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a “green tag” from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Gary Sandoval at (505) 924-3675 or me at (505)924-3991.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

\gs via: email
C: CO Clerk, File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 01/28/2003rd)

PROJECT TITLE: BeehiveVillage at San Pedro-phase 2
DRB #: _____ EPC #: _____

ZONE MAP/DRG. FILE #: C18/D016A
WORK ORDER #: _____

LEGAL DESCRIPTION: Tracts A1,B-1 Beehive village
CITY ADDRESS: 6401 Corona

ENGINEERING FIRM: Rio Grande Engineering
ADDRESS: PO BOX 67305
CITY, STATE: Alb

CONTACT: David Soule, PE
PHONE: (505)321-9099
ZIP CODE: 87199

OWNER: San Pedro Bee Hive
ADDRESS: 6401 Corona
CITY, STATE: alb, nm

CONTACT: _____
PHONE: _____
ZIP CODE: 87109

ARCHITECT: Slagle Herr
ADDRESS: 1600 Rio Grande Blvd NE
CITY, STATE: Alb, NM

CONTACT: Dan Herr
PHONE: 246-0870
ZIP CODE: 87104

SURVEYOR: Geo surv CO
ADDRESS: _____
CITY, STATE: _____

CONTACT: David Vigil
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☒ ENGINEERS CERTIFICATION (TCL)
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

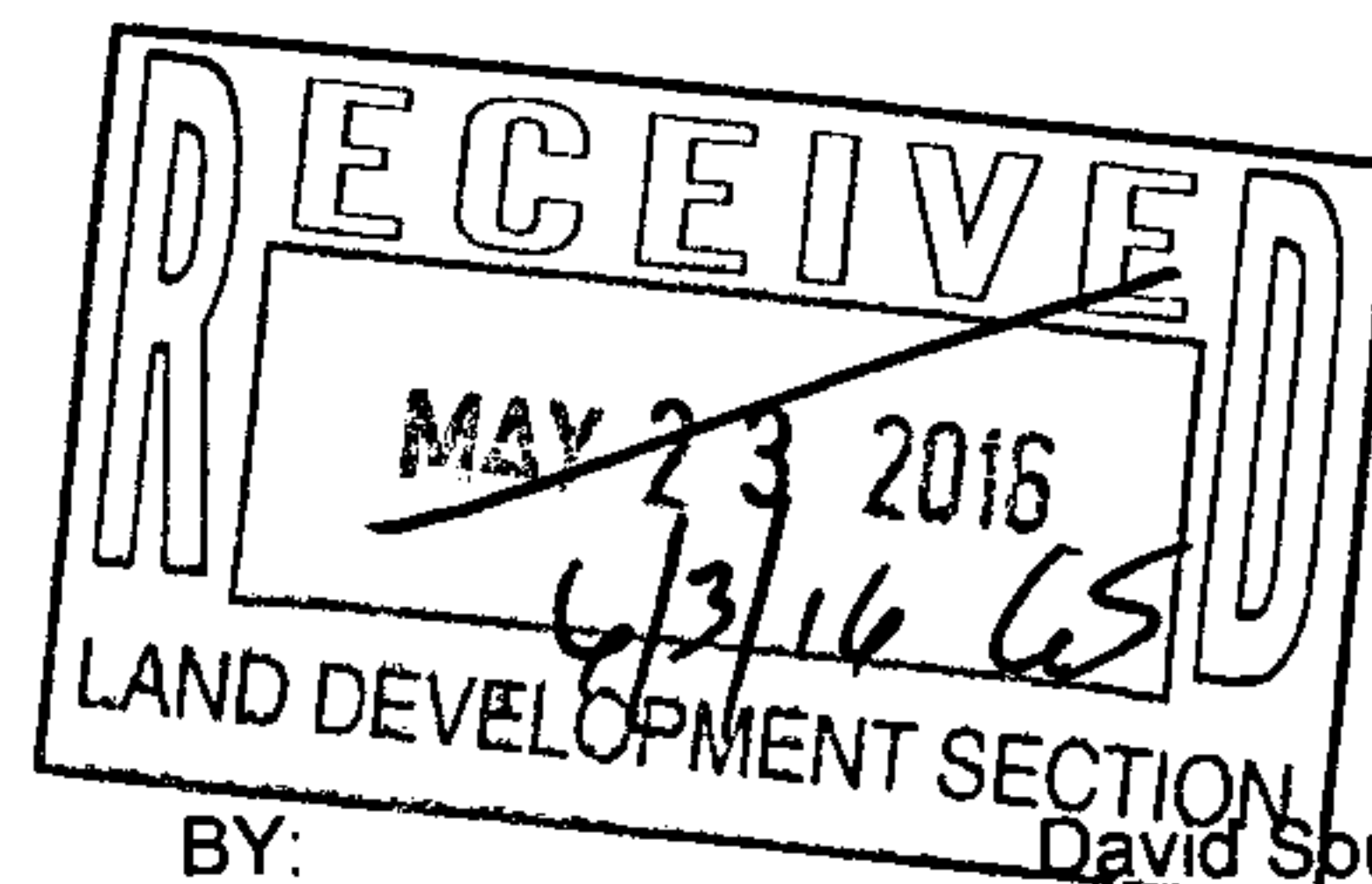
☐ SIA / FINANACIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☒ NO
☐ COPY PROVIDED

DATE SUBMITTED: 5/23/2016

BY: David Soule



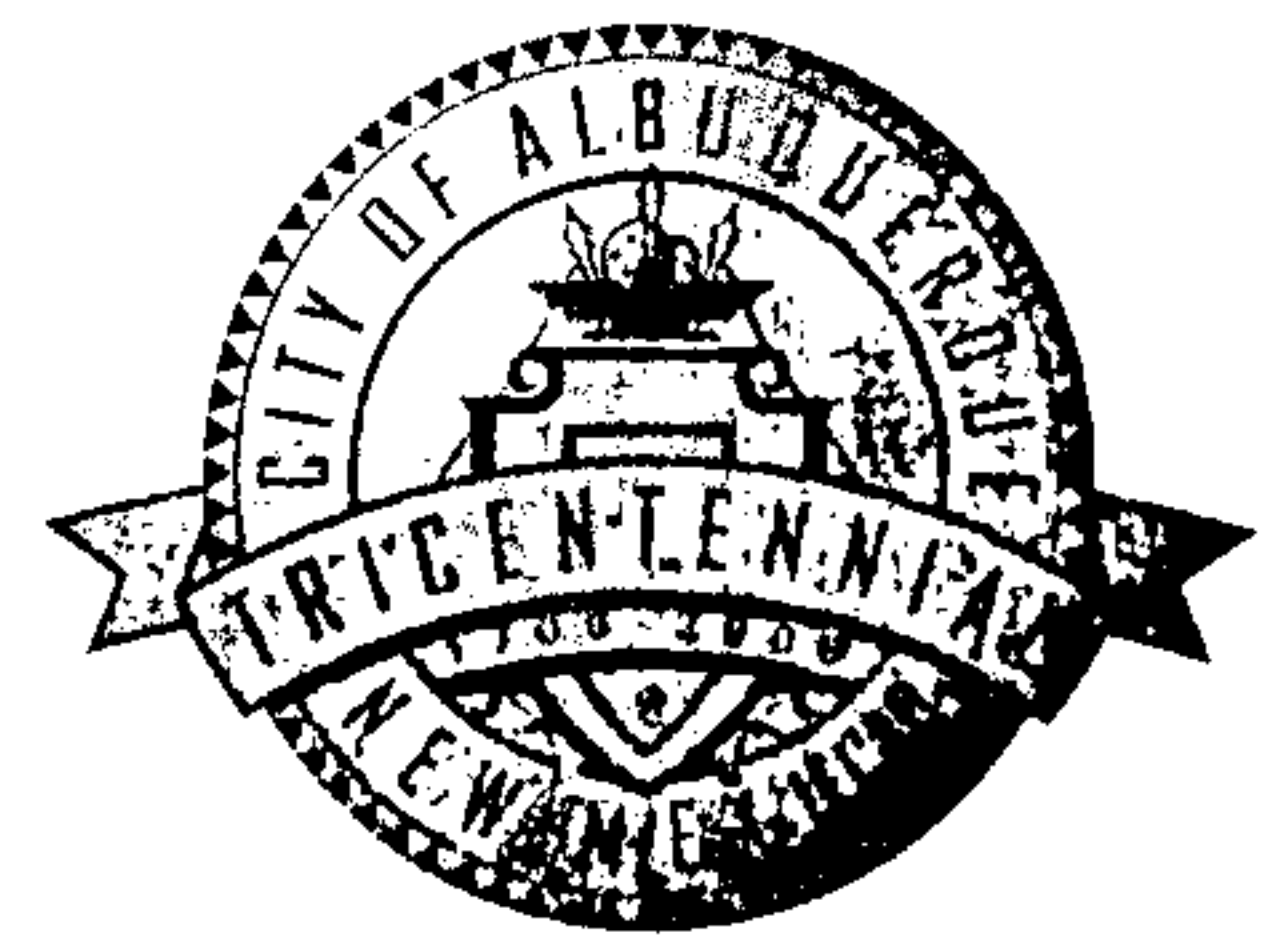
Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal.

The particular nature, location and scope of the proposed development defines the degree of drainage detail.

One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plans:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

June 23, 2008

J. Graeme Means, P.E.
6010-B Midway Park Blvd NE
Albuquerque, NM 87109

Re: Certification Submittal for Final Building Certificate of Occupancy for
Beehive Village Phase I, [C-18 / D16] *A*
6401 Corona NE
Engineer's Stamp Dated 06/20/08

P.O. Box 1293

Dear Mr. Means:

Albuquerque

The TCL / Letter of Certification submitted on June 20, 2008 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

New Mexico 87103

Sincerely,

www.cabq.gov

[Signature]
Miguel E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 01/06 – KDM)

PROJECT TITLE: Beehive Village – Phase 1 ZONE MAP: C18/D16
 DRB#: 102254 EPC#: _____ WORK ORDER#: _____
 LEGAL DESCRIPTION: Tract 2-A, Buena Vista Estates
 CITY ADDRESS: 6401 Cornona NE

ENGINEERING FIRM: High Mesa Consulting Group CONTACT: Graeme Means #13676
 ADDRESS: 6010-B Midway Park Blvd NE PHONE: 345-4250
 CITY, STATE: Albuquerque, NM ZIP CODE: 87109

OWNER: CW Construction CONTACT: c/o Nick Foutz
 ADDRESS: 1500 West Barrett PHONE: 208-888-1851
 CITY, STATE: Meridian, ID ZIP CODE: 83632

ARCHITECT: Owner CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

SURVEYING FIRM: High Mesa Consulting Group SURVEYOR: Charles G. Cala, Jr, #11184
 ADDRESS: 6010-B Midway park Blve NE PHONE: 345-4250
 CITY, STATE: Albuquerque, NM ZIP CODE: 87109

CONTRACTOR: Owner CONTACT: Owner
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

____ DRAINAGE REPORT
 ____ DRAINAGE PLAN 1st SUBMITTAL
 ____ DRAINAGE PLAN RESUBMITTAL
 ____ CONCEPTUAL G & D PLAN
 ____ GRADING PLAN
 ____ EROSION CONTROL PLAN
 ____ ENGINEER'S CERT (HYDROLOGY)
 ____ CLOMR/LOMR
 ____ TRAFFIC CIRCULATION LAYOUT
 ____ ENGINEER'S CERT (TCL)
☒ ENGINEER'S CERT (DRB SITE PLAN)
 ____ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

____ SIA/FINANCIAL GUARANTEE RELEASE
 ____ PRELIMINARY PLAT APPROVAL
 ____ S. DEV. PLAN FOR SUB'D APPROVAL
 ____ S. DEV. FOR BLDG. PERMIT APPROVAL
 ____ SECTOR PLAN APPROVAL
 ____ FINAL PLAT APPROVAL
 ____ FOUNDATION PERMIT APPROVAL
 ____ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY
 ____ GRADING PERMIT APPROVAL
 ____ PAVING PERMIT APPROVAL
 ____ WORK ORDER APPROVAL
 ____ OTHER (SPECIFY) _____

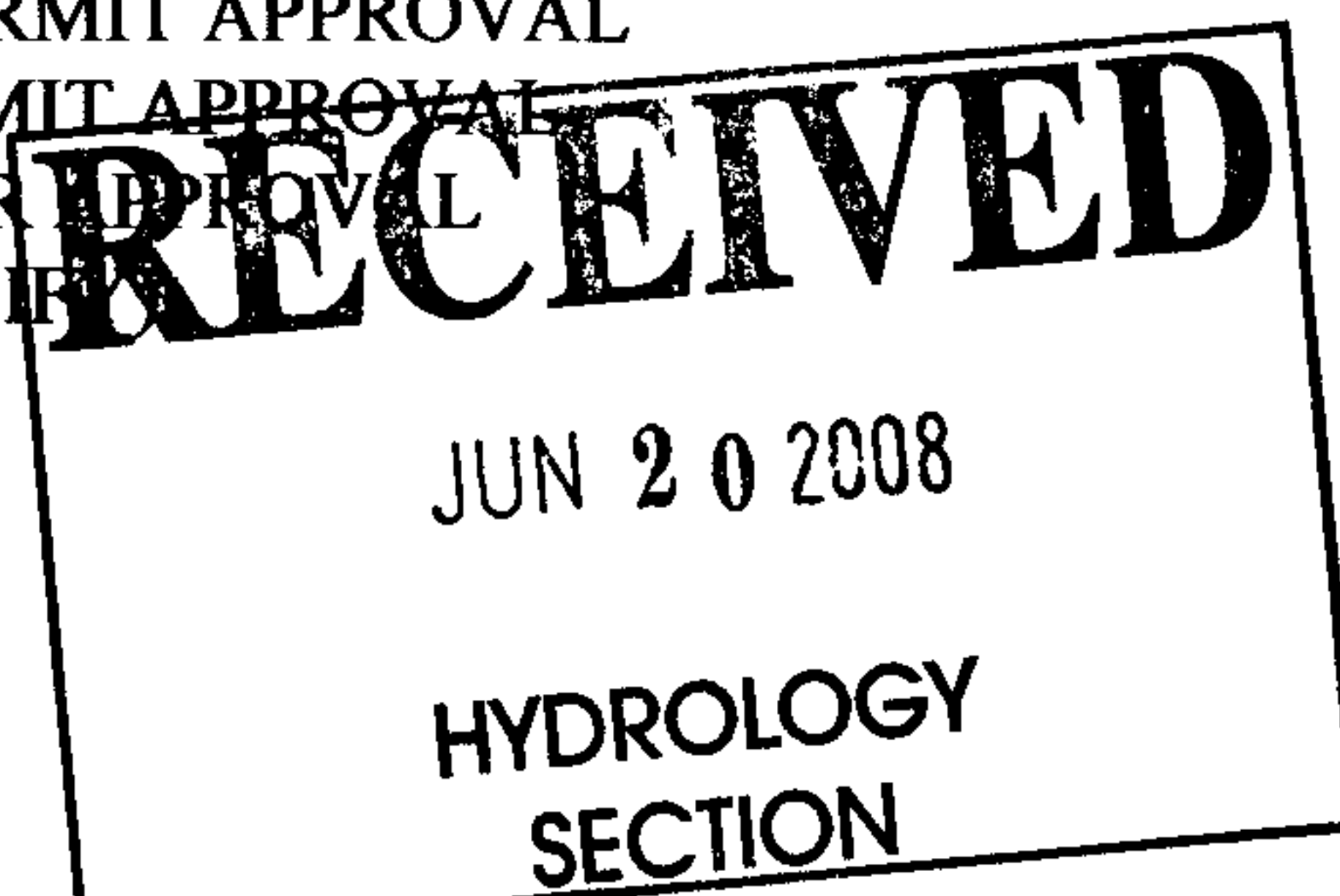
WAS A PRE-DESIGN CONFERENCE ATTENDED:

____ YES
☒ NO
 ____ COPY PROVIDED

DATE SUBMITTED: 06/20/2008 BY: Graeme Means

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



HIGH MESA Consulting Group

FORMERLY JEFF MORTENSEN AND ASSOCIATES, INC.

2005.003.7

June 20, 2008

Nilo Salgado-Fernandez, P.E.
Transportation Development Section
Development Services Division
City of Albuquerque Planning Department
600 Second Street N.W.
Plaza Del Sol – (Second Floor West)
Albuquerque, NM 87102

Re: Certification of TCL for Permanent C.O. – 6401 Corona NE

Dear Nilo,

I, J. Graeme Means, NMPE 13676, of the firm High Mesa Consulting Group hereby certify that Phase 1 of this project has been constructed in substantial compliance with and in accordance with the design intent of the DRB approved plan with most recent amendment dated 9/19/07. The record information has been redlined onto a copy of that plan. For emergency access and circulation purposes, the Phase 2 drivepad and driveway was constructed with Phase 1. The limits of completed work are noted on the redlined plan. This certification is submitted in support of a request for permanent certificate of occupancy.

The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the traffic circulation aspects of this project. The work constructed within the public right-of-way was inspected and approved by the City by separate process. This submittal does not certify compliance with ADA guidelines within the private portions of the site. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Do not hesitate to contact me if you have any questions or comments.

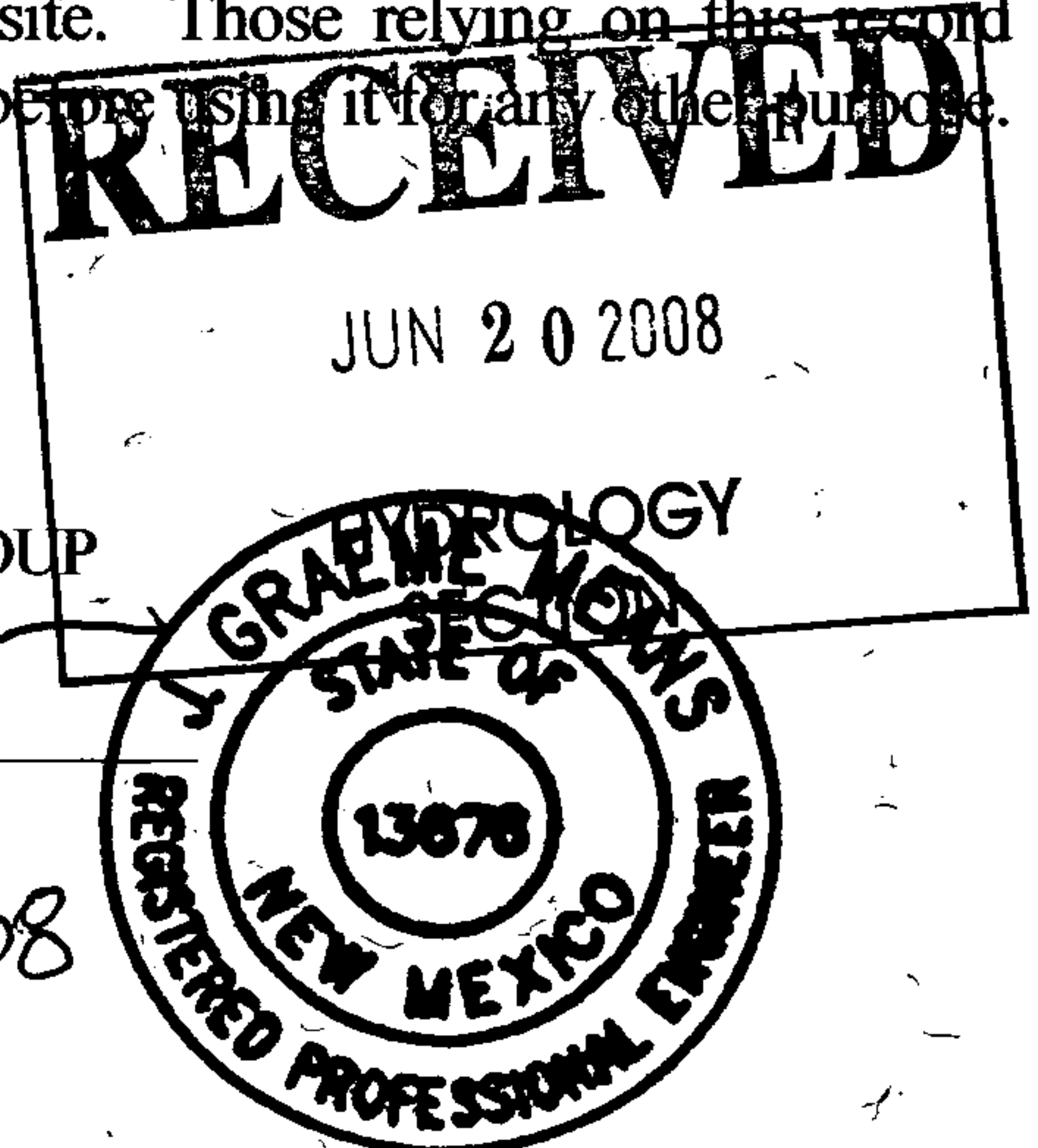
Sincerely,

HIGH MESA CONSULTING GROUP


J. Graeme Means, P.E.
Principal

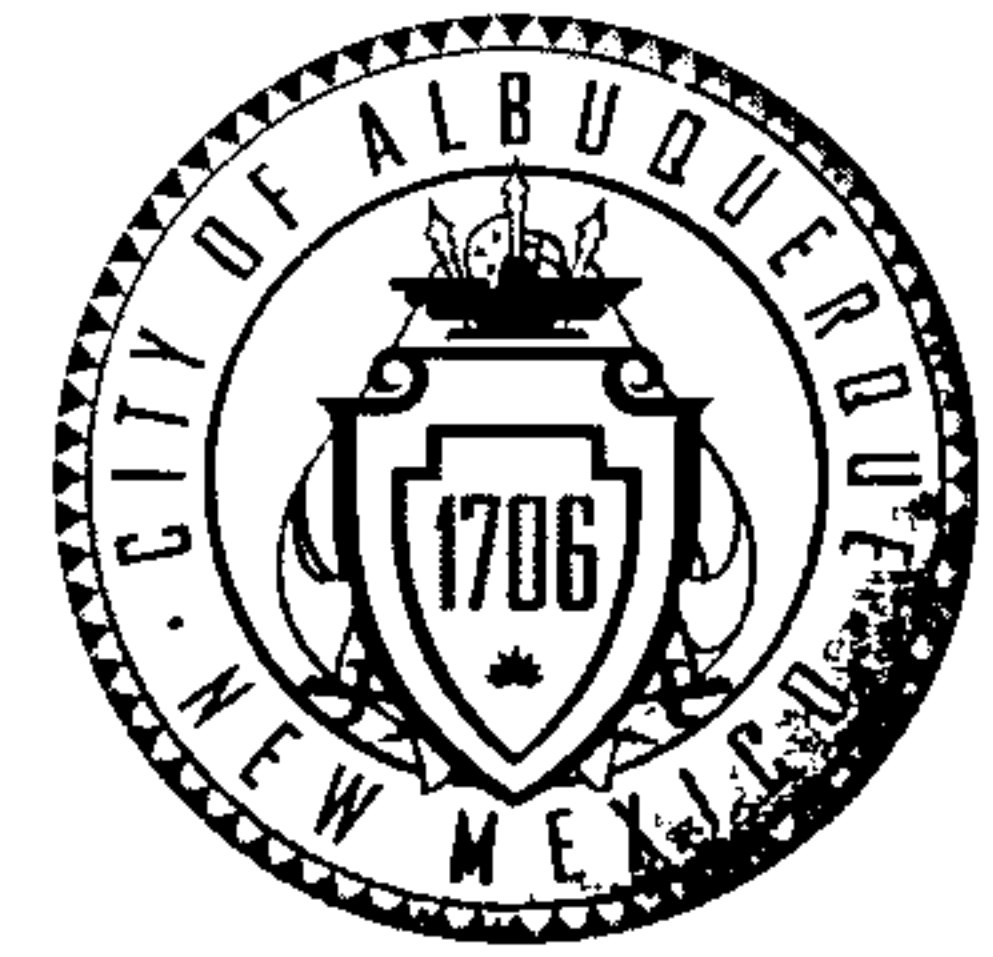
GM:*

Enclosure



Principals: Jeffrey G. Mortensen, P.E. • Charles G. Cala, Jr., P.S. • Juan M. Cala
Joseph M. Solomon, Jr., P.S. • J. Graeme Means, P.E. • Richard C. White • Grady E. Barrens

CITY OF ALBUQUERQUE



September 30, 2011

David Soule, P.E.
Rio Grande Engineering
P.O. Box 93924
Albuquerque, NM 87199

**Re: Beehive Village @ San Pedro Phase II
Grading and Drainage Plan
Engineer's Stamp date 6-23-11 (C-18/D016A)**

Dear Mr. Soule,

PO Box 1293

Based upon the information provided in your Grading submittal received 6-24-11 and approved Site Plan (AA) submittal received 9-28-11, the above referenced plan is approved for Building Permit and Grading Permit

Albuquerque

This project requires a National Pollutant Discharge Elimination System (NPDES) permit for storm water discharge and a Topsoil Disturbance Permit since it is disturbing $\frac{3}{4}$ of an acre or more.

NM 87103

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

www.cabq.gov

If you have any questions, you can contact me at 924-3695.

Sincerely,

Shahab Biazar, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

ADDRESS: 6401 Corona Ave. N.E. 87113

DATE: 2-13-07 PLAN CHECK/BUILDING PERMIT NUMBER 0612694

PROJECT: Assisted Living

TYPE OF CONSTRUCTION: VA Sprkld.

OCCUPANCY GROUP: R4 S1 LAND USE ZONE: SU-21P SUITE NUMBER: A+B

OWNER OF BUILDING: G.W. Construction Inc.

ADDRESS: 1500 W. Barrett Dr. Meridian, Idaho 83642

CERTIFICATE OF OCCUPANCY: yes CERTIFICATE OF COMPLETION: No

SECTIONS	TEMP	C/O	C/C	INSPECTION	DATE	SECTIONS	TEMP	C/O	C/C	INSPECTION	DATE
ENV. HEALTH 924-3623		<u>yes</u>	<u>JTA</u>		<u>6-17-08</u>	BOILER 924-3325		<u>No</u>			
FIRE MARSHALL 924-3611		<u>yes</u>	<u>SU.</u>		<u>6-18-08</u>	ELEVATOR 924-3325		<u>No</u>			
HYDROLOGY 924-3982	<u>90 Days Temp. TS</u>	<u>yes</u>	<u>TS</u>	<u>6-24-08</u>		REFUSE 924-3631		<u>yes</u>	<u>M.H</u>		<u>6-20-08</u>
MECHANICAL 924-3310		<u>yes</u>	<u>V.M</u>		<u>6-3-08</u>	TRAN/DEV 924-3620		<u>yes</u>	<u>NS</u>		<u>6/23/08</u>
PLUMBING 924-3310		<u>yes</u>	<u>V.M</u>		<u>6-20-08</u>	IBC 924-3326	<u>6-20-08 15 Days Temp. DM</u>	<u>yes</u>	<u>DLB</u>		<u>6/30/08</u>
ELECTRICAL 924-3311		<u>yes</u>	<u>A.A</u>		<u>6-9-08</u>	ZONING 924-3850		<u>yes</u>	<u>LM</u>		<u>6-19-08</u>

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

June 23, 2008

J. Graeme Means, P.E.
6010-B Midway Park Blvd NE
Albuquerque, NM 87109

Re: Certification Submittal for Final Building Certificate of Occupancy for
Beehive Village Phase I, [C-18 / D16] *ABC PERITS*
6401 Corona NE
Engineer's Stamp Dated 06/20/08

P.O. Box 1293

Dear Mr. Means:

Albuquerque

The TCL / Letter of Certification submitted on June 20, 2008 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

New Mexico 87103

Sincerely,

www.cabq.gov

[Signature]
Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

Certificate of Occupancy

City of Albuquerque
Planning Department
Building Safety Division

This Certificate, issued pursuant to the requirements of Section 115.3 of the Albuquerque Uniform Administrative Code, certifies that at the time of issuance this structure was in compliance with the above code and other technical codes and city ordinances regulating building construction or use.

Building Address 6401 Corona Ave NE Zip 87113

Portion of Building Assisted Living Building A & B

Use Classification Commerical Project Building Permit 0612694

Occupancy Group R4 S1 Type of Construction VA Sprkld Land Use Zone SU 2

Owner of Building C.W. Construction Inc Address 1500 W. Barrett Dr. Meridian, Id 83642


Chief Building Official

By: 

Date: June 30, 2008

POST IN A CONSPICUOUS PLACE

16401 Corona Ave N.E. 87113
DATE: 4-20-07 PLAN CHECK/BUILDING PERMIT NUMBER 0612697
PROJECT: Assisted Living Quarters + Garage Bldg. C.

TYPE OF CONSTRUCTION: VA Sprkld.

OCCUPANCY GROUP: I-2 U LAND USE ZONE: SU2/P SUITE NUMBER: C

OWNER OF BUILDING: C.W. Construction Inc.

ADDRESS: 1500 W. Barrett Dr. Meridian, Idaho 83642

CERTIFICATE OF OCCUPANCY: yes CERTIFICATE OF COMPLETION: No

SECTIONS	TEMP	C/O	C/C	INSPECTION	DATE	SECTIONS	TEMP	C/O	C/C	INSPECTION	DATE
ENV. HEALTH 924-3623	—	<u>yes</u>	<u>J.T.A</u>	—	<u>6-17-08</u>	BOILER 924-3325	—	<u>No</u>	—	—	—
FIRE MARSHALL 924-3611	—	<u>yes</u>	<u>SU</u>	—	<u>6-18-08</u>	ELEVATOR 924-3325	—	<u>No</u>	—	—	—
HYDROLOGY 924-3982	<u>good</u>	<u>yes</u>	<u>TS</u>	<u>6-24-08</u>		REFUSE 924-3631	—	<u>yes</u>	<u>M.H</u>	—	<u>6-20-08</u>
MECHANICAL 924-3310	—	<u>yes</u>	<u>VM</u>	—	<u>6-3-08</u>	TRAN/DEV 924-3620	—	<u>yes</u>	<u>NS</u>	<u>6/23/08</u>	
PLUMBING 924-3310	—	<u>yes</u>	<u>V.M</u>	—	<u>6-20-08</u>	IBC 924-3326	<u>15 Days</u> <u>Temp ADM</u>	<u>yes</u>	<u>DLB</u>	<u>6/30/08</u>	
ELECTRICAL 924-3311	—	<u>yes</u>	<u>A.A</u>	—	<u>6-9-08</u>	ZONING 924-3850	—	<u>yes</u>	<u>LM</u>	—	<u>6-19-08</u>

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

June 23, 2008

J. Graeme Means, P.E.
6010-B Midway Park Blvd NE
Albuquerque, NM 87109

Re: Certification Submittal for Final Building Certificate of Occupancy for
Beehive Village Phase I, [C-18 / D16]
6401 Corona NE
Engineer's Stamp Dated 06/20/08

P.O. Box 1293

Dear Mr. Means:

Albuquerque

The TCL / Letter of Certification submitted on June 20, 2008 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

New Mexico 87103

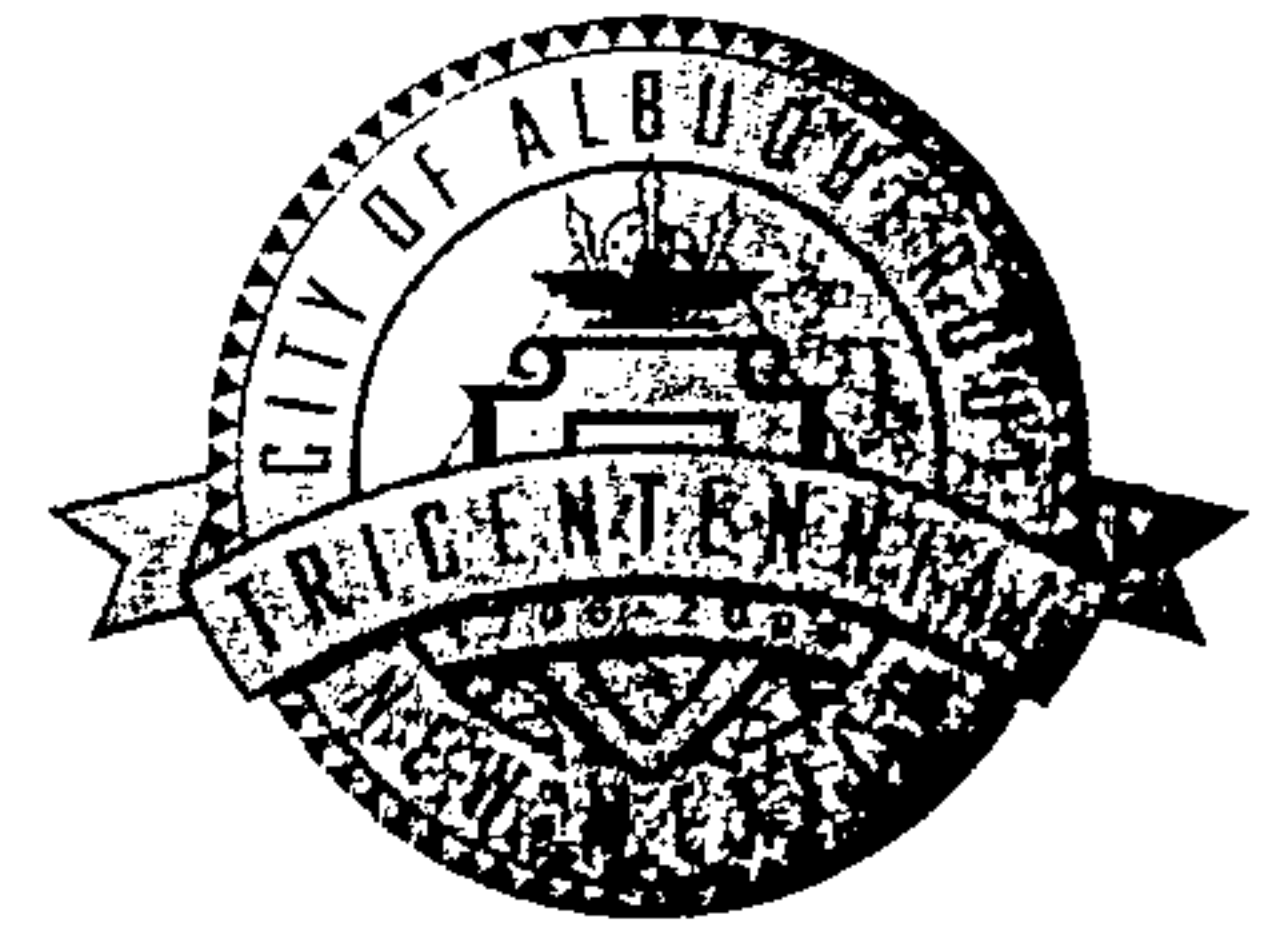
Sincerely,

www.cabq.gov

Milo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

CITY OF ALBUQUERQUE



June 24, 2008

J. Graeme Means, P.E.
High Mesa Consulting Group
6010-B Midway Park Blvd. NE
Albuquerque, NM 87109

Re: Beehive Village Ph. I, 6401 Corona NE,
Approval of Permanent Certificate of Occupancy (C.O.), Engineer's Stamp
dated 08/24/07 (C-18/D016) ABC PETS
Certification dated 6/24/08

Mr. Means,

P.O. Box 1293

Based upon the information provided in your submittal received 6/24/08, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

Albuquerque

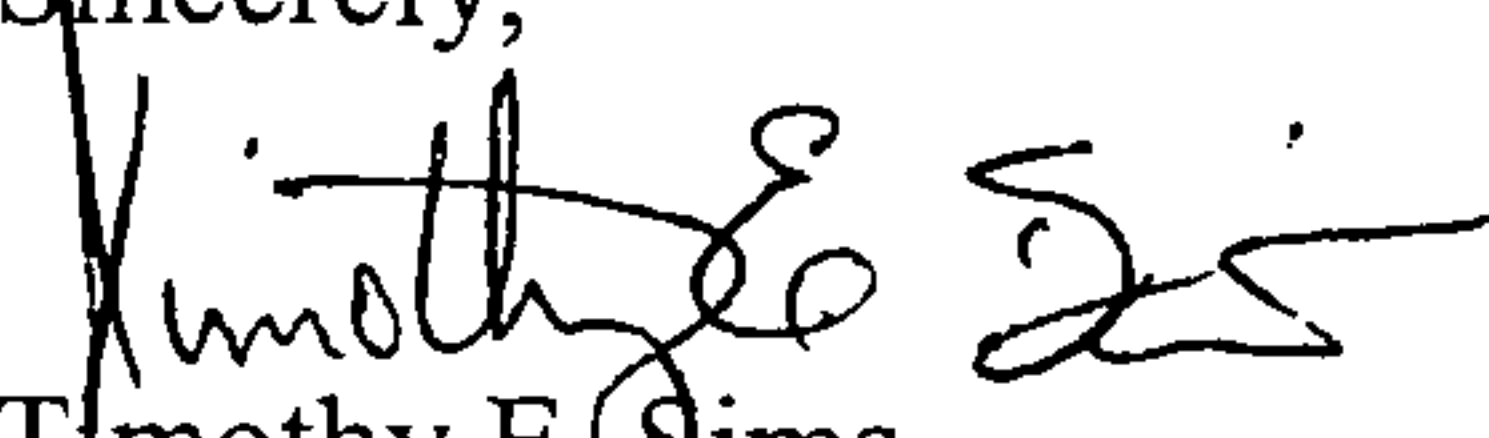
In the future, please, stamp the Engineer's Certification along with the Engineer's signature and date.

New Mexico 87103

If you have any questions, you can contact me at 924-3982.

Sincerely,

www.cabq.gov


Timothy E. Sims
Plan Checker
Development and Building Services

C: CO Clerk – Katrina Sigala
File

Certificate of Occupancy

City of Albuquerque
Planning Department
Building Safety Division

This Certificate, issued pursuant to the requirements of Section 115.3 of the Albuquerque Uniform Administrative Code, certifies that at the time of issuance this structure was in compliance with the above code and other technical codes and city ordinances regulating building construction or use.

Building Address 6401 Corona Ave NE Zip 87113

Portion of Building Assisted Living Quarters & Garage Building C

Use Classification Commerical Project Building Permit 0612697

Occupancy Group I 2 U Type of Construction VA Sprkld Land Use Zone SU 2

Owner of Building C.W. Construction Inc Address 1500 W. Barrett Dr. Meridian, Id 83642

By: Katrina Siggle

Date: June 30, 2008


Chief Building Official

POST IN A CONSPICUOUS PLACE