

1. SITE PLAN FOR BUILDING PERMIT (AMENDED)
2. GRADING AND DRAINAGE PLAN (AMENDED)
3. MASTER UTILITY PLAN (AMENDED)
4. LANDSCAPE PLAN (AMENDED)
5-8. PREVIOUSLY APPROVED ADMINISTRATIVE AMENDMENTS
9-16. ORIGINAL APPROVED SITE PLAN FOR BUILDING PERMIT SET

I, David Soule, NMPE 145522, of the firm Rio Grande Engineering, hereby certify that this project has been constructed in substantial compliance with and in accordance with the design intent of the approved site plan dated. The record information edited on the original design document has performed by me or under my direct supervision and is true and correct to the best of my knowledge and belief. The as-built survey was provided by DAVID ACOSTA NMPS 21082. The certification is submitted in support of a request for PERMANENT CERTIFICATE OF OCCUPANCY. The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

This certification is for the single building indicated on drawing.

[illegible]

LEGAL DESCRIPTION:
TRACT A-1, BEEHIVE VILLAGE

GENERAL NOTES:

1. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
2. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNERS.
3. CROSS ACCESS & DRAINAGE EASEMENTS FOR ALL PARCELS WILL BE GRANTED WITH THE SITE PLAN AND THE REPLAT.
4. ALL WHEELCHAIR RAMPS SHALL BE BUILT PER COA STD DWG. #2441.
5. ALL SIGNAGE WILL COMPLY WITH THE RENAISSANCE CENTER MASTER PLAN. BUILDING MOUNTED SIGNS SHALL CONSIST OF INDIVIDUAL CHANNEL LETTERS WITHOUT INTERNAL ILLUMINATIONS. NO ILLUMINATED PLASTIC PANEL SIGNS ARE ALLOWED EXCEPT LOGOS.
6. PARAPETS/SCREEN WALLS SHALL BE EQUAL TO OR ABOVE THE TOP OF ALL HVAC EQUIPMENT.
7. NO OFF PREMISE OR POLE MOUNTED SIGNAGE SHALL BE ALLOWED.
8. ALL WIRELESS TELECOMMUNICATION FACILITIES SHALL BE CONCEALED AND ARCHITECTURALLY INTEGRATED WITH THE SITE & SURROUNDING AREA.
9. VINYL COATED, PLASTIC REFLECTIVE TYPE AWNINGS, FASCIA, BUILDING PANELS, SIGN RACEWAYS OR ROOFS SHALL NOT BE PERMITTED.
10. ALL METAL ROOFING SHALL BE CONSISTENT ON ALL THREE BUILDINGS AND CANOPIES AND AND SHALL BE A GAVALUME FINISH.
11. LIGHTING SHALL BE WALL PACKS PER ORIGINAL SITE PLAN, ARE LABELED "WP".

EXISTING CURB & GUTTER
PROPOSED CURB
BOUNDARY LINE
EXISTING BOUNDARY LINE
PROPOSED SIDEWALK
EXISTING SIDEWALK
CENTERLINE
RIGHT-OF-WAY
PROPOSED BUILDING
EXISTING BUILDING
EXISTING RETAINING WALL
EXISTING PERIMETER WALL
EXISTING PERIMETER WALL
HC SIGNAGE

DRB ADMINISTRATIVE
SITE PLAN AMENDMENT

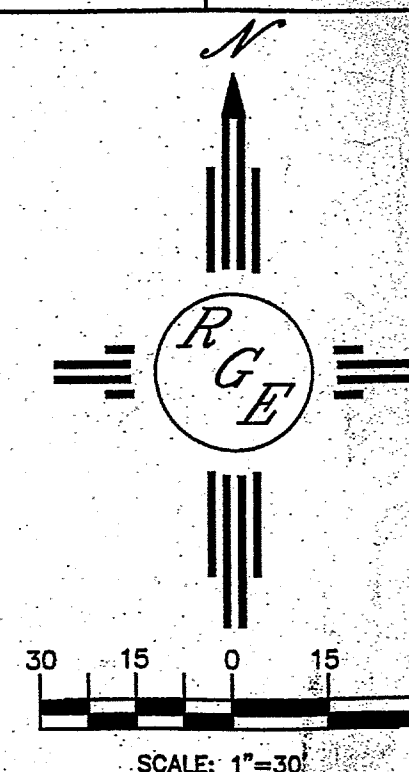
PROJECT NO. 1002254
APPLICATION NO. 11-KK-10078

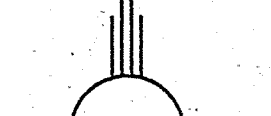
Revised Phase 2

[Signature]
PLANNING DIRECTOR

7-28-11
DATE

SITE DATA			
	PHASE 1 (EXISTING)	PHASE 2 (PROPOSED)	TOTAL
TOTAL ACREAGE:	1.3864 AC±	1.1440 AC±	2.5304 AC±
DENSITY UNITS:	2.16' DU'S	2.62' DU'S (AT MAXIMUM BUILD OUT)	2.37' DU'S (AT MAXIMUM BUILD OUT)
EXISTING ZONING:	SU-2 NC	SU-2 NC	SU-2 NC
PROPOSED ZONING:	SU-2 NC	SU-2 NC	SU-2 NC
PROPOSED USE:	NURSING HOME	NURSING HOME	NURSING HOME
REQUIRED PARKING:	24 SPACES (1 SPACE PER 2 BEDS)	24 SPACES (1 SPACE PER 2 BEDS)	48 SPACES (1 SPACE PER 2 BEDS)
PROVIDED PARKING:	32 SPACES	25 SPACES	57 SPACES
HC REQUIRED PARKING:	3 SPACES	3 SPACES	6 SPACES
HC PROVIDED PARKING:	4 SPACES	3 SPACES	7 SPACES
REQUIRED BICYCLE SPOTS:	3 SPACES	3 SPACES	6 SPACES
PROVIDED BICYCLE SPOTS:	3 SPACES	3 SPACES	6 SPACES
LANDSCAPE REQUIRED:	SEE LANDSCAPE PLAN	SEE LANDSCAPE PLAN	SEE LANDSCAPE PLAN
LANDSCAPE PROVIDED:	SEE LANDSCAPE PLAN	SEE LANDSCAPE PLAN	SEE LANDSCAPE PLAN



ENGINEER'S SEAL	BEEHIVE HOMES	DRAWN BY WCWJ
	SITE PLAN FOR BUILDING PERMIT	DATE 8-16-11
DAVID SOULE P.E. #14522	 <i>Rio Grande Engineering</i> 1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	SHEET # 1 JOB # 2119