

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

November 9, 2023

Joe Simons, R.A
Simons Architects PC
P.O. Box 67408
Albuquerque, NM 87193

**Re: Burger King Alameda
5970 Alameda Blvd. NE
30-Day Temporary Certificate of Occupancy
Transportation Development Final Inspection**
Architect's Stamp dated 01-21-21 (C18-D022A)
Certification dated 11-01-23

Dear Mr. Simons,

Based upon the information provided in your submittal received 11-02-23, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

1. Per approved plan, please provide hoop bike racks. Ribbon bike rack is no more permitted.

Once these corrections are complete, email pictures to malnajira@cabq.gov for release of Final CO.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

Marwa Al-najjar

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

Ma via: email

C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: BurgerKing Alameda **Building Permit #:** 2021-03240 **Hydrology File #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: Lot 22B1, BLOCK 12, N ABQ ACRES TR A UNIT B
City Address: 5970 ALAMEDA, NE

Applicant: Tom McCollum **Contact:** _____
Address: 11000 Bermuda Dunes
Phone#: 505-681-7474 **Fax#:** _____ **E-mail:** tmgmtmmm@aol.com

Other Contact: Simons Architecture PC **Contact:** Joe Simons
Address: P.O. Box 67408, Albuquerque, NM 87107
Phone#: 505-480-4796 **Fax#:** _____ **E-mail:** joe@simonsarchitecture.com

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes ☒ No

DEPARTMENT ☒ TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 11.1.23 **By:** Joe Simons, Simons Architecture PC

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



PO Box 67408
ALBUQUERQUE, NM 87193-7408
JFS @ SIMONSARCHITECTURE.COM

505.480.4796 VOICE

11.1.2023

TRAFFIC CERTIFICATION

I, JOE SIMONS JR., NMRA 002890, OF THE FIRM SIMONS ARCHITECTURE PC, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE DRB, AA OR TCL APPROVED PLAN DATED 10.26.2021 AT THE ADDRESS 5570 ALAMEDA NE, ALBUQUERQUE, NM AND PERMIT NUMBER IS BP-2021-03290. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY JOE SIMONS JR., OF THE FIRM SIMONS ARCHITECTURE. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 10.31.2023 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY (PERMANENT). ANY ALTERATIONS TO THE APPROVED TCL IS NOTED IN RED ON THE ATTACHED PLAN AND IS NOTED AS FOLLOWS:

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



Signature of Engineer or Architect

11.1.2023

Date

CITY OF ALBUQUERQUE
PLANNING

These plans have been reviewed
for code compliance and are:

APPROVED

The Approval of these plans shall not
be construed to be a permit for any
violations of any code or ordinance
of this city.

PERMIT #: **BP-2021-03240**

FILE # **10/26/21** **SI-2021-00411**

DATE: **10/26/21**

A printed copy of these plans shall be on the job site for all
requested inspections.

ADMINISTRATIVE AMENDMENT

PROJECT #: PR-2021-005282

Removal of 2 story portion of restaurant and replacement with 1 story building;

Modification of drive-thru to a double drive-thru (Same traffic stacking as previous
drive-thru configuration).

10/26/21 Revision: Addition of Building Elevations (Sheet A2)

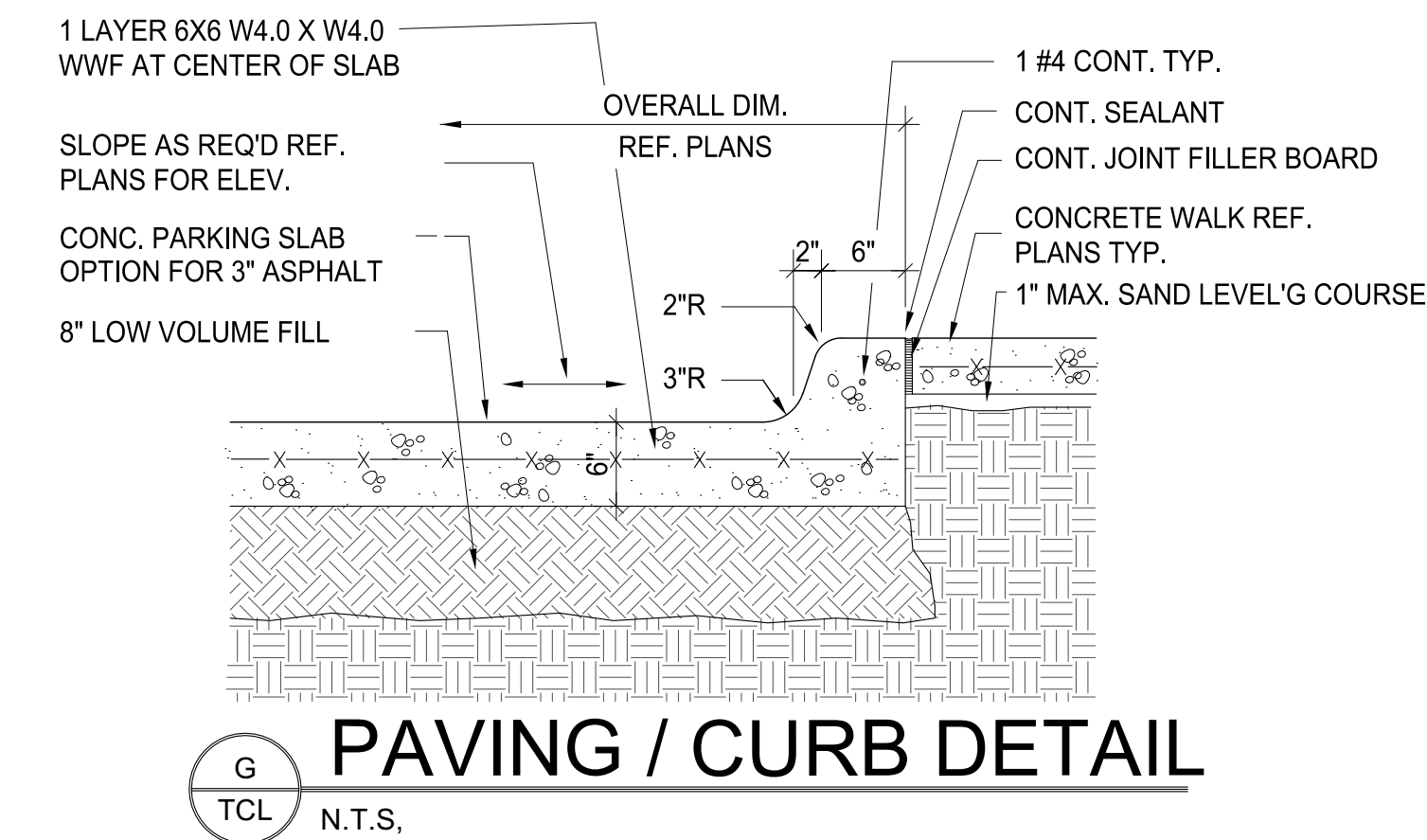
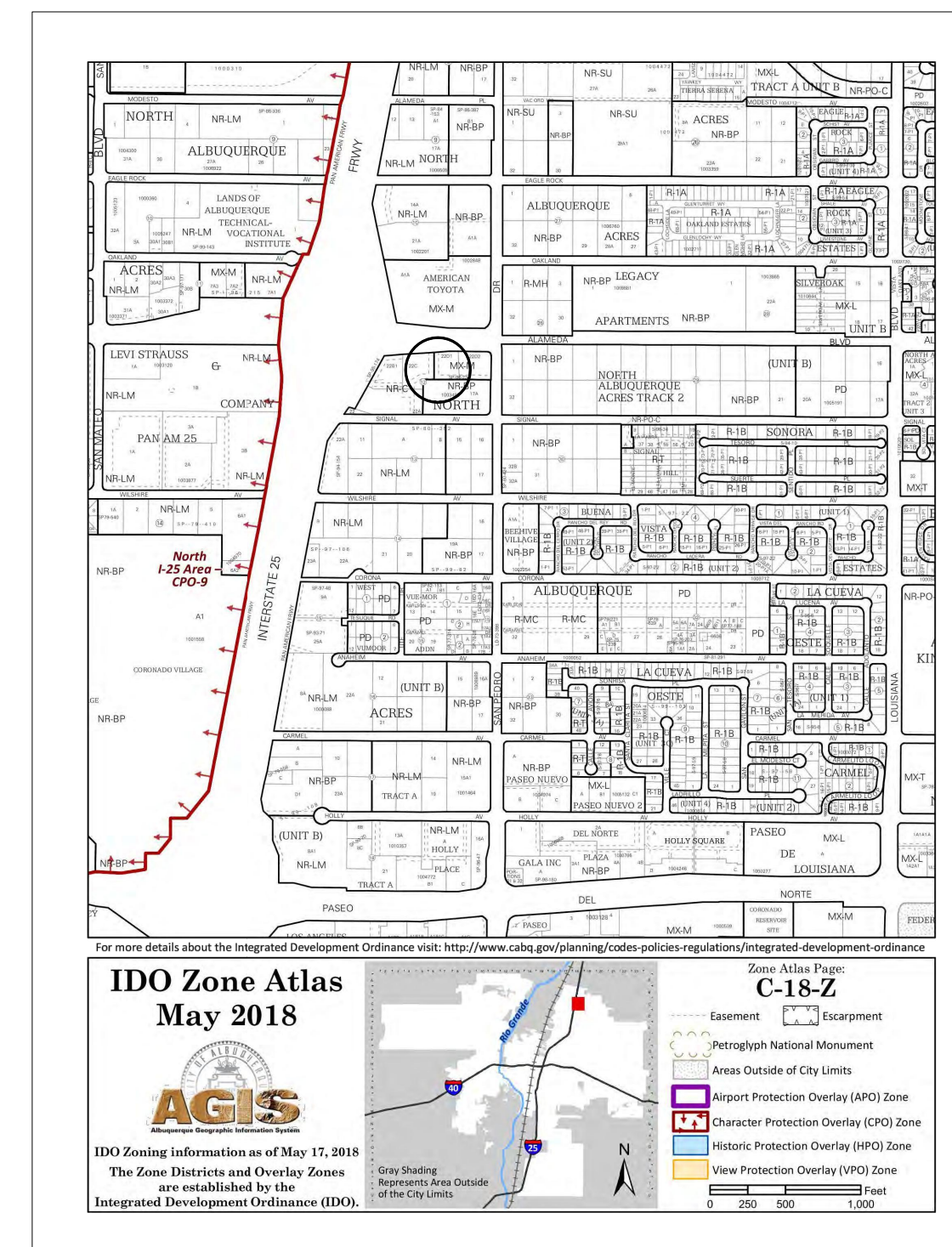
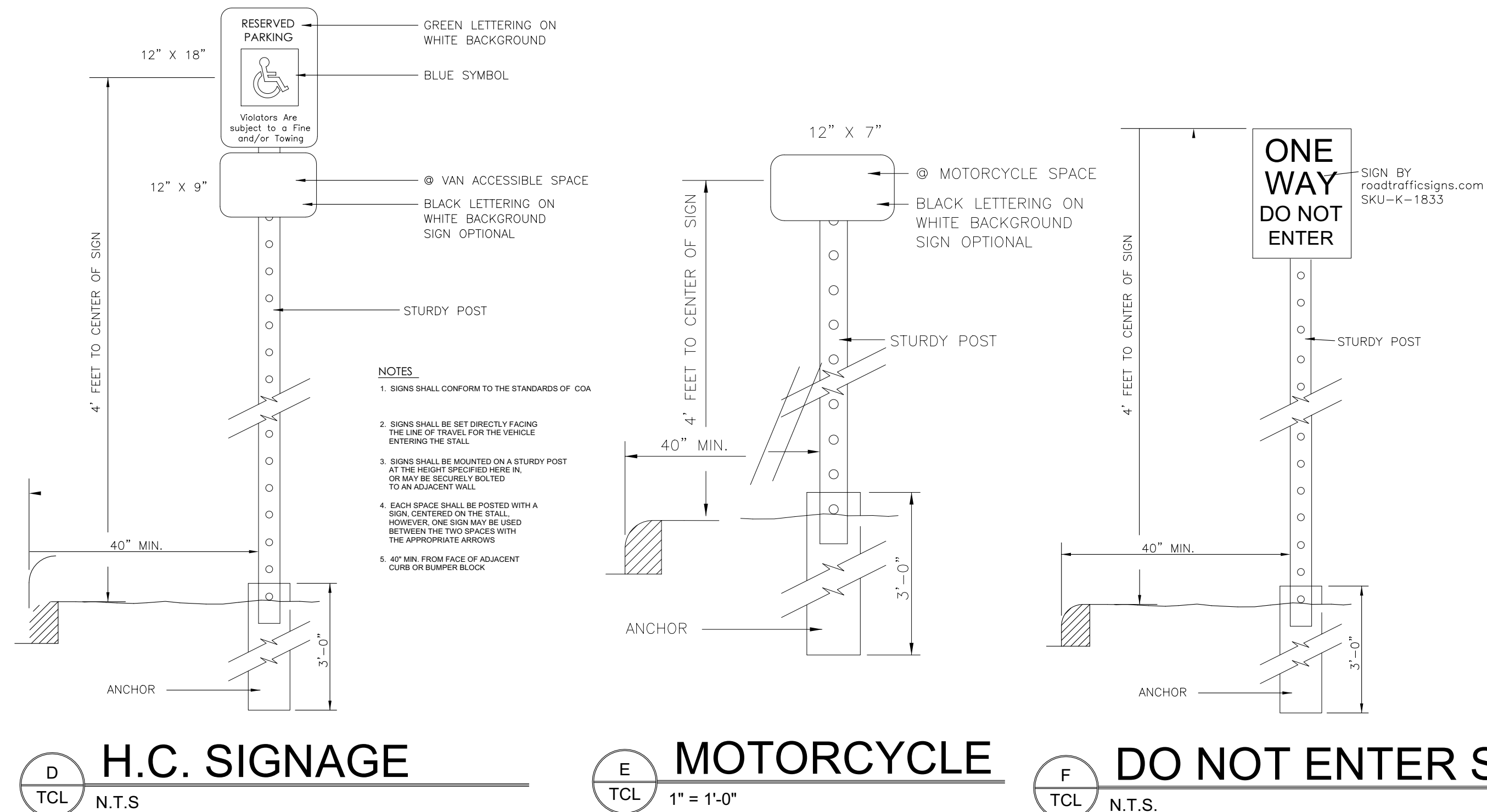


Digitally signed by James M. Aranda
DN: cn=James M. Aranda, o=City of Albuquerque,
ou=Planning Department, email=jmaranda@cabq.gov, c=US
Date: 2021.10.26 11:45:28 -06'00'

10/26/2021

APPROVED BY

DATE



LEGAL DESCRIPTION

LOT 22B1, BLOCK 12
N ABQ ACRES TR A UNIT B
ALBUQUERQUE, NEW MEXICO
BERNALILLO COUNTY

SITE DATA

ZONING: NR-C
ZONE ATLAS: C18
SITE SIZE: 40,455 SQ. FT. (.930 AC.)
BUILDING SIZE / % OF SITE: 2,483 SQ. FT. / 6.13%

PARKING CALCULATIONS

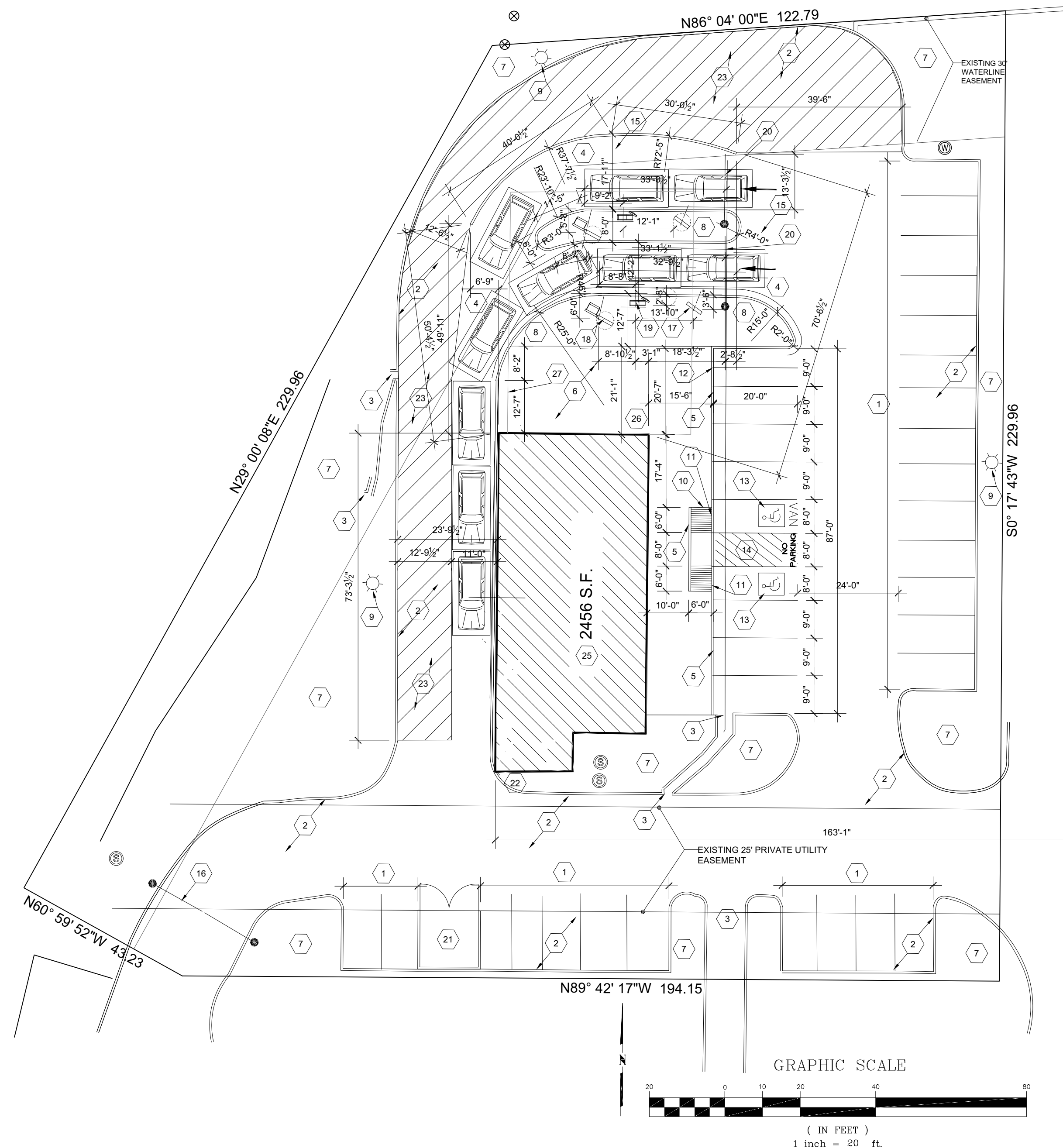
EXISTING AND NEW BUILDING

BUILDING AREA: 2,483 S.F.
NUMBER OF SEATS: 42

PARKING CALCULATIONS:
8 SPACES / 1000 S.F. = 19 PARKING SPACES

TOTAL STANDARD PARKING PROVIDED = 31 SPACES
TOTAL H.C. PARKING REQUIRED = 2 SPACE
TOTAL H.C. PARKING PROVIDED = 2 SPACE
TOTAL MOTORCYCLE SPACES REQUIRED = 1 SPACE
TOTAL MOTORCYCLE SPACES PROVIDED = 2 SPACE
TOTAL PARKING PROVIDED = 34 SPACES

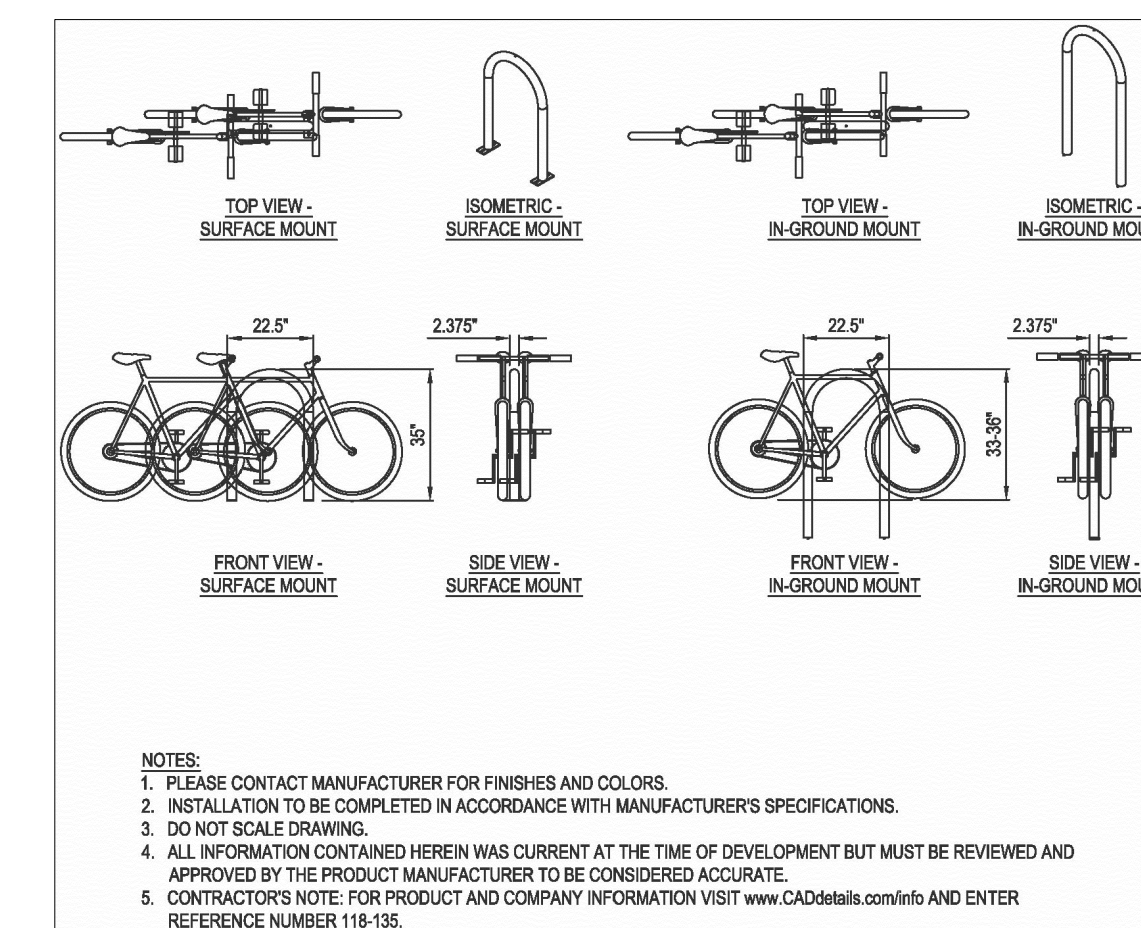
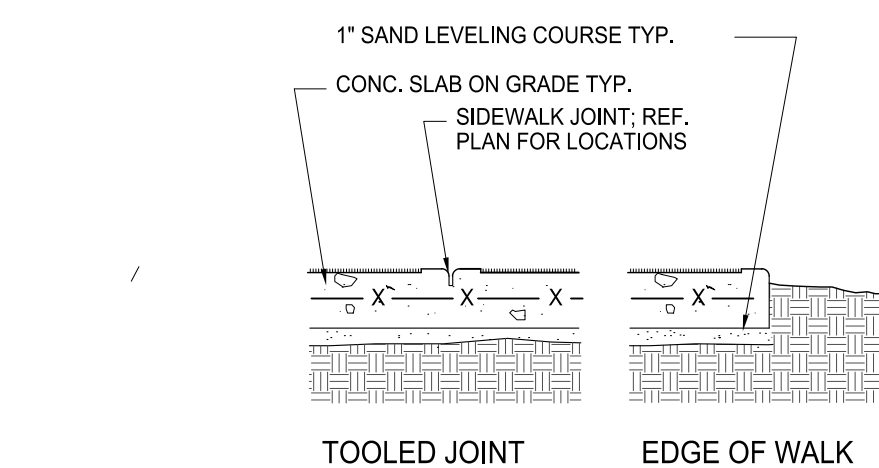
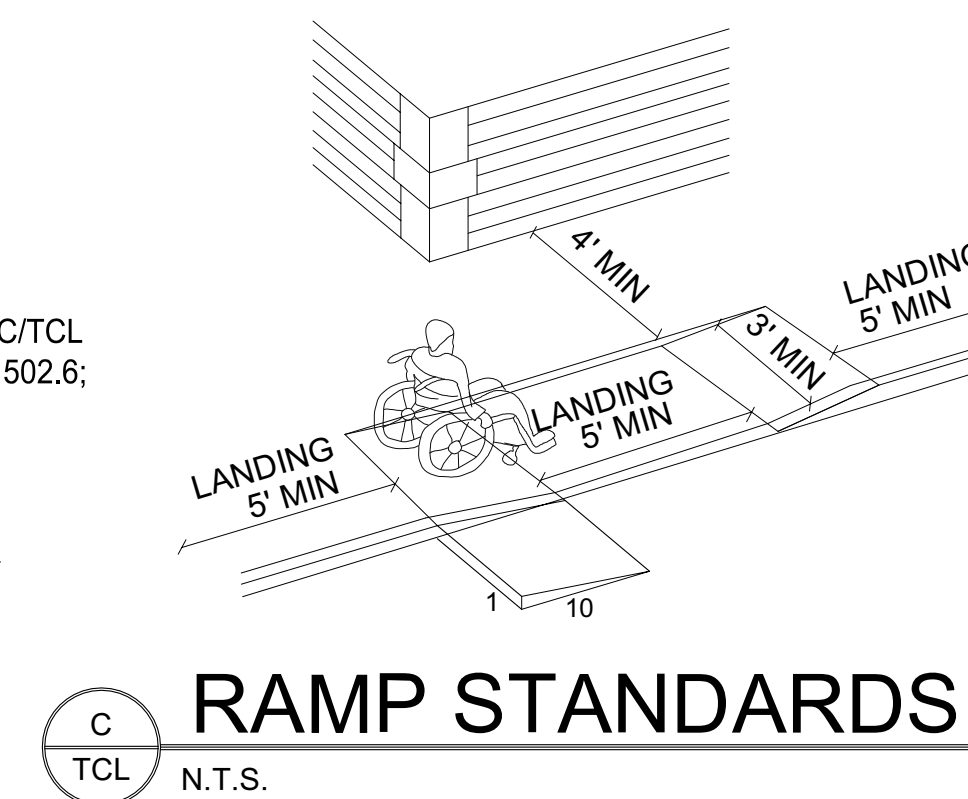
1 BICYCLE RACK PER 20 REQUIRED PARKING SPACES
BIKE SPACES REQUIRED = 1 RACK
BIKE SPACES PROVIDED = 1 RACK



SCOPE STATEMENT

THIS PROJECT IS A CHANGE IN DRIVE-THRU CONFIGURATION FROM A SINGLE TO A DOUBLE DRIVE-THRU; THE PARKING LOT, LANDSCAPE, ACCESS, FIRE ACCESS, FIRE HYDRANT, AND DUMPSTER DOES NOT CHANGE WITH THIS PROJECT

- KEYED NOTES**
- EXISTING PARKING SPACES
 - EXISTING CURB AND PAVING
 - MAINTAIN EXISTING DRAINAGE OUTLETS
 - ASPHALT PAVING; REF. E/A1.1
 - CURB; REF. G/ TCL
 - SIDEWALK; REF. B/TCL
 - EXISTING LANDSCAPE AREA UNCHANGED
 - NEW LANDSCAPE AREA.
 - EXISTING SITE LIGHTING.
 - RAMP SLOPE 1:12 MAX. PER ANSI 405.2; REF. C/TCL
 - ADA COMPLIANT PARKING SIGNAGE PER ANSI 502.6; REF. D/TCL
 - MOTORCYCLE SIGNAGE; REF. E/TCL.
 - PAINTED SYMBOL PER ANSI 703.7
 - ACCESSIBLE AISLE PER ANSI 502.3
 - PATCH PAVING @ CONNECTION; FIELD VERIFY
 - EXISTING LOCKED GATE.
 - PREVIEW MENU PYLON
 - MENU PYLON
 - SPEAKER / ORDER PYLON
 - MAX HEIGHT PYLON
 - EXISTING DUMPSTER ENCLOSURE
 - SIGNAGE "DO NOT ENTER" REF. F/A1.1.
 - STRIPE THIS AREA FOR SOLID WASTE VEHICLE.
 - EXISTING FIRE HYDRANT.
 - EXISTING BUILDING FOOTPRINT.
 - BIKE RACK; REF. A/TCL
 - DEMO'D EXISTING BUILDING AT HIDDEN

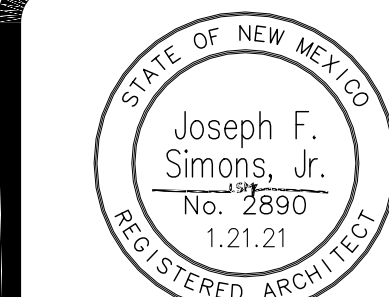


PROJECT # : J05-067
DATE: _____
REVISION: _____
CHECKED BY: _____
DRAWN BY: _____



BURGER KING CORP./FRANCHISEE

Joseph F. Simons, Jr., AIA
Architect
P.O. Box 67408
Albuquerque, NM 87113
ph: 505.480.4796
jfs@simonsarchitecture.com



BURGER KING RESTAURANT
5970 ALAMEDA, NE
ALBUQUERQUE, NM 87113
TRAFFIC CONTROL LAYOUT