



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Public Works Department  
Transportation Development Services Section***

October 18, 2001

James Lewis, Registered Architect  
1620 Central SE  
Albuquerque, NM 87106

Re: Certification Submittal for Final Building Certificate of Occupancy for  
The Magic Carpet, [C18 / D022B]  
6000 Alameda Blvd., NE  
Engineer's Stamp Dated 02/05/01

Dear Mr. Lewis:

The TCL / Letter of Certification submitted is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to Building and Safety and final C.O. has been logged in by Vicki Chavez in the Building Safety Section downstairs.

Sincerely,

Mike Zamora  
Commercial Plan Checker  
Development and Building Services  
Public Works Department

c: Terri Martin  
Office File

MZ:gds

## DRAINAGE INFORMATION SHEET

C-18/D22B

PROJECT TITLE: THE MAGIC CARPET

DRB #:

EPC#:

ZONE MAP/DRG. FILE #: C-18-7

WORK ORDER#:

LEGAL DESCRIPTION:

LOT 22-D-1 BLOCK 12 TRACT A UNIT B NORTH ALBUQUERQUE ACRESCITY ADDRESS: 6000 ALAMEDA BLVD

ENGINEERING FIRM:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

OWNER:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

ARCHITECT:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

SURVEYOR:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

CONTRACTOR:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERTIFICATION  
☐ CLOMR/LOMR  
☐ OTHER

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES  
☐ NO  
☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D. APPROVAL  
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☒ OTHER (SPECIFY) TRAFFIC CERT

DATE SUBMITTED:

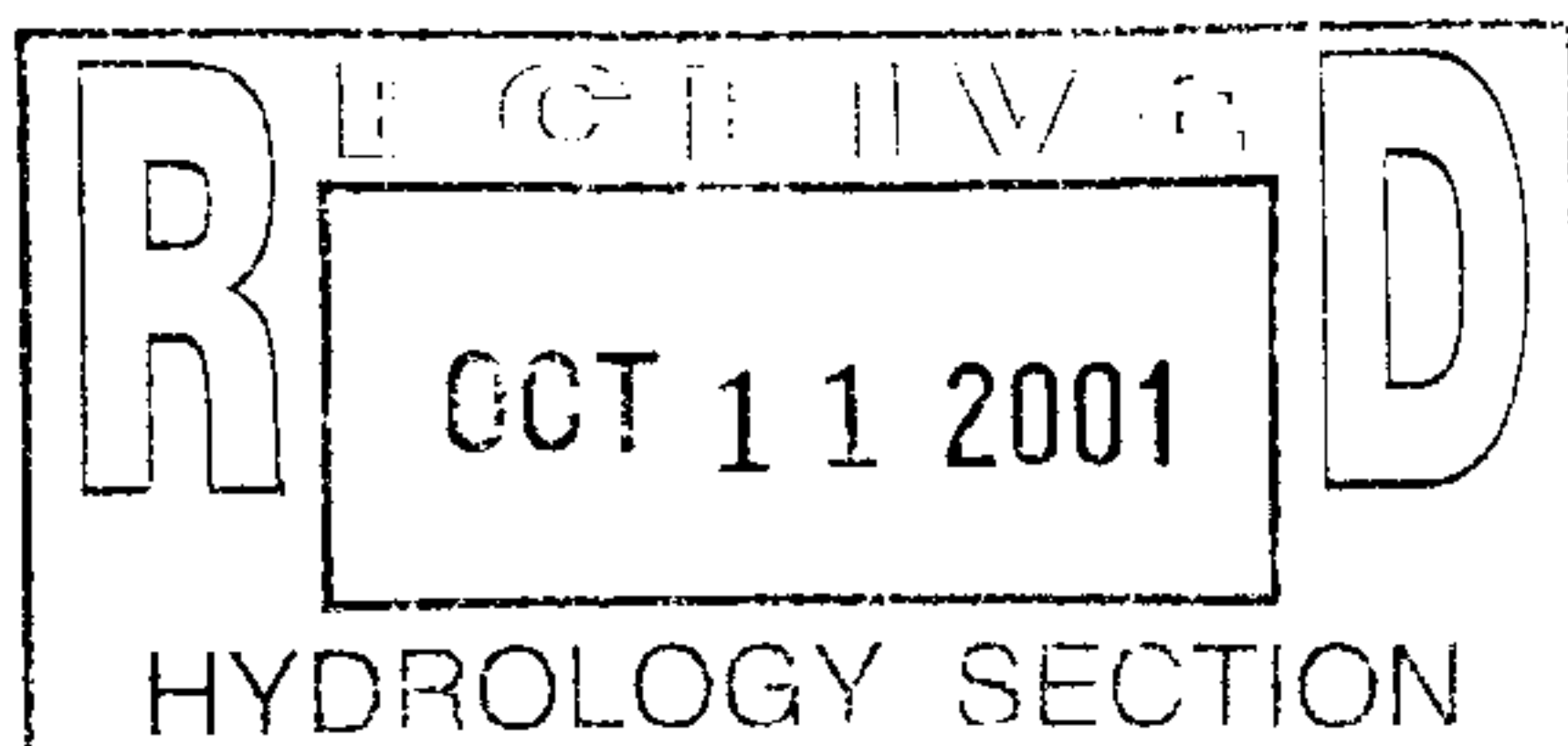
10/10/01

BY:

[Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

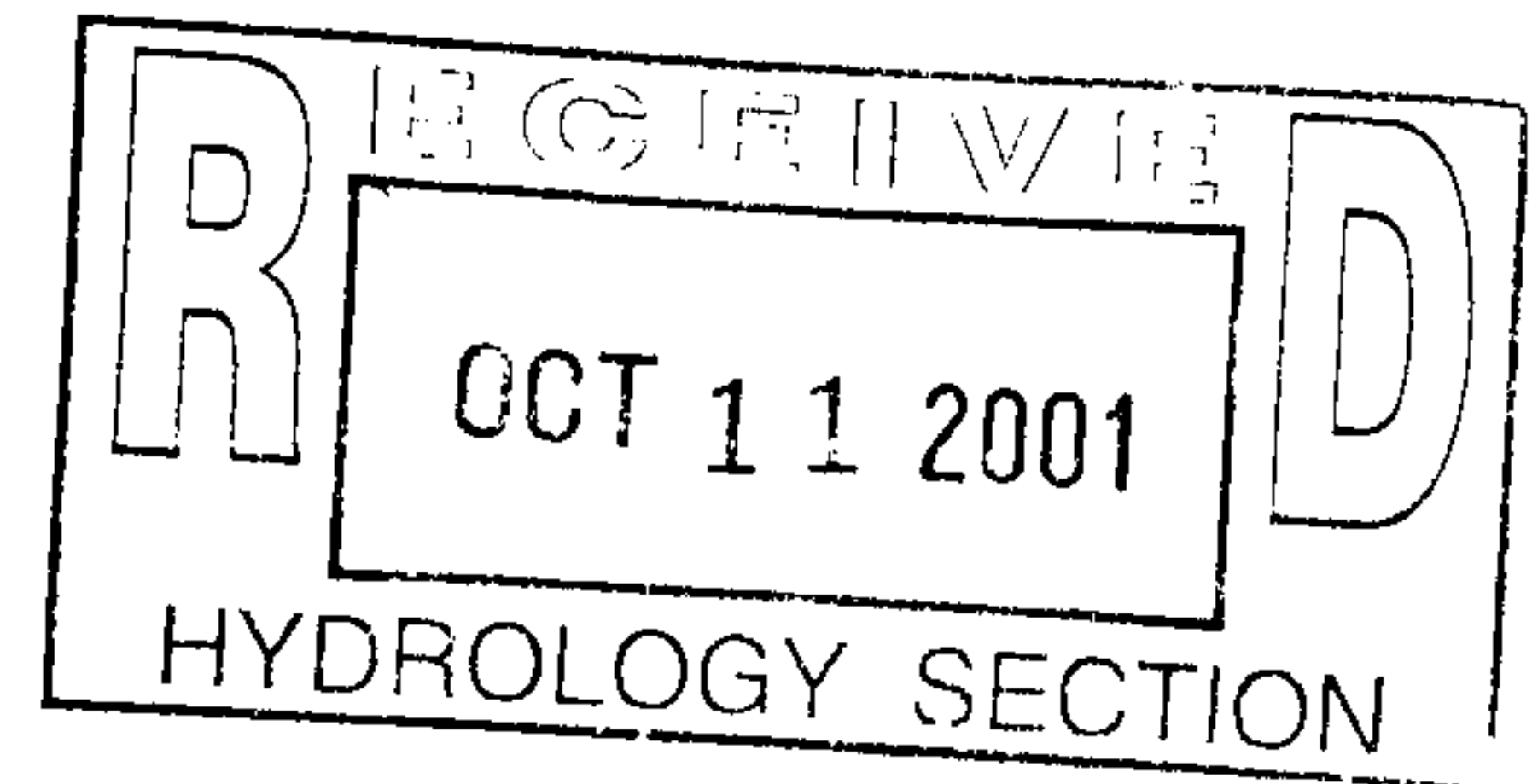
1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



# Schlegel Lewis Architects

10/10/01

Mr. Mike Zamora  
City of Albuquerque  
Traffic Division  
P.O. Box 1293  
Albuquerque, NM 87103



Re: 6000 Alameda Boulevard NE  
Letter of Architectural Certification submitted for final Certificate of Occupancy

Dear Mr. Zamora,

We have visited the above referenced site and to the best of our knowledge, the circulation areas, parking spaces, including HC spaces, sidewalks, ramps and landscaped areas are in general conformance with the approved site plan.

If you have any questions, please feel free to call our office at 247-1529.

Sincerely,

A large, stylized handwritten signature in black ink, appearing to be "JCL".

James C Lewis

jcl/dba

*10/17/01 - called in (GT) Final C.O.  
10/1/01 - ~~sent~~ Sent out Appl letter*

a division of General Design, Inc.  
1620 Central SE • Albuquerque • New Mexico • 87106  
(505) 247-1529 • FAX (505) 243-6701



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Public Works Department  
Transportation Development Services Section***

March 1, 2001

James Lewis, Registered Architect,  
Schlegel Lewis Architects  
1620 Central S.E.  
Albuquerque, New Mexico 87106

Re: T.C.L. submittal for building permit approval for The Magic Carpet, [C18/D022B],  
6000 Alameda Blvd. N.E., North Albuquerque Acres, Tract A, Unit B.  
Architect's Stamp dated 2/5/2001 (year of 2001 is assumed).

Dear Mr. Lewis,

The location referenced above, dated February 5, has been approved by Transportation Development. Please make three copies of the stamped TCL that will only be used for certification. Keep one for the site certification required for Final Certificate of Occupancy and attach the remaining two to the plan sets submitted for building permit.

Sincerely,

Mike Zamora,  
Commercial Plan Checker

cc:  
Engineer  
Hydrology File  
Office File

# Schlegel Lewis Architects

February 6, 2001

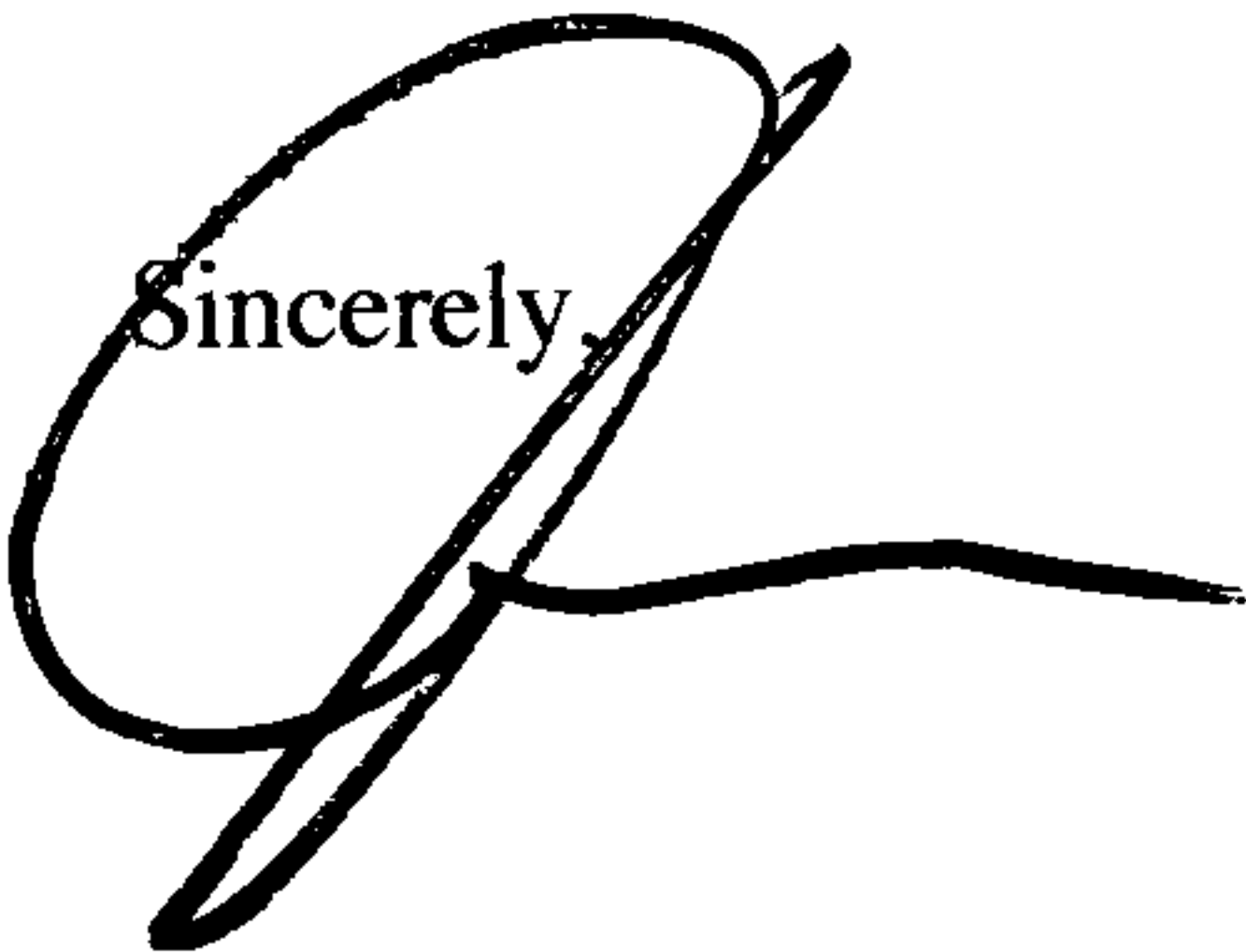
Mr. Mike Zamora  
City of Albuquerque  
Traffic Division  
P.O. Box 1293  
Albuquerque, NM 87103

Re: 6000 Alameda Boulevard NE  
Traffic Circulation Lay-out Plan submittal

Dear Mr. Zamora,

Please find attached (2) two sets of TCL Plan with the approved site development plan, and signature from Joe David Montano, for the above referenced site/project. If you have any questions, please feel free to call our office at 247-1529.

Sincerely,



James C Lewis

jcl/nqm



C 18-  
D 22B

*Adrian Amador*





# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 3, 2001

Mark Goodwin, P.E.  
Mark Goodwin & Assoc.  
P.O. Box 90606  
Albuquerque, New Mexico 87199

RE: MAGIC CARPET (C-18/D22B)  
(6000 Alameda NE)  
ENGINEERS CERTIFICATION FOR CERTIFICATE OF OCCUPANCY  
ENGINEERS STAMP DATED 4/16/2001  
ENGINEERS CERTIFICATION DATED 10/1/2001

Dear Mr. Goodwin:

Based upon the information provided in your Engineers Certification submittal dated 10/2/2001, the above referenced site is approved for Permanent Certificate of Occupancy.

If I can be of further assistance, please contact me at 924-3981.

Sincerely,

Teresa A. Martin  
Hydrology Plan Checker  
Public Works Department  
BLS

C: Vickie Chavez, COA  
approval file  
drainage file

# DRAINAGE INFORMATION SHEET

PROJECT TITLE: Magic Carpet ZONE ATLAS#: C-18 / D22B  
DRB#: \_\_\_\_\_ EPC# \_\_\_\_\_ WORKORDER#: \_\_\_\_\_  
LEGAL DESCRIPTION: Lot 22-D-1, Block 12, North Albuquerque Acres, Tract A, Unit B  
CITY ADDRESS: 6000 Alameda

ENGINEERING FIRM:	<u>Mark Goodwin &amp; Associates, PA</u>	CONTACT:	<u>Amy L. Driscoll</u>
ADDRESS:	<u>P.O. Box 90606, Albuquerque, NM 87199</u>	PHONE:	<u>828-2200</u>
OWNER:	<u>Zahir/Kameyab</u>	CONTACT:	<u>Zahir/Kameyab</u>
ADDRESS:	<u>11409 Fairington Way NE, Albuquerque, NM 87111</u>	PHONE:	<u>291-8365</u>
ARCHITECT:	<u>Schlegel Lewis Architects</u>	CONTACT:	<u>Jim Lewis</u>
ADDRESS:	<u>1620 Central Ave. SE, Albuquerque, NM 87106</u>	PHONE:	<u>247-1529</u>
SURVEYOR:	<u>Aldrich Land Surveying</u>	CONTACT:	<u>Tim Aldrich</u>
ADDRESS:	<u>P.O. Box 30701, Albuquerque, NM 87190</u>	PHONE:	<u>884-1990</u>
CONTRACTOR:	_____	CONTACT:	_____
ADDRESS:	_____	PHONE:	_____

## TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL  
☒ ENGINEER'S CERTIFICATION  
☐ OTHER  
☐ EASEMENT VACATION

## PRE-DESIGN MEETING:

☐ YES  
☐ NO  
☐ COPY PROVIDED

## CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. PLAN FOR BLDG PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☒ CERTIFICATION OF OCCUPANCY APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ S.A.D. DRAINAGE REPORT  
☐ DRAINAGE REQUIREMENTS  
☐ OTHER  
☐ RELEASE OF FINANCIAL GUARANTY  
☐ TRAFFIC CIRCULATION LAYOUT

DATE SUBMITTED: 10/2/01

BY: Amy L. Driscoll

Amy L. Driscoll, PE

D. Mark Goodwin and Associates, P.A.  
Consulting Engineers

P.O. Box 90606 ♦ Albuquerque, NM 87199  
(505) 828-2200 ♦ (505) 797-9539 fax  
e-mail: dm@swcp.com

LETTER OF TRANSMITTAL

To: Nancy Musinski

Date: October 2, 2001

City of Albuquerque

Re: Magic Carpet

We are sending:

No. Copies	Date	Item Description
1	10/2/01	Certificate of Occupancy Request

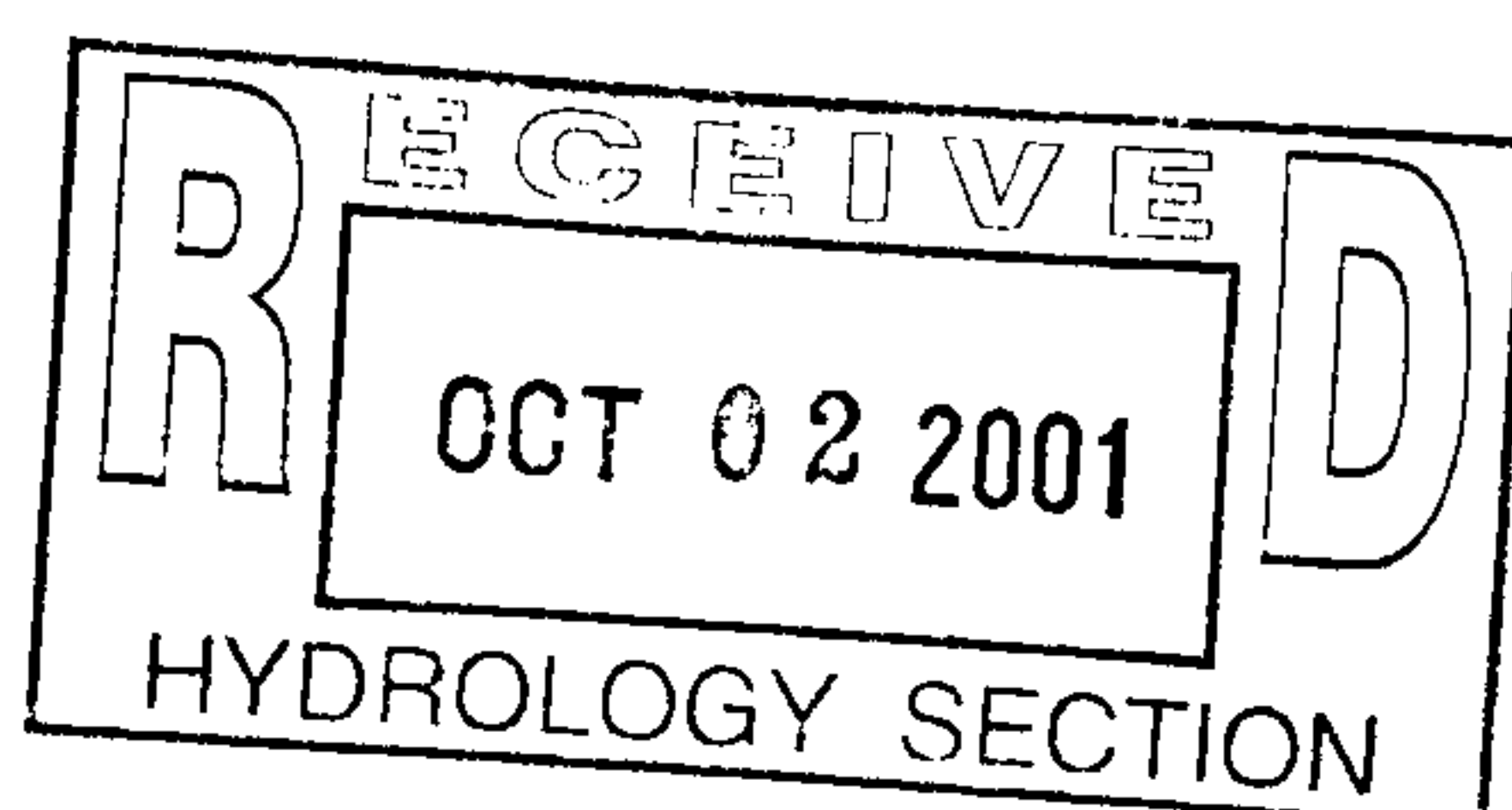
☒ For your approval

☐ For your information

☐ As you requested

☐ For your comments

NOTES:



SIGNED:

Amy L. Driscoll, PE





# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 23, 2001

Mark Goodwin, P.E.  
Mark Goodwin & Associates, P.A.  
PO Box 90606  
Albuquerque, NM 87199

**Re: Magic Carpet Grading & Drainage Plan, Engineer's stamp dated 04-16-01 (C18/D22B)**

Dear Mr. Goodwin,

Based on the information provided in your submittal dated April 17, 2001, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to release of the Certificate of Occupancy, an Engineer Certification per the DPM checklist will be required.

If you have any questions, please call me at 924-3988.

Sincerely,

Nancy Musinski, P.E.  
Hydrology/Utility Development  
City of Albuquerque Public Works

cc: file

---

**V**  
**Vinyard & Associates, Inc.**  
**A**

---

8916-A Adams Street, NE  
Albuquerque, New Mexico 87113  
(505) 797-9743 • Fax: (505) 797-9749

Geotechnical Engineering • Materials Testing • Environmental Engineering

April 11, 2001

D. Mark Goodwin & Associates, P.A.  
P.O. Box 90606  
Albuquerque, NM 87199

Attention: Ms. Amy Driscoll

Subject: Magic Carpet  
V & A Project No.: 01-1-019

Dear Sir or Madam:

It is our understanding the retention pond will be moved from the south side of the building to the parking lot. This letter presents revised recommendations for asphaltic concrete paving.

The following pavement section should be utilized under the parking lot and driveway:

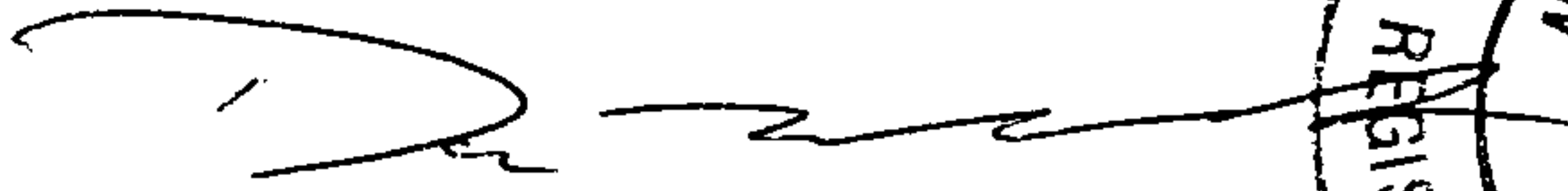
Asphaltic Concrete	3"
Base Course	8"

It will be important to prevent the subgrade soils supporting the pavement from increasing in moisture content. All pavement cracks should be sealed on a routine basis to limit moisture infiltration.

Asphaltic concrete should be grading "C" as specified in Section 116 of "The City of Albuquerque Standard Specifications for Public Works Construction." Aggregate Base Course should conform to Section 302 of the "The City of Albuquerque Standard Specifications for Public Works Construction."

All other recommendations presented in the project geotechnical report remain applicable.

Sincerely,  
**Vinyard & Associates, Inc.**



Dave Liebelt, P.E.





D. Mark Goodwin & Associates, P.A.  
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199  
(505) 828-2200 FAX 797-9539  
e-mail: dmgs@swcp.com

April 16, 2001

Ms. Nancy Musinski  
Hydrology / Utility Development  
City of Albuquerque  
PO Box 1293  
Albuquerque, NM 87103

**Re: Magic Carpet (C18/D22B)**

Dear Ms. Musinski:

This letter is in response to your April 10, 2001 letter. The grading and drainage plan has been revised as follows:

1. A letter from the geotechnical engineer is attached.
2. A stem wall has been added on the east side of the building.
3. Please see response #2.
4. Retaining walls have been added on the south and north side of the steps. A retaining wall is not needed on the east side.
5. A second leader arrow has been added to keynote 4.
6. A sidewalk culvert has been added at the other roof drain.

Please call if you have any questions.

Sincerely,

MARK GOODWIN & ASSOCIATES, PA

  
Amy L. Driscoll, EI  
Project Engineer

APR 17 2001  
PWD/DESIGN REVIEW

RECEIVED  
APR 17 2001  
PWD/DESIGN REVIEW

12:00  
Pm

# DRAINAGE INFORMATION SHEET

PROJECT TITLE: Magic Carpet  
DRB#: \_\_\_\_\_ EPC# \_\_\_\_\_ ZONE ATLAS#: C-18 / D22B  
LEGAL DESCRIPTION: Lot 22-D-1, Block 12, North Albuquerque Acres, Tract A, Unit B  
CITY ADDRESS: 6000 Alameda

ENGINEERING FIRM:	Mark Goodwin & Associates, PA	CONTACT:	Amy L. Driscoll
ADDRESS:	P.O. Box 90606, Albuquerque, NM 87199	PHONE:	828-2200
OWNER:	Zahir/Kameyab	CONTACT:	Zahir/Kameyab
ADDRESS:	11409 Fairington Way NE, Albuquerque, NM 87111	PHONE:	291-8365
ARCHITECT:	Schlegel Lewis Architects	CONTACT:	Jim Lewis
ADDRESS:	1620 Central Ave. SE, Albuquerque, NM 87106	PHONE:	247-1529
SURVEYOR:	Aldrich Land Surveying	CONTACT:	Tim Aldrich
ADDRESS:	P.O. Box 30701, Albuquerque, NM 87190	PHONE:	884-1990
CONTRACTOR:	_____	CONTACT:	_____
ADDRESS:	_____	PHONE:	_____

## TYPE OF SUBMITTAL:

## CHECK TYPE OF APPROVAL SOUGHT:

☐ DRAINAGE REPORT  
☒ DRAINAGE PLAN  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☒ GRADING PLAN  
☐ EROSION CONTROL  
☐ ENGINEER'S CERTIFICATION  
☐ OTHER  
☐ EASEMENT VACATION

☐ SKETCH PLAT APPROVAL  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. PLAN FOR BLDG PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATION OF OCCUPANCY APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ S.A.D. DRAINAGE REPORT  
☐ DRAINAGE REQUIREMENTS  
☐ OTHER  
☐ RELEASE OF FINANCIAL GUARANTY  
☐ TRAFFIC CIRCULATION LAYOUT

## PRE-DESIGN MEETING:

☐ YES  
☒ NO  
☐ COPY PROVIDED

DATE SUBMITTED:

BY:

Amy L. Driscoll





# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 10, 2001

Mark Goodwin, P.E.  
Mark Goodwin & Associates, P.A.  
PO Box 90606  
Albuquerque, NM 87199

**Re: Magic Carpet Grading & Drainage Plan, Engineer's stamp dated 04-04-01 (C18/D22B)**

Dear Mr. Goodwin,

Based on the information provided in your submittal dated April 6, 2001, the above referenced plan cannot be approved for Building Permit until the following issues are addressed:

1. Please submit the geotechnical engineer's specs for the parking lot to be used as a ponding area.
2. The northeast corner of the building has a top of grade elevation of 17.61, which is higher than the finished floor elevation of 17.5. This is unacceptable unless you are planning a retaining system for the east building wall. If that is the case, disregard Comment No. 3.
3. The swale at the northeast corner of the building doesn't work because it is higher than the finish floor. One possible solution would be to change the spot elevation at the top of the swale from 17.5 to 16.9. Move the high point of the swale about ten feet south and give it an elevation of 17.1. This small area north of the high point could then discharge north to Alameda provided there is erosion protection installed on the slope. Discharge the swale around the east side of spot elevation 17.14, then through an opening in the curb just south of the spot elevation 17.06/16.56.
4. At the stairs at the southwest corner of the building, the ground falls 3 feet in 5 feet of distance. This is unacceptable. Please add a retaining wall that wraps around the south and east sides of the stairs.
5. Key note (4) needs a second leader arrow. It should point to the cleanout that services the east-west segment of the 6-inch drain line.
6. You show a sidewalk culvert at the roof drain on the west side of the parking lot. Shouldn't there be another sidewalk culvert at the roof drain at the north end of the parking lot?
7. In the future, please use whole number contour labels.

If you have any questions, please call me at 924-3988.

Sincerely,

Nancy Musinski, P.E.  
Hydrology/Utility Development  
City of Albuquerque Public Works

cc: file



D. Mark Goodwin & Associates, P.A.  
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199  
(505) 828-2200 FAX 797-9539  
e-mail: dmgs@swcp.com

April 4, 2001

Ms. Nancy Musinski  
Hydrology / Utility Development  
City of Albuquerque  
PO Box 1293  
Albuquerque, NM 87103

**Re: Magic Carpet (C18/D22B)**

Dear Ms. Musinski:

This letter is in response to your March 8, 2001 letter. The grading and drainage plan has been revised as follows:

1. The pertinent calculations and basin lines from previous drainage plans are already shown on the drawing. The file reference (C18/D22A) has been added for Circle K - Alameda.
2. Ponding is now within the parking lot exclusively. (Please see item 4 for more detail on this.) The maximum water surface elevation is 16.59. The geotechnical engineer has reviewed the revisions, and he is requiring 6 inches of base course and sealing of any cracks in the pavement. A letter from Vinyard and Associates is forthcoming. let's see it
3. The parking lot is designed so that it will not have standing water. *unless the drain clogs*
4. Basin C4-B freely discharges 1.17 cfs, and basin C4-A freely discharges 0.53 cfs. As a result, the developed site is only allowed to discharge 0.76 cfs ( $2.46 - 1.17 - 0.53 = 0.76$  cfs). The parking lot actually only discharges 0.69 cfs.  
  
*In the previous submittal, all of the flow of the Basin C4-A had been used when doing the routing for the pond even though part of this basin was freely discharging. In this submittal, only the portion that is going to the parking lot is being routed through the parking lot. This is why a much smaller volume is possible, and why only the parking lot is being used for ponding.*
5. Roof drains have been added to the plan. They all drain to the parking lot.
6. The flow at the northeast corner of the building is being directed by a swale to the parking lot.
7. A desilting berm has been added to the property to the east. This is like the one currently on Magic Carpet's property. Please see the attached letter from John Triandafillidis authorizing grading on that property.
8. The SO19 language has been removed from the drawing.
9. A valley gutter has been added all along the southern edge of the property. The spot elevation in question has been revised accordingly.

Please call if you have any questions.

Sincerely,

MARK GOODWIN & ASSOCIATES, PA

  
Amy Driscoll, EI  
Project Engineer

f:\magiccar\hydres

# DRAINAGE INFORMATION SHEET

PROJECT TITLE: Magic Carpet ZONE ATLAS#: C-18 / D22B  
DRB#: \_\_\_\_\_ EPC# \_\_\_\_\_ WORKORDER#: \_\_\_\_\_  
LEGAL DESCRIPTION: Lot 22-D-1, Block 12, North Albuquerque Acres, Tract A, Unit B  
CITY ADDRESS: 6000 Alameda

ENGINEERING FIRM:	<u>Mark Goodwin &amp; Associates, PA</u>	CONTACT:	<u>Amy L. Driscoll</u>
ADDRESS:	<u>P.O. Box 90606, Albuquerque, NM 87199</u>	PHONE:	<u>828-2200</u>
OWNER:	<u>Zahir/Kameyab</u>	CONTACT:	<u>Zahir/Kameyab</u>
ADDRESS:	<u>11409 Fairington Way NE, Albuquerque, NM 87111</u>	PHONE:	<u>291-8365</u>
ARCHITECT:	<u>Schlegel Lewis Architects</u>	CONTACT:	<u>Jim Lewis</u>
ADDRESS:	<u>1620 Central Ave. SE, Albuquerque, NM 87106</u>	PHONE:	<u>247-1529</u>
SURVEYOR:	<u>Aldrich Land Surveying</u>	CONTACT:	<u>Tim Aldrich</u>
ADDRESS:	<u>P.O. Box 30701, Albuquerque, NM 87190</u>	PHONE:	<u>884-1990</u>
CONTRACTOR:	_____	CONTACT:	_____
ADDRESS:	_____	PHONE:	_____

## TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT  
☒ DRAINAGE PLAN  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☒ GRADING PLAN  
☐ EROSION CONTROL  
☐ ENGINEER'S CERTIFICATION  
☐ OTHER  
☐ EASEMENT VACATION

## PRE-DESIGN MEETING:

☐ YES  
☒ NO  
☐ COPY PROVIDED

## CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. PLAN FOR BLDG PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATION OF OCCUPANCY APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ S.A.D. DRAINAGE REPORT  
☐ DRAINAGE REQUIREMENTS  
☐ OTHER  
☐ RELEASE OF FINANCIAL GUARANTY  
☐ TRAFFIC CIRCULATION LAYOUT

DATE SUBMITTED: 4/4/01

BY: Amy L. Driscoll

Amy L. Driscoll

**R** **RECEIVED** **D**  
**APR 6 2001**  
**HYDROLOGY SECTION**

R-26-2001 MON 05:28 PM S&J

FAX NO. 8844186

P. 02

**EUBANK INVESTMENTS LLC**  
3535 PRINCETON DR. NE  
ALBUQUERQUE, NM 87107  
505-884-6234

Jim Lewis  
Schlegel Lewis Architects  
1620 Central Ave SE  
Albuquerque, NM 87106

**LETTER OF AUTHORIZATION  
REGARDING LOTS 22D1 AND 22D2  
ALAMEDA & SAN PEDRO, ALBUQUERQUE, NM**

As the developer of the two lots referenced above, we authorize minor grading for the construction of berm for a temporary sediment pond on the west boundary of Lot 22D2.

Please refer any questions to our office.

Sincerely,

  
John Triandafillidis  
Managing Member

**RECEIVED**  
**R** APR 6 2001 **D**  
HYDROLOGY SECTION





# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

March 8, 2001

Mark Goodwin, P.E.  
Mark Goodwin & Associates, P.A.  
PO Box 90606  
Albuquerque, NM 87199

**Re: Magic Carpet Grading & Drainage Plan, Engineer's stamp dated 01-31-01 (C18/D22B)**

Dear Mr. Goodwin,

Based on the information provided in your submittal dated January 31, 2001, the above referenced plan cannot be approved for Building Permit until the following issues are addressed:

1. A grading & drainage plan must be a stand-alone document. Therefore, do not merely reference the antecedent grading & drainage plan (Alameda Development). Instead, please reproduce the pertinent calculations and basin map from the previously-accepted plan(s) on this drainage plan so that it may stand alone.
2. Ponding is unacceptable within 15 feet from the proposed structure. See DPM Ch. 22, Sec. 7, excerpt attached.
3. Based on the Overflow Weir Detail, the ponds are designed to have standing water. The middle pond can collect water 30" deep before it overflows. Neither of these conditions are acceptable. A small pipe would help alleviate this.
4. The drainage report says that 0.39 ac. of Basin C4-B freely discharges to Alameda Blvd. However, based on the proposed elevations, the regions north and west of the building perimeter as well as the south driveway and much of the south parking area, also freely discharge to Alameda Blvd. This increases the area by at least 0.1 acre, which proportionately raises the free discharge to 1.43 cfs. Thus, the allowed discharge is  $2.46 - 1.43 = 1.03$  cfs vs. the 1.28 cfs stated in the report.
5. Check the architect's plans to verify that the roof drains in a manner that does not further add to the problem in No. 5.
6. What happens to the flow at the northeast corner of the building? The elevation 16.90 puts it in a sump, however this location is not far enough from the building for a pond.
7. Off-site flows from sub-basins C1, C2, and C3 discharge to your site, but have not been addressed in the report. Until this property is developed, you must accommodate the offsite discharge.
8. The SO-19 is not required for the 6" PVC drain to the street, since the entrance drive is not a public street.
9. A valley gutter is required at the south driveway to channel future upstream flows so that runoff water does not weaken the asphalt pavement. A top of curb/flow line of



March 8, 2001

18.22/17.72 is shown in the south driveway. The existing contour at the end of the leader is 18. The valley gutter flow line should match existing.

If you have any questions, please call me at 924-3988.

Sincerely,

A handwritten signature in black ink, appearing to read "Nancy Musinski". The signature is written in a cursive, flowing style.

Nancy Musinski, P.E.  
Hydrology/Utility Development  
City of Albuquerque Public Works

cc: file

# DRAINAGE INFORMATION SHEET

PROJECT TITLE: Magic Carpet ZONE ATLAS#: C-18 / D022B  
DRB#: \_\_\_\_\_ EPC# \_\_\_\_\_ WORKORDER#: \_\_\_\_\_  
LEGAL DESCRIPTION: Lot 22-D-1, Block 12, North Albuquerque Acres, Tract A, Unit B  
CITY ADDRESS: 6000 Alameda

ENGINEERING FIRM:	<u>Mark Goodwin &amp; Associates, PA</u>	CONTACT:	<u>Amy L. Driscoll</u>
ADDRESS:	<u>P.O. Box 90606, Albuquerque, NM 87199</u>	PHONE:	<u>828-2200</u>
OWNER:	<u>Zahir/Kameyab</u>	CONTACT:	<u>Zahir/Kameyab</u>
ADDRESS:	<u>11409 Fairington Way NE, Albuquerque, NM 87111</u>	PHONE:	<u>291-8365</u>
ARCHITECT:	<u>Schlegel Lewis Architects</u>	CONTACT:	<u>Jim Lewis</u>
ADDRESS:	<u>1620 Central Ave. SE, Albuquerque, NM 87106</u>	PHONE:	<u>247-1529</u>
SURVEYOR:	<u>Aldrich Land Surveying</u>	CONTACT:	<u>Tim Aldrich</u>
ADDRESS:	<u>P.O. Box 30701, Albuquerque, NM 87190</u>	PHONE:	<u>884-1990</u>
CONTRACTOR:	_____	CONTACT:	_____
ADDRESS:	_____	PHONE:	_____

## TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT  
☒ DRAINAGE PLAN  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☒ GRADING PLAN  
☐ EROSION CONTROL  
☐ ENGINEER'S CERTIFICATION  
☐ OTHER  
☐ EASEMENT VACATION

## PRE-DESIGN MEETING:

☐ YES  
☒ NO  
☐ COPY PROVIDED

## CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. PLAN FOR BLDG PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATION OF OCCUPANCY APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ S.A.D. DRAINAGE REPORT  
☐ DRAINAGE REQUIREMENTS  
☐ OTHER  
☐ RELEASE OF FINANCIAL GUARANTY  
☐ TRAFFIC CIRCULATION LAYOUT

DATE SUBMITTED: \_\_\_\_\_

BY: \_\_\_\_\_

Amy L. Driscoll