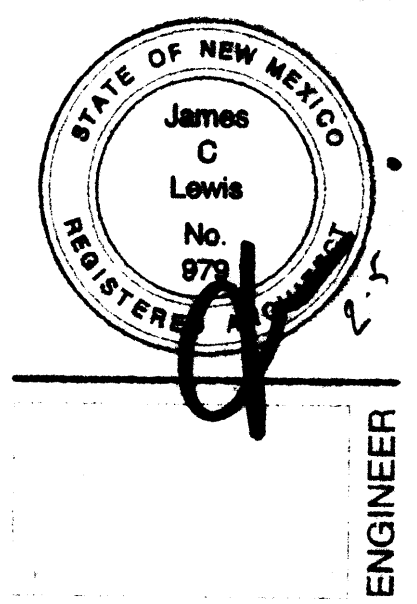
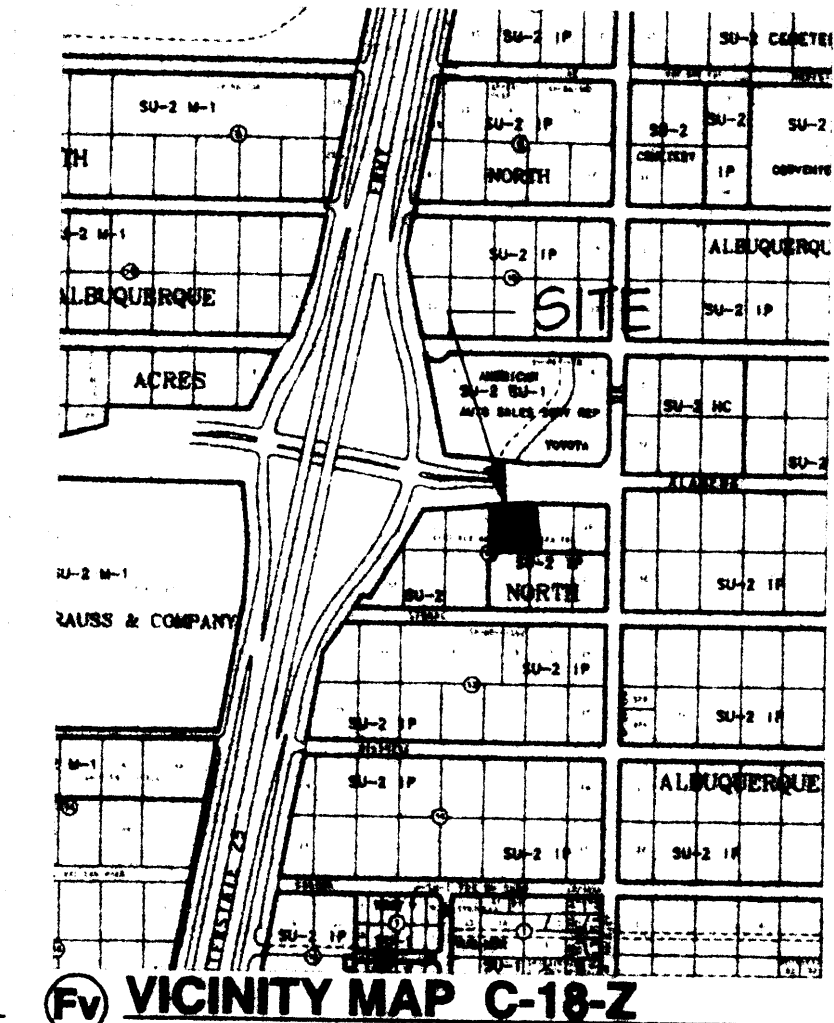
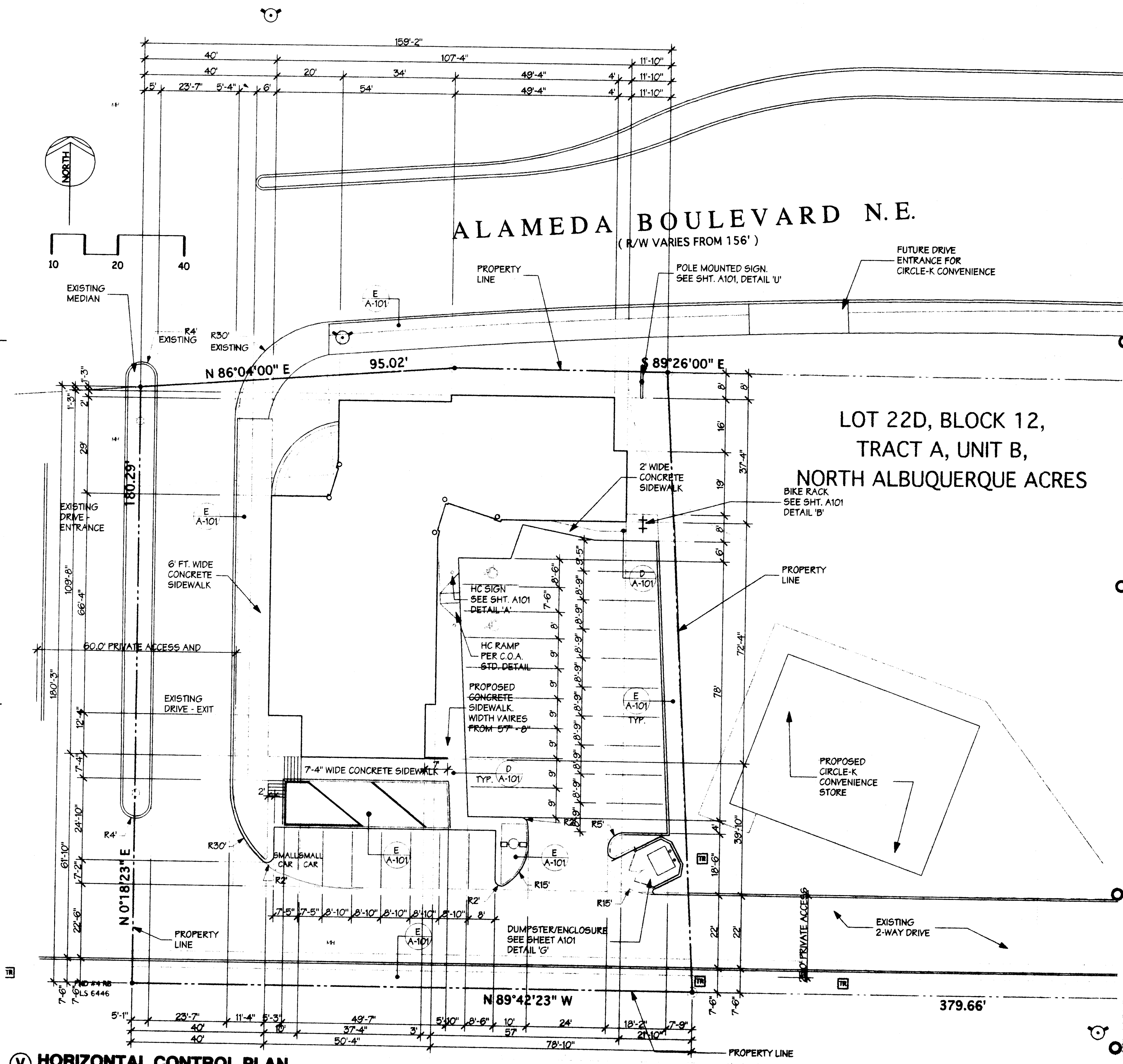




(A) DETAIL BOX (B) DETAIL BOX (C) DETAIL BOX (D) DETAIL BOX (E) DETAIL BOX (F) DETAIL BOX



(G) DETAIL BOX (H) DETAIL BOX

LEGAL
LEGAL DESCRIPTION:
LOT 22-D-1 BLOCK 12 TRACT A UNIT B
NORTH ALBUQUERQUE ACRES
ADDRESS:
6000 ALAMEDA BOULEVARD NE
ALBUQUERQUE, NM 87113

ZONING
ZONE ATLAS PAGE: C-18-Z
LAND USE ZONING: SU-2 FOR C2 USES

PARKING:
REQUIRED = 26 INCLUDING (2) HC SPACES
PROVIDED = 26 INCLUDING (2) HC SPACES

LANDSCAPE:
REQUIRED = 3600 SF
PROVIDED = 6380 SF

BICYCLES:
REQUIRED = (1) BICYCLE PER (20) AUTOMOBILE SPACES
EQUALS (2) SPACES
PROVIDED = (2) SPACES

Salgado Law & Associates
1620 Central Ave SE
Albuquerque NM 87106
(505) 247-1529
FAX (505) 245-6761
salgado.com

(M) NOTES

* AN AS-BUILT COPY OF THE APPROVED TCL MUST BE SUBMITTED BY THE DESIGNER-OF-RECORD, AS REQUIRED BY TRANSPORTATION DEVELOPMENT, INCLUDING A LETTER OF CERTIFICATION THAT THE SITE HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE TCL. VERIFICATION OF TCL ACCEPTABILITY, INCLUDING RANDOM FIELD CHECKS, WILL BE MADE BEFORE A FINAL CERTIFICATION OF OCCUPANCY IS ISSUED. PLEASE CALL THIS OFFICE TO OBTAIN TEMPORARY C.O.

* CONTRACTOR SELECTED MUST BE MADE AWARE, BY NOTE ON TCL, THAT ANY AGREEMENT WITH THE OWNER (IF APPLICABLE TO THIS PARTICULAR PROJECT), STATING THAT ANY PORTIONS OF PERMIT CONSTRUCTION, CHOSEN TO BE COMPLETED BY THE OWNER, OR THEIR SELECTED REPRESENTATIVE, OTHER THAN THAT CONTRACTOR, WILL MOST LIKE RESULT IN DELAY. THEREFORE, IF THIS APPLIES, CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL ALL WORK IS FINALIZED.

THE RESPONSIBILITY FOR ERRORS ON THE SITE PLAN AND SUBSEQUENT UNAUTHORIZED FIELD CHANGES MUST BE SPECIFIED ON THE TCL, IN BOLD TYPE, AS FOLLOWS:

THE RESPONSIBLE PARTY MUST RECTIFY ALL UNAPPROVED CONSTRUCTION RESULTING FROM ERRORS ON THE APPROVED SITE PLAN:

THIS SITE PLAN HAS BEEN APPROVED AND ACCEPTED BY ALL PARTIES. ANY FIELD CHANGES NOT ACCEPTED BY TRAFFIC ENGINEER, AFTER APPROVAL FOR BUILDING PERMIT, WILL RESULT IN:

(1) UNTIMELY DELAY OF CERTIFICATION FOR FINAL CERTIFICATE OF OCCUPANCY IN ORDER TO CORRECT UNAPPROVED WORK, AND
(2) INCREASE IN CONSTRUCTION COST TO RESPONSIBLE PARTIES.

ALL ASPHALT AND CONCRETE CONSTRUCTION MUST BE 100% COMPLETE BEFORE INITIAL CALL FOR TEMPORARY C.O.

ALL EXISTING STREET SIDEWALK AND C&G IN DISREPAIR AFFECTING SAFE PEDESTRIAN AND/OR VEHICLE TRAVEL WILL BE REMOVED AND REPLACED.

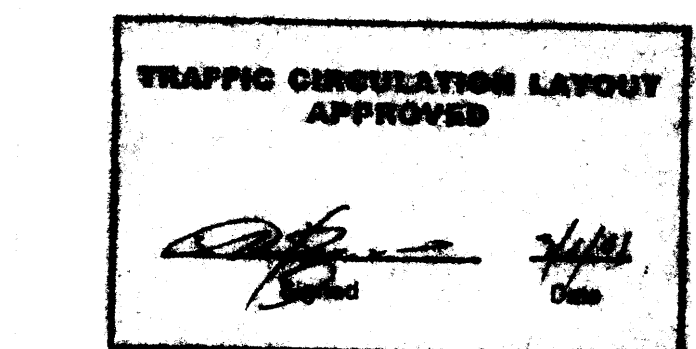
Zahir Kameyab
Proprietor

The Magic Carpet
Rugs & Jewelry
6000 Alameda Blvd. NE
Albuquerque New Mexico 87113

(N) DETAIL BOX (O) DETAIL BOX

ISSUE DATE:
06 FEB 01

REVISIONS:



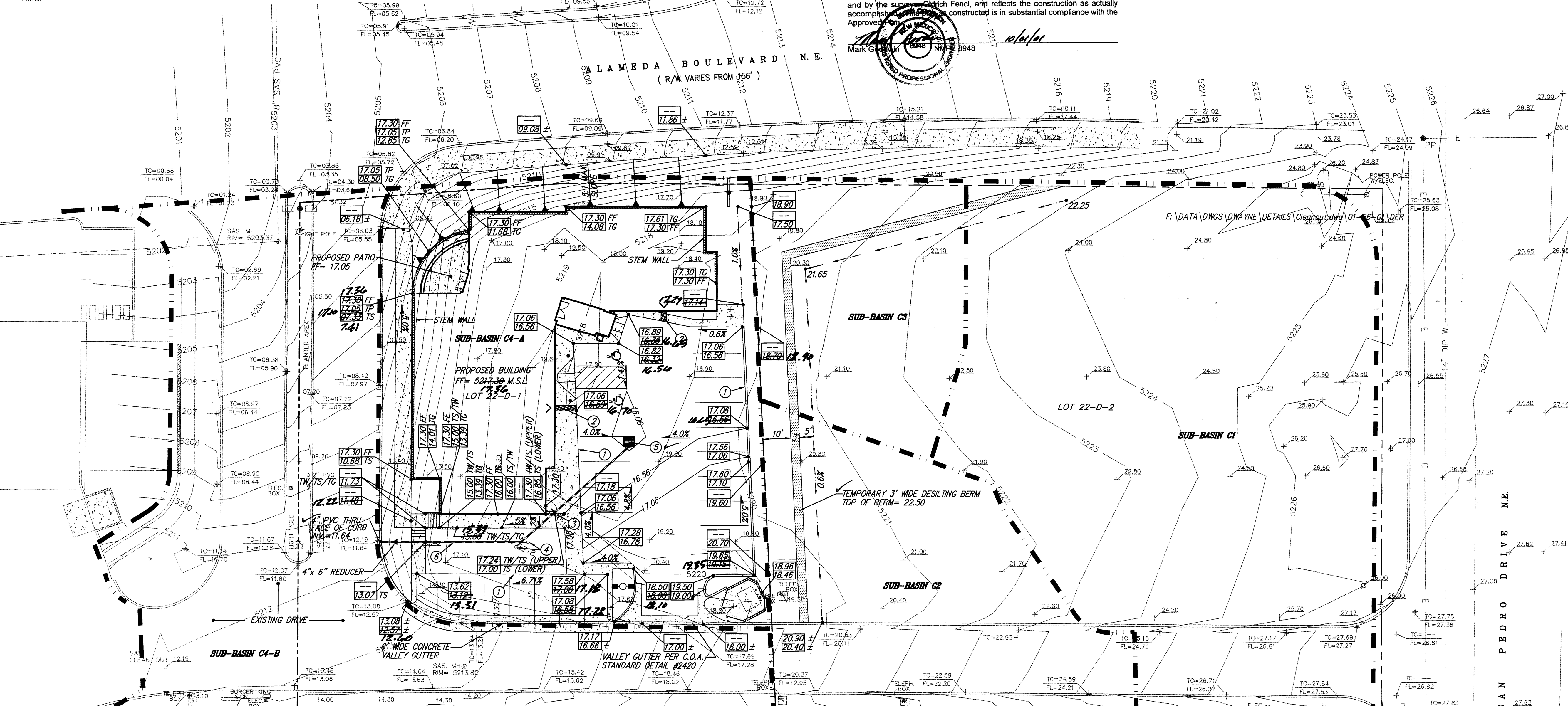
(T) DETAIL BOX (U) DETAIL BOX

(V) HORIZONTAL CONTROL PLAN

(2) T.C.L. GENERAL NOTES

START TIME=0.0
MAGIC CARPET
FILE: C:\HYDRO\ALAMEDA.DAT APRIL 2001 BY:MY
100-YEAR 6-HOUR STORM EVENT
RAINFALL TYPE=1 RAIN QUANT=0.0 IN
RAIN ONE=2.10 IN RAIN SIX=2.45 IN
RAIN ONE=2.05 IN D=0.3333 HR
DEVELOPED CONDITIONS
COMPUTE HYD ID=1 HYD NO=100.00 AREA=0.0004 SQ MI
PER A=0.00 PER B=0.04 PER C=0.00 PER D=0.96
TP=0.1333 HR MASS RAINFALL=1
10% CLOSURE
PRINT HYD
ROUTE RESERVOIR ID=2 HYD NO=200.00 INFLOW ID=1 CODE=5
OFFLINE (CFS) STORAGE (AC-FT) ELEVATION (FT)
0.00 0.0000 13.84
0.50 0.0000 13.94
0.60 0.0180 16.56
0.75 0.0550 17.06
PRINT HYD
FIG. 1

ALAMEDA DEVELOPMENT GRADING & DRAINAGE PLAN (C18/D22A) - January, 1994
USER NO.: H000001101
RUN DATE (MM/DD/YYYY) 04/03/2001
PAGE 1 OF 1
C:\HYDRO\ALAMEDA.DAT
HYDROGRAPH ID TO AREA PEAK RUNOFF TIME TO CFS PAGE 1 OF 1
IDENTIFIED CLOSURE NO. NO. DISCHARGE (CFS) VOLUME (AC-FT) (INCHES) (HOURS) ACRES ROTATION
START RAINFALL TYPE=1 100.00 1 0.0004 1.86 0.69 2.16067 1.500 4.853 PER IMP= 2.450
COMPUTE HYD ID=2 200.00 1 2 0.0006 1.69 0.69 2.16769 1.767 1.806 AC-FT= 0.020
FINISH



DRAINAGE CALCULATIONS FROM ALAMEDA DEVELOPMENT AND CIRCLE-K ALAMEDA

MASTER PLAN BASIN "C"
AREA= 1.84 Ac.
P(100-6)= 2.45 in.
DT=0.0333 Hr.
P= 0.1333 Hr.
A=60% B=100% C=0% D=30%
Q(100-6)= 5.02 CFS
VOL(100-6)= 7348 CU.FT.

LOT 22D-1
SUB-BASIN C4
AREA= 0.94 Ac.
LAND TREATMENT:
B= 18% D= 82%
Q(allowable)= 2.46 cfs
Q(100-6)= 4.02 cfs

LOT 22D-2
SUB-BASIN C1, C2, AND C3
AREA= 0.94 Ac.
LAND TREATMENT:
B= 18% D= 82%
Q(100-6)= 2.29 cfs
VOL(100-6)= 6,800 c.f.
Q(allowable)= 2.56 cfs

HYDROLOGY NOTES

THIS SITE IS NOT WITHIN THE 100 YEAR FLOODPLAIN. THE SITE IS CURRENTLY NOT DEVELOPED.

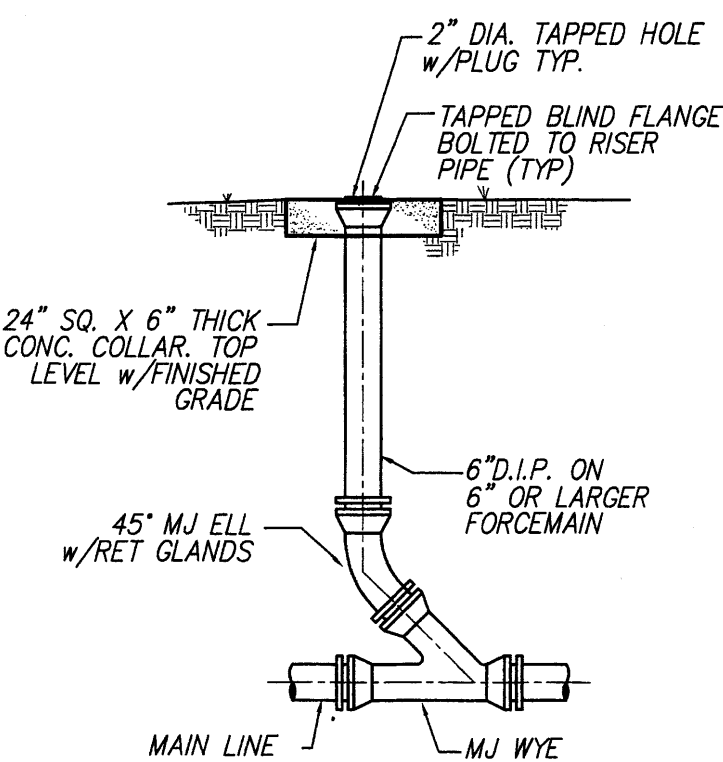
PLEASE SEE THE ALAMEDA DEVELOPMENT GRADING & DRAINAGE PLAN (C18/D22A) AND THE CIRCLE-K ALAMEDA GRADING & DRAINAGE PLAN (C18/D22A). PER THE ALAMEDA DEVELOPMENT PLAN, BASIN C (WHICH INCLUDES THIS SITE) IS ALLOWED TO DISCHARGE 5.02 cfs. BASIN C1 IS 1.84 ac. & THIS SITE (BASINS C4-A & C4-B) IS 0.90 ac. THUS, THE PROPORTIONAL ALLOWABLE DISCHARGE FOR BASIN C4 IS 2.46 cfs.

0.39 ac. OF BASIN C4-B FREELY DISCHARGES 1.17 cfs TO ALAMEDA BLVD. IN ADDITION, 0.20 AC OF BASIN C4-A FREELY DISCHARGES 0.53 cfs TO ALAMEDA BLVD. AS A RESULT, THE DEVELOPED SITE (BASIN C4-A) IS ONLY ONLY ALLOWED TO DISCHARGE 0.78 cfs (2.46 - 1.17 - 0.53 = 0.76 cfs).

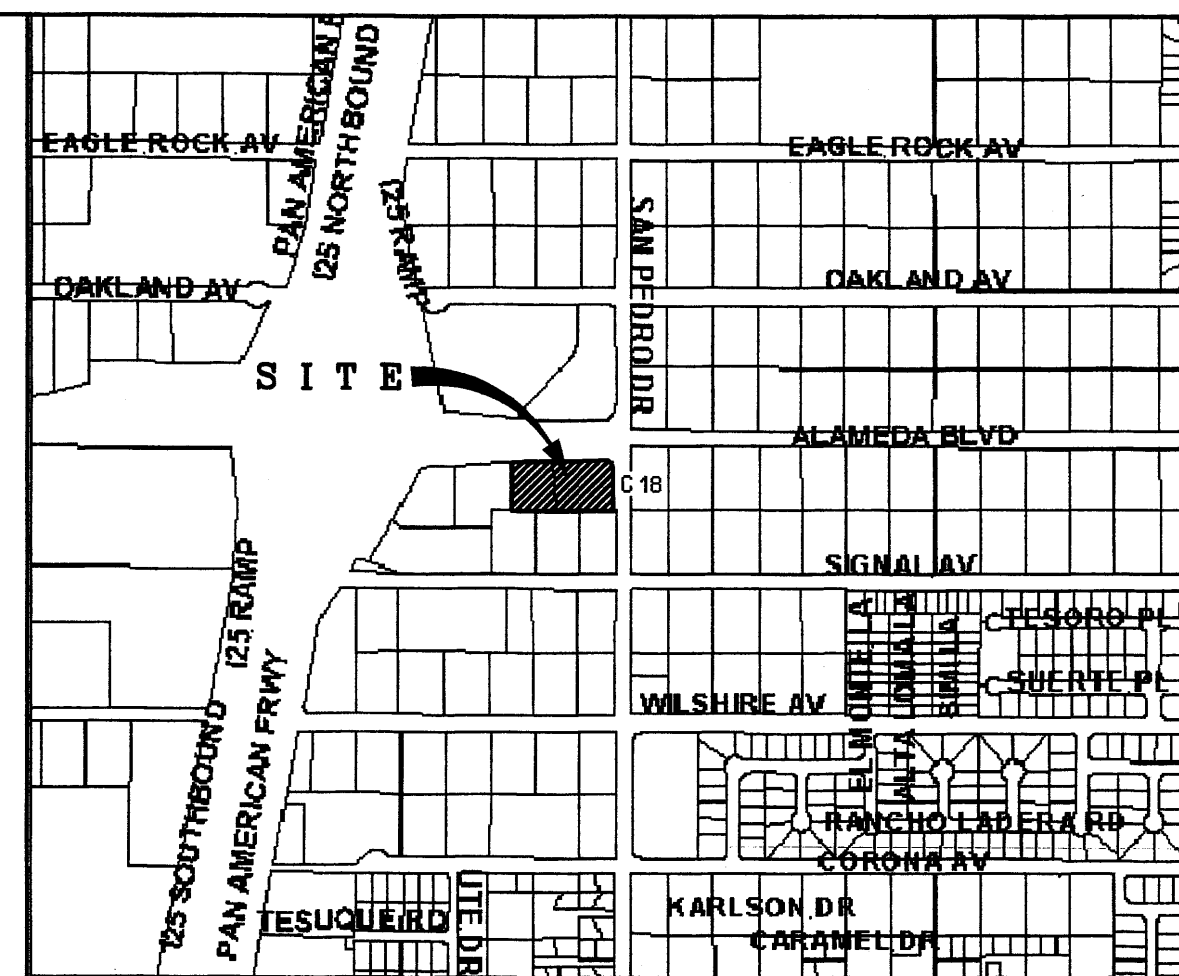
THE PARKING LOT IS BEING USED AS THE DETENTION POND. THE ALLOWABLE DISCHARGE IS 0.76 cfs, AND THE REQUIRED VOLUME IS 880 cf. THE ACTUAL PEAK DISCHARGE IS 0.69 cfs AND THE VOLUME IS 2397 cf. THE MAXIMUM WATER SURFACE ELEVATION IS 16.59. THE DISCHARGE PIPE IS 4 INCHES IN DIAMETER, WHICH GOES TO THE CURB IN THE ENTRANCE DRIVE.

KEYED NOTES

1. HEADER CURB PER C.O.A. STD DETAIL #2415.
2. 2" WIDE SIDEWALK CULVERT PER C.O.A. STD DETAIL #2236.
3. STRUCTURAL RETAINING WALL DESIGN BY OTHERS.
4. CLEANOUT PER DETAIL THIS SHEET.
5. SINGLE TYPE "D" INLET PER C.O.A. STD DETAIL #2206. 16" IS 15.84 INCHES.
6. 6" DIAMETER SDR 26 STORM PIPE @ 2.16% SLOPE.



SINGLE PRESSURE TYPE CLEAN-OUT
N.T.S.



VICINITY MAP ZONE MAP: C-18-Z

T B M (TEMPORARY BENCHMARK)

TOP OF EXISTING FIRE HYDRANT LOCATED NORTH OF ALAMEDA BLVD & WEST OF SITE. ELEVATION= 5209.89

ACS BENCHMARK

THE STATION IS LOCATED 6.8 MILES NORTHEAST OF DOWNTOWN ALBUQUERQUE. THE STATION MARK IS A STANDARD ACS ALUMINUM CAP STAMPED "9-C18 1985". IT IS RIVETED TO A 2-1/2" ALUMINUM TUBE WITH THE CAP PROJECTING 0.05 FT. ABOVE THE GROUND.

THE REACH THE STATION FROM THE INTERSECTION OF I-40 AND LOUISIANA BLVD. GO NORTH ON LOUISIANA BLVD 5.8 MILES TO WILSHIRE AVE., GO WEST ON WILSHIRE AVE. 0.5 MILES TO SAN PEDRO BLVD., THE STATION IS ON THE LEFT.
X = 402,255.61
Y = 1,521,435.09
Z = 5229.79

LEGAL DESCRIPTION

LOT 22-D-1, BLOCK 12, NORTH ALBUQUERQUE ACRES, TRACT A, UNIT B, BERNALILLO COUNTY, NEW MEXICO.

LEGEND

- EXISTING PROPERTY LINE
- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- EXISTING CONCRETE
- EXISTING PROPOSED TOP OF CURB ELEVATION
- EXISTING PROPOSED FLOWLINE ELEVATION
- EXISTING STORM SEWER MANHOLE
- EXISTING STORM SEWER DROP INLET
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- EXISTING TRANSFORMER
- EXISTING OVERHEAD ELECTRIC LINE
- EXISTING POWER POLE
- EXISTING ELECTRIC BOX
- EXISTING LIGHT POLE
- EXISTING STREET LIGHT
- EXISTING SIGN
- PROPOSED CONTOUR
- PROPOSED TOP OF CURB ELEVATION
- PROPOSED FLOWLINE ELEVATION
- PROPOSED CONCRETE
- PROPOSED SINGLE TYPE D INLET
- PROPOSED BOLLARD/SIGN
- PROPOSED WALL
- PROPOSED STREET LIGHT
- PROPOSED SIGN
- DRAINAGE SUB-BASIN LINE
- FINISHED FLOOR ELEVATION
- PROPOSED PATIO ELEVATION
- PROPOSED TOP OF SIDEWALK ELEVATION
- PROPOSED TOP OF GRADE ELEVATION
- PROPOSED FLOW ARROW
- PROPOSED SWALE
- PROPOSED SLOPE
- PROPOSED STORM DRAIN
- PROPOSED ROOF DRAIN LOCATION
- PROPOSED TEMPORARY DESILTING BERM

MAGIC CARPET
GRADING AND DRAINAGE PLAN

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: DMG Drawn: KJS Checked: DMG Sheet 1 of 1
Scale: 1" = 20' Date: 04/16/01 Job: A00122