

April 29, 2005

Eufracio Sabay, P.E.
BJM Development Consultant
8624 Casa Verde Ave. NW
Albuquerque, NM 87120

Re: Albuquerque Sign Print, 6010 Signal Ave NE, Certificate of Occupancy Engineer's Stamp dated 8-22-04 (C18-D23)

Certification dated 4-27-05

Dear Mr. Sabay,

Based upon the information provided in your submittal received 4-29-05, the above referenced certification is approved for release of permanent Certificate of Occupancy by Hydrology.

Sincerely,

Kristal D. Metro

Engineering Associate, Planning Dept.

Development and Building Services

If you have any questions, you can contact me at 924-3981.

Albuquerque

P.O. Box 1293

New Mexico 87103

www.cabq.gov

Phyllis Villanueva

file

Albuquerque - Making History 1706-2006

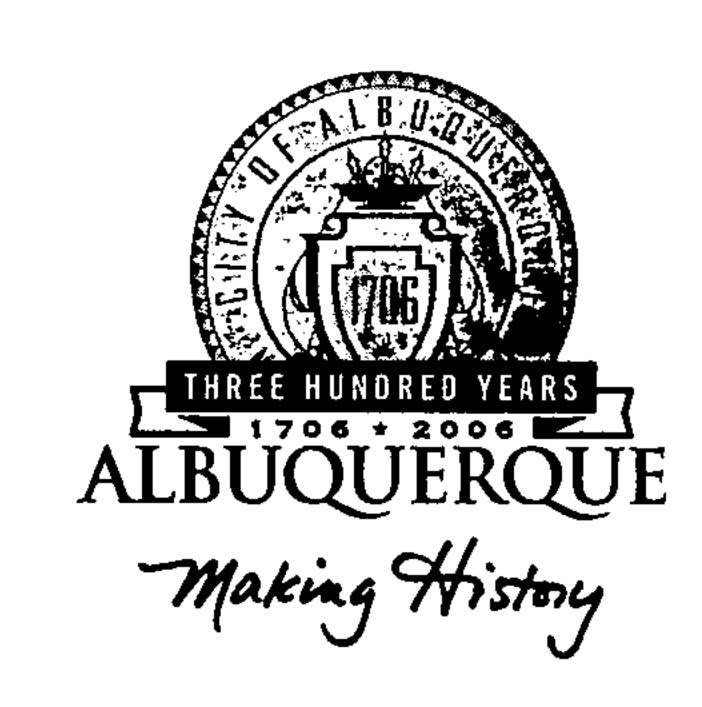


HYDROLOGY SECTION

PROJECT TITLE: ALBUQUERQUE SIGN PRINT DRB #: PC#: N/A	ZONE MAP/DRG. FILE # C18-D23 WORK ORDER#:
LEGAL DESCRIPTION: LOT 2, BLOCK 30, TRACTA, UNIT B N.A CITY ADDRESS: 6010 Signal Ave	,A. /\
ENGINEERING FIRM: BJM DEVELOPMENT CONSULTANT ADDRESS: 8624 CASA VERDE AVE. N.W. CITY, STATE: Albuquerque, New Mexico	CONTACT: BERNIE J. MONTOYA PHONE: 250-7719 ZIP CODE: 87120
OWNER: ADDRESS: CITY, STATE: Albuquerque, New Mexico	CONTACT: PHONE: ZIP CODE:
ARCHITECT: DORMAN & BREEN ARCHITECTS ADDRESS: 1524 PASEO DE PERALTA CITY, STATE: SANTA FE, NEW MEXICO	CONTACT: RON JAMES PHONE:982-9196 ZIP CODE:87501
SURVEYOR: N/A ADDRESS: CITY, STATE:	CONTACT: PHONE: ZIP CODE:
CONTRACTOR BRITTON CONSTRUCTION	CONTACT: RICK BRITTON
ADDRESS: CITY, STATE:	PHONE:268-2626 ZIP CODE:
TYPE OF SUBMITTAL: DRAINAGE REPORT DRAINAGE PLAN CONCEPTUAL GRADING & DRAINAGE PLAN GRADING PLAN EROSION CONTROL PLAN X ENGINEER'S CERTIFICATION PAVING PLAN TCL CERTIFICATION	CHECK TYPE OF APPROVAL SOUGHT: SIA / FINANCIAL GUARANTEE RELEASE PRELIMINARY PLAT APPROVAL S. DEV. PLAN FOR SUB'D. APPROVAL S. DEV. PLAN FOR BLDG. PERMIT APPROVAL SECTOR PLAN APPROVAL FINAL PLAT APPROVAL FOUNDATION PERMIT APPROVAL
RESUBMITTAL WAS A PRE-DESIGN CONFERENCE ATTENDED: YES NO COPY PROVIDED	BUILDING PERMIT APPROVAL X CERTIFICATE OF OCCUPANCY APPROVAL GRADING PERMIT APPROVAL PAVING PERMIT APPROVAL WORK ORDER APPROVAL OTHER (SPECIFY) CERTIFICATION
DATE SUBMITTED: 04-28-2005	BY: Serre Montge

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



September 1, 2004

Eufracio Sabay, P.E.
BJM Development Consultant.
8624 Casa Verde Ave. NW
Albuquerque, NM 87120

Re: Albuquerque Sign Print, Signal Ave NE, Grading and Drainage Plan Engineer's Stamp dated 8-22-04 (C18-D23)

Dear Mr. Sabay,

File

Based upon the information provided in your submittal received 8-25-04, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3981.

Albuquerque

P.O. Box 1293

New Mexico 87103

www.cabq.gov

Kristal D. Metro

Sincerely.

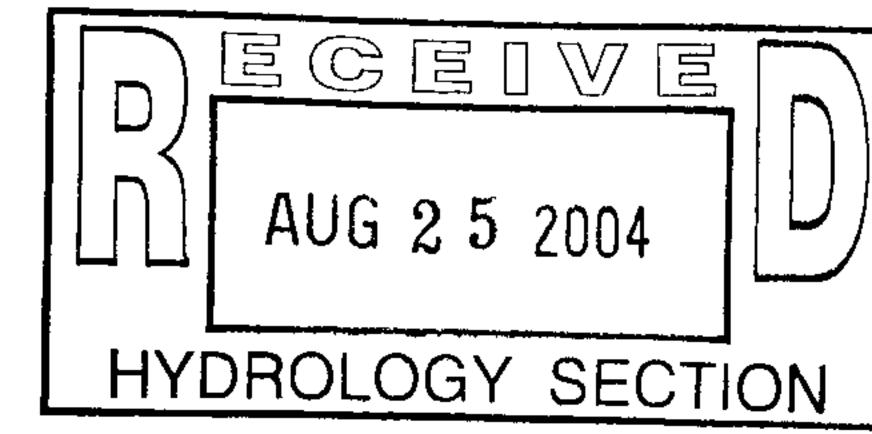
Engineering Associate, Planning Dept. Development and Building Services

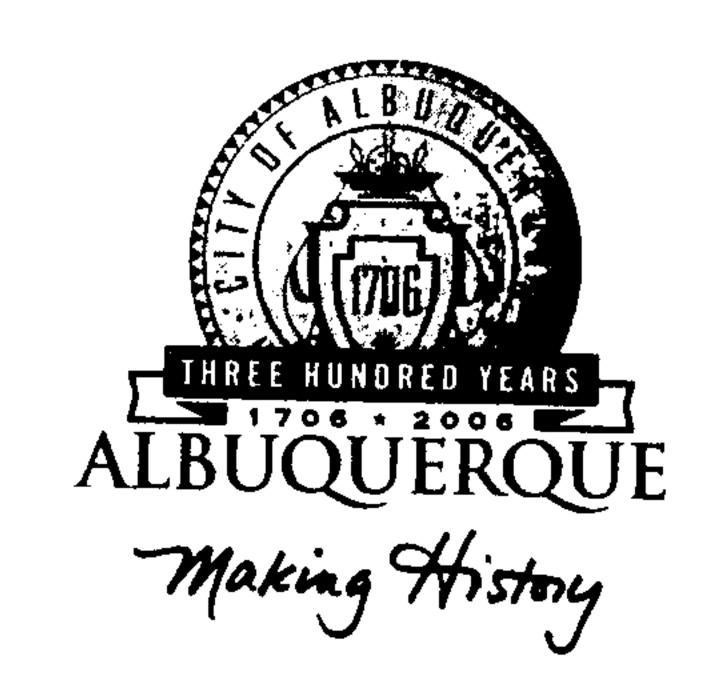
DRAINAGE INFORMATION SHEET C-18 D23

PROJECT TITLE: ALBUQUERQUE SIGN PRINT DRB #: PC#: N/A	ZONE MAP/DRG. FILE # C18-D23 WORK ORDER#:
LEGAL DESCRIPTION: LOT 2, BLOCK 30, TRACTA, UNIT B N.A.A. CITY ADDRESS:	
ENGINEERING FIRM: BJM DEVELOPMENT CONSULTANT ADDRESS: 8624 CASA VERDE AVE. N.W. CITY, STATE: Albuquerque, New Mexico	CONTACT: BERNIE J. MONTOYA PHONE: 250-7719 ZIP CODE: 87120
OWNER: ADDRESS: CITY, STATE: Albuquerque, New Mexico ARCHITECT: DORMAN & BREEN ARCHITECTS ADDRESS: 1524 PASEO DE PERALTA	CONTACT: PHONE: ZIP CODE: CONTACT: RON JAMES PHONE:982-9196 ZIP CODE:87501
CITY, STATE: SANTA FE, NEW MEXICO SURVEYOR: N/A ADDRESS: CITY, STATE:	CONTACT: PHONE: ZIP CODE:
CONTRACTOR BRITTON CONSTRUCTION ADDRESS: CITY, STATE:	CONTACT: RICK BRITTON PHONE:268-2626 ZIP CODE:
TYPE OF SUBMITTAL: DRAINAGE REPORT X DRAINAGE PLAN CONCEPTUAL GRADING & DRAINAGE PLAN GRADING PLAN EROSION CONTROL PLAN ENGINEER'S CERTIFICATION PAVING PLAN TCL CERTIFICATION X RESUBMITTAL WAS A PRE-DESIGN CONFERENCE ATTENDED: YES NO COPY PROVIDED	CHECK TYPE OF APPROVAL SOUGHT: SIA / FINANCIAL GUARANTEE RELEASE PRELIMINARY PLAT APPROVAL S. DEV. PLAN FOR SUB'D. APPROVAL S. DEV. PLAN FOR BLDG. PERMIT APPROVAL SECTOR PLAN APPROVAL FINAL PLAT APPROVAL X FOUNDATION PERMIT APPROVAL CERTIFICATE OF OCCUPANCY APPROVAL GRADING PERMIT APPROVAL PAVING PERMIT APPROVAL WORK ORDER APPROVAL OTHER (SPECIFY) CERTIFICATION
DATE SUBMITTED:BY:	

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.





August 16, 2004

Eufracio Sabay, P.E. BJM Development Consultant 8624 Casa Verde Ave. NW Albuquerque, NM 87120

Albuquerque Sign Print, Signal Ave NE, Grading and Drainage Plan Re: Engineer's Stamp dated 8-02-04 (C18-D23)

Dear Mr. Sabay,

Based upon the information provided in your submittal received 8-03-04, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

P.O. Box 1293

- The work outside the right of way must be built through the work order process. Therefore, a SO-19 permit is not needed.
- Inverts must be provided for the proposed 12" RCP.

Albuquerque

- 3. Please address offsite flows.
- 4. The orifice plate must be placed at the 12" RCP.
- 5. Define the extents of the existing ditch shown along Signal Avenue

New Mexico 87103

6. Provide additional spot elevations within the southern half of the lot to demonstrate how the flow will reach the pond. Currently, the flow appears to pond along the sides of the building.

www.cabq.gov

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE

Principal Engineer, Planning Dept. Development and Building Services

File

DRAINAGE INFORMATION SHEET

PROJECT TITLE: ALBUQUERQUE SIGN PRINT DRB #: PC#: N/A	ZONE MAP/DRG. FILE # C18-D分3 WORK ORDER#:
LEGAL DESCRIPTION: LOT 2, BLOCK 30, TRACTA, UNIT B N.A.A. CITY ADDRESS:	
ENGINEERING FIRM: BJM DEVELOPMENT CONSULTANT ADDRESS: 8624 CASA VERDE AVE. N.W. CITY, STATE: Albuquerque, New Mexico	CONTACT: BERNIE J. MONTOYA PHONE: 250-7719 ZIP CODE: 87120
OWNER: ADDRESS: CITY, STATE: Albuquerque, New Mexico	CONTACT: PHONE: ZIP CODE:
ARCHITECT: DORMAN & BREEN ARCHITECTS ADDRESS: 1524 PASEO DE PERALTA CITY, STATE: SANTA FE, NEW MEXICO	CONTACT: RON JAMES PHONE:982-9196 ZIP CODE:87501
SURVEYOR: N/A ADDRESS: CITY, STATE:	CONTACT: PHONE: ZIP CODE:
CONTRACTOR BRITTON CONSTRUCTION	CONTACT: RICK BRITTON
ADDRESS: CITY, STATE:	PHONE:268-2626 ZIP CODE:
DRAINAGE REPORT X DRAINAGE PLAN CONCEPTUAL GRADING & DRAINAGE PLAN GRADING PLAN EROSION CONTROL PLAN ENGINEER'S CERTIFICATION PAVING PLAN TCL CERTIFICATION RESUBMITTAL WAS A PRE-DESIGN CONFERENCE ATTENDED: YES NO COPY PROVIDED	HECK TYPE OF APPROVAL SOUGHT: SIA / FINANCIAL GUARANTEE RELEASE PRELIMINARY PLAT APPROVAL S. DEV. PLAN FOR SUB'D. APPROVAL S. DEV. PLAN FOR BLDG. PERMIT APPROVAL FINAL PLAT APPROVAL FINAL PLAT APPROVAL TOUNDATION PERMIT APPROVAL CERTIFICATE OF OCCUPANCY APPROVAL GRADING PERMIT APPROVAL PAVING PERMIT APPROVAL WORK ORDER APPROVAL OTHER (SPECIFY) CERTIFICATION
DATE SUBMITTED: 08/03/2004	BY: Sem / Matega
Requests for approvals of Site Development Plans and/or Subcommon Pl	lopment define the degree of drainage detail. One or mor

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five

(5) acres and Sector Plans.

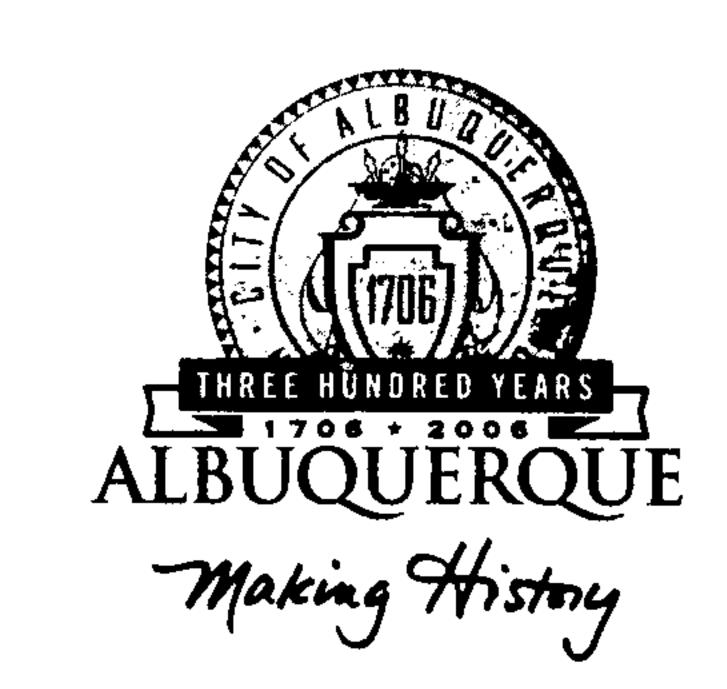
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5)

acres.

3. Drainage Report: Required for subdivisions containing more than ten (19) lots or constituting five (5) acres or more.

HYDROLOGY SECTION

۹- ,



Planning Department Transportation Development Services Section

April 27, 2005

Mark Baczek, Registered Architect 13604 Rebonito Court, NE Albuquerque, NM 87112

Re:

Certification Submittal for Final Building Certificate of Occupancy for

Albuquerque Sign Print Co., [C-18 / D-23]

6010 Signal Ave NE

Architect's Stamp Dated 04/25/05

Dear Mr. Baczek:

P.O. Box 1293

The TCL / Letter of Certification submitted on April 25, 2005 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the <u>Building</u> and Safety Section.

Albuquerque

Sincerely,

New Mexico 87103

www.cabq.gov

Nilo E. Salgado-Fernandez, P.E.

Senior Traffic Engineer

Development and Building Services

Planning Department

c:

Engineer -Hydrology file -CO Clerk

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

PROJECT TITLE: Albuquerque Sign Print C	o.		ZO	NE MAP: C-18-123	
DRB#: 1003550 EPC#: NA			WORK ORDER#:		
LEGAL DESCRIPTION: Lot 2, Block 30, Tract A,	Unit B, N	North Albi	uq. Acres		
CITY ADDRESS: 6010 Signal Ave. NE, 87113					
ENGINEERING FIRM: Eufracio Sabay			CONTACT:	Bernie Montoya	
ADDRESS: 8624 Casa Verde Ave. NW			PHONE: 25	0-7719	
CITY, STATE: Albuquerque, NM	CITY, STATE: Albuquerque, NM		ZIP CODE:	87120	
OWNER: Albuquerque Sign Print Co			CONTACT:	James Oliver	
ADDRESS: 6010 Signal Ave. NE			PHONE:	294-7446	
CITY, STATE: Albuquerque, NM			ZIP CODE:	87113	
ARCHITECT: Dorman/Breen Architects			CONTACT:	Mark Baczek	
ADDRESS: 10305 Timan Pl NW			PHONE:	792-8160	
CITY, STATE: Albuquerque, NM			ZIP CODE:	87114	
SURVEYOR: Advanced Engineering & Britton C	onstructio	on	CONTACT:	Sean Baizar or Rick Britton	
ADDRESS: 4416 Anahiem Ave. NE			PHONE:	899-5570	
CITY, STATE: Albuquerque, NM			ZIP CODE:	87113	
CONTRACTOR: Britton Construction Co.			CONTACT:	Rick Britton	
ADDRESS: PO Box 80194			PHONE:	268-2626	
CITY, STATE: Albuquerque, NM			ZIP CODE:	87198	
TYPE OF SUBMITTAL:	<u>CHECK</u>	TYPE OF	APPROVA	L SOUGHT:	
DRAINAGE REPORT		SIA/FINA	ANCIAL GU	JARANTEE RELEASE	
DRAINAGE PLAN 1 st SUBMITTAL		PRELIM	INARY PLA	T APPROVAL	
DRAINAGE PLAN RESUBMITTAL		S. DEV.	PLAN FOR	SUB'D APPROVAL	
CONCEPTUAL G & D PLAN		S. DEV.	FOR BLDG.	PERMIT APPROVAL	
GRADING PLAN			PLAN APP		
EROSION CONTROL PLAN		•	LAT APPRO		
ENGINEER'S CERT (HYDROLOGY)		•		MIT APPROVAL	
CLOMR/LOMR		•		APPROVAL	
TRAFFIC CIRCULATION LAYOUT	X			CCUPANCY (PER)	
ENGINEER'S CERT (TCL)				APPROVAL	
ENGINEER'S CERT (DRB SITE PLAN) OTHER			PERMIT A		
OTHEK			ORDER APP (SPECIFY)	ROVAL	
WAS A PRE-DESIGN CONFERENCE ATTENDED YES	D:				
NO					
XCOPY PROVIDED					
DATE SUBMITTED: 4/25/05		BY: MAI	RK BACZEK	<u> </u>	

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.

Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or independent.



4/25/05

Traffic Circulation Layout Substantial Compliance Certificate 6010 Signal Ave. NE

Albuquerque, New Mexico 87113

Legal Description: Lot 2, Block 30, Tract A, Unit B, North Albuq. Acres, Bernallilo County, New Mexico

Location: Located east of San Pedro Blvd., South of Alameda Blvd. NE.

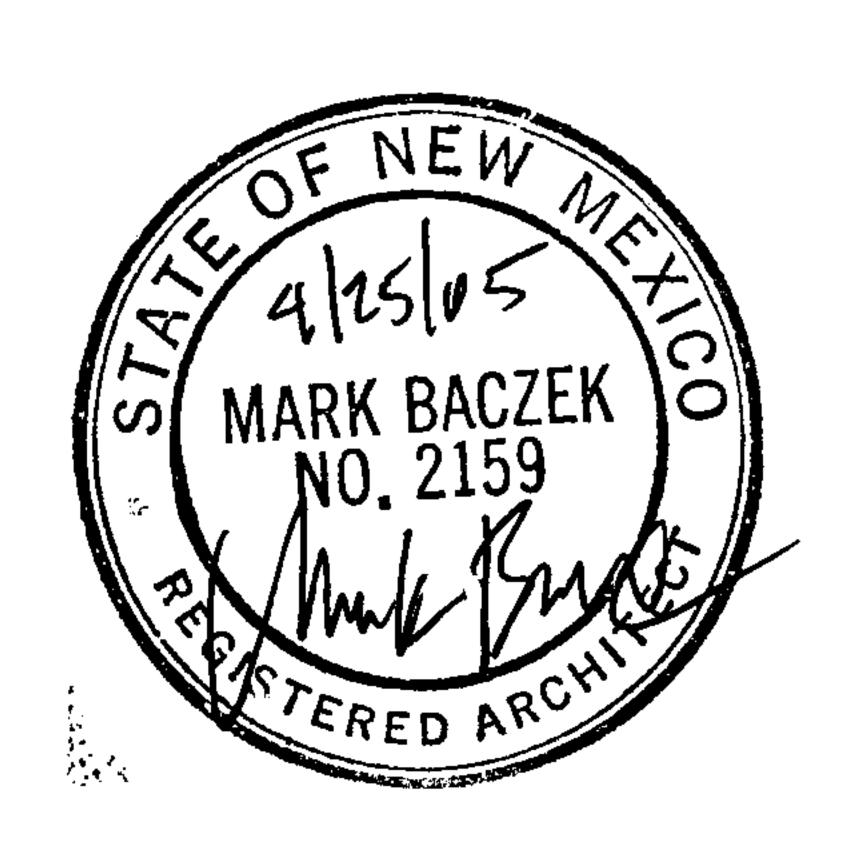
Building Permit No.:

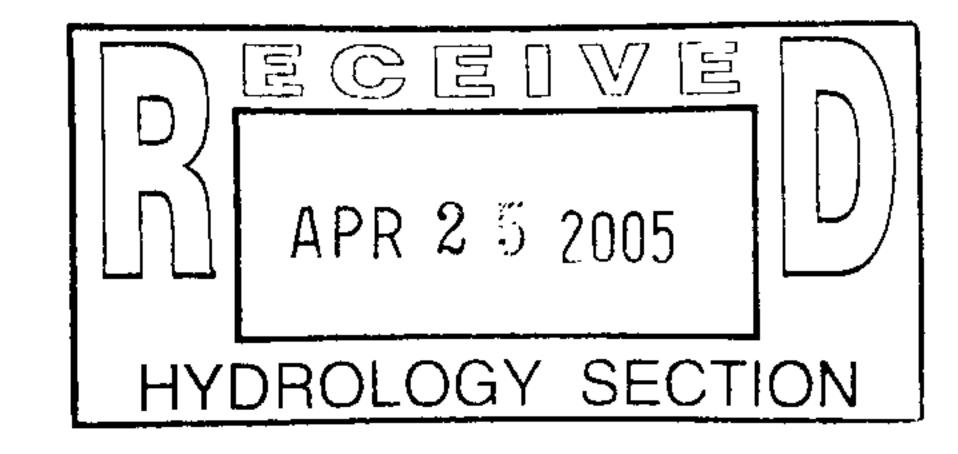
This letter is to note for the record that I have inspected the construction improvements to the site noted above & have found the construction improvements to be "Substantially Compliant" with the approved Traffic Circulation Layout (TCL), as approved by the traffic department for the building permit.

See attached copy of approved DRB site plan.

Mark Baczek, AIA

Dorman & Breen Architects







City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

March 28, 1995

Jeff Mortensen Jeff Mortensen & Associates 6010-B Midway Park Blvd. NE Albuquerque, NM 87108

N.

RE: ENGINEER CERTIFICATION FOR LASERTECHNICS (C18-D23) CERTIFICATION STATEMENT DATED 3/21/95.

Dear Mr. Mortensen:

Based on the information provided on your March 22, 1995 submittal, Engineer Certification for the above referenced site is acceptable.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

Bernie J. Montoya, CE Engineering Associate

BJM/dl

c: Andrew Garcia

File

PROJECT TITLE:	LASBRIECHNICS	ZONE ATLAS/DRN	G. FILE #: <u>C18/D23</u>
DRB #:		 	ORDER #:
LEGAL DESCRIPTION	ON: TR CA, BL	14, N. A	Sulunque Acres
CITY ADDRESS:		JILSHRE	
ENGINEERING FIRE	M: JEFF MOERENSEN & A:	CONTACT:	JEFF MORTENSEN
ADDRESS: 4	010-B MIDWAY PARK BLY	O NE: _	345-4250
OWNER:	SELTECHNICS	CONTACT:	CONTRACTOR
ADDRESS:	5500 WILSHUE	JS PHONE:	
ARCHITECT:	AKT AREHICUTE	CONTACT:	CONTRAUTOR
ADDRESS:		PHONE:	·- ···································
SURVEYOR:	F MORTENSEN & ASSOC	CONTACT:	JEFF MORTENSEN
ADDRESS: 4	1010-B MIDWAY PARK BL	MY PHONE:	345-4-250
CONTRACTOR:	BANCS SOUTHWES	CONTACT:	CHUS TSAGUS
ADDRESS:	100 FRON 51	PHONE:	344-3461
GRADING PI	PLAN C GRADING & DRAINAGE PLAN LAN ONTROL PLAN C CERTIFICATION FING:	S. DEV. PLA S. DEV. PLA SECTOR PLAN FINAL PLAT FOUNDATION BUILDING PR CERTIFICATI GRADING PER PAVING PERI S.A.D. DRA	T APPROVAL Y PLAT APPROVAL AN FOR SUB'D. APPROVAL AN FOR BLDG. PERMIT APPROVAL N APPROVAL
DATE SUBMITTED BY:	: 03-21-95 ICHREY G. MOX	276456	MAR 22:



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

January 31, 1995

Jeff Mortensen Jeff Mortensen & Associates 6010-Midway Park Blvd. NE Albuquerque, NM 87109

RE: DRAINAGE PLAN FOR AN ADDITION TO LASERTECHNICS (C18-D23) ENGINEER'S STAMP DATED 1/23/95.

Dear Mr. Mortensen:

Based on the information provided on your January 24, 1995 submittal, the above referenced site is approved for Building Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Also, prior to Certificate of Occupancy release, Engineer Certification per the D.P.M. checklist will be required.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

Serne Montaya Bernie J. Montoya, CE Engineering Associate

BJM/dl

c: Andrew Garcia File

DRAINAGE INFORMATION SHEET

PROJECT TITLE: <u>LASER TECHNICS</u>	
DRB #: EPC #:	
LEGAL DESCRIPTION: TRACT 6A, BLOCK 14, MONTH	I
ENGINEERING FIRM: TEFF MONTENSEN & ASSO	
ADDRESS: 6010-B MIDWAY PARK NE	PHONE: 345 4250
OWNER: LASERTECHNICS	CONTACT: <u>CHRIS TEASUE</u>
ADDRESS: 5500 WILSHIRE NE	PHONE: 344 346/
ARCHITECT: AKT ARCHITECTS	CONTACT: KENT TRAVER NICHT
ADDRESS: P.O. BOX 3366	PHONE: <u>281-9560</u>
SURVEYOR: BAINES SW	CONTACT: <u>CHRIS TEASUE</u>
ADDRESS: 100 TRON AVE SE.	PHONE: 344 3461
CONTRACTOR: BAINES SW	CONTACT: <u>CHRIS TEASUE</u>
ADDRESS: 100 TRON AVE SF.	PHONE: 344 346/
TYPE OF SUBMITTAL:	CHECK TYPE OF APPROVAL SOUGHT:
DRAINAGE REPORT	SKETCH PLAT APPROVAL
MAINAGE PLAN	PRELIMINARY PLAT APPROVAL
CONCEPTUAL GRADING & DRAINAGE PLAN	S. DEV. PLAN FOR SUB'D. APPROVAL
GRADING PLAN	S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
EROSION CONTROL PLAN	SECTOR PLAN APPROVAL
ENGINEER'S CERTIFICATION	FINAL PLAT APPROVAL
OTHER	FOUNDATION PERMIT APPROVAL
	BUILDING PERMIT APPROVAL
PRE-DESIGN MEETING:	CERTIFICATE OF OCCUPANCY APPROVAL
YES	GRADING PERMIT APPROVAL
NO	PAVING PERMIT APPROVAL
COPY PROVIDED	S.A.D. DRAINAGE REPORT '
	DRAINAGE REQUIREMENTS
	OTHER (SPECIFY)
•	DEGEDYEN
DATE SUBMITTED: 1/24/95	JAN 2 1 1995
BY: STUART KAESTVER	