

DRIVETIME at ALAMEDA/SAN MATEO
DRAINAGE CERTIFICATION

I, Diane Hoelzer, NMPE 11967, of the firm Mark Goodwin & Associates, P.A., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 8/19/2004. The record information edited onto the original design document has been obtained by Larry Madrano, of the firm Precision Surveys, Inc. (NMPS 11993). I further certify that I have personally visited the project site on 10/12/05, and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Grading Certification approval. C.O.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Diane Hoelzer 10/12/05
DIANE HOELZER NMPE 11967



HYDROLOGY NOTES

THE SOUTHWEST CORNER OF THIS SITE IS IN THE 100 YEAR FLOOD PLAIN, ZONE AO, PER F.I.R.M. MAP PANEL 137 DATED 11/19/03. THE BUILDING WILL NOT BE WITHIN THE FLOODPLAIN. A DETENTION POND WILL BE ALONG THE WEST & SOUTH SIDES OF THE SITE.

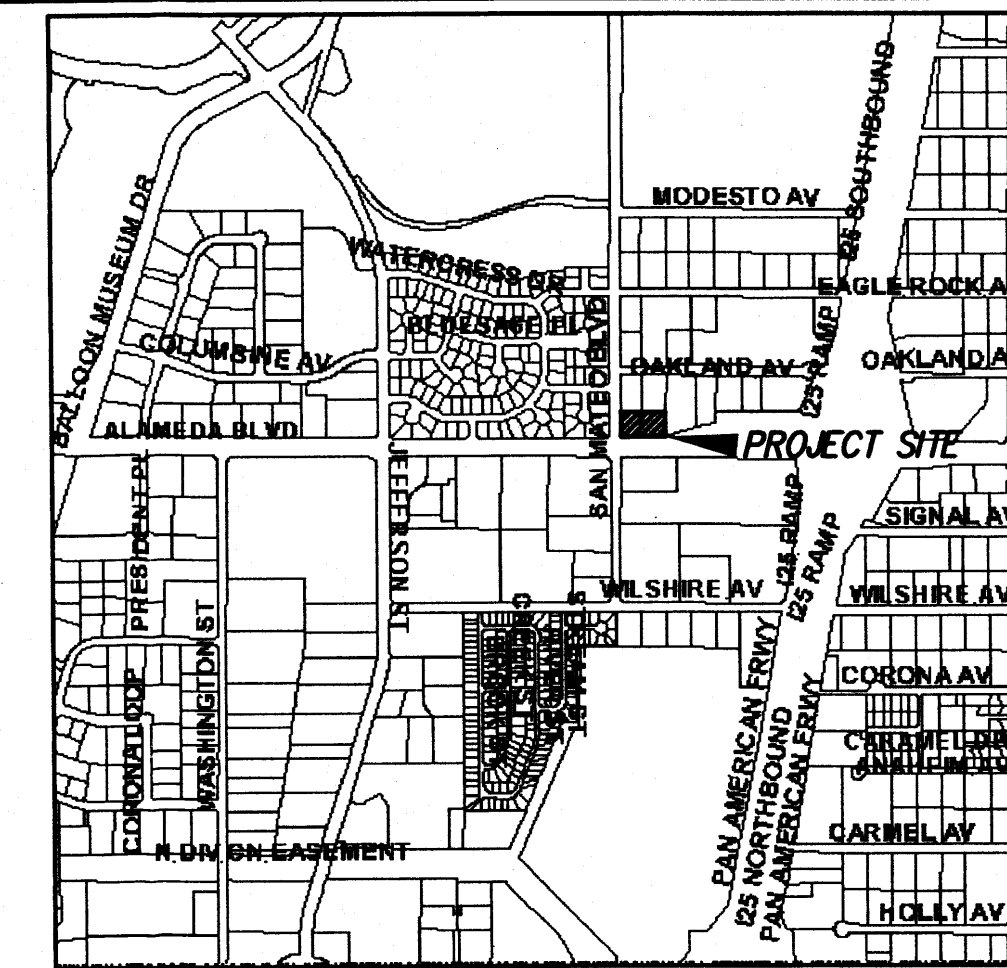
THIS SITE (BASIN "A") IS 1.23 AC. PER AHYMO, THE DEVELOPED FLOW IS 4.93 cfs FOR 82% TYPE "D" & 38% TYPE "B". NO FLOW IS COMING FROM THE NORTH, SOUTH, OR WEST. 0.24 cfs IS COMING FROM THE EAST (BASIN "B") FOR 100% TYPE "A".

PER THE "OAKLAND AVENUE DRAINAGE PLAN" BY JEAN BORDENAVE, 1996, THIS SITE IS IN BASIN "A3", WHICH IS ALLOWED TO DISCHARGE 1.78 cfs/AC. AS A RESULT, THE TOTAL ALLOWABLE DISCHARGE FOR THE COMBINED BASINS IS 2.42 cfs.

PONDING IS NECESSARY TO KEEP THE DISCHARGE BELOW 2.19 cfs. THE ACTUAL DISCHARGE TO SAN MATEO IS 1.47 cfs. THE POND WILL DISCHARGE THRU AN 8" PVC PIPE TO A SIDEWALK CULVERT, TO A 1.5" WIDE CONCRETE CHANNEL, AND FINALLY TO SAN MATEO. THE WATER WILL FLOW NORTH TO INLETS IN SAN MATEO.

NOTES

1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
2. CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION SHALL GOVERN ALL WORK.
3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
5. THE EARTHWORK CONTRACTOR SHALL STOCKPILE ENOUGH MATERIAL ADJACENT TO RETAINING WALL LOCATIONS TO BE UTILIZED FOR WALL BACKFILL.



VICINITY MAP ZONE MAP: C-17-Z

LEGAL DESCRIPTION

LOT 31-A, BLOCK 11, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES, SITUATE WITHIN THE ELENA GALLEGOS GRANT, PROJECTED SECTION 13, TOWNSHIP 11 NORTH, RANGE 3 EAST, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

KEYED NOTES

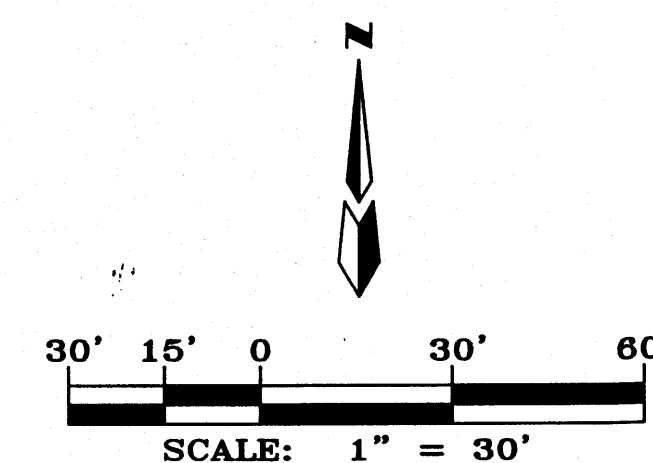
1. PROPOSED 1' WIDE CURB OPENING.
2. PROPOSED 1.5' WIDE SIDEWALK CURVERT.
3. PROPOSED 1.5' WIDE CONCRETE RUNDOWN.
4. PROPOSED 4' LONG, 8" PVC PIPE.
5. 3' WIDE x 6' LONG x 1' DEEP, 4"-6" RIP-RAP PAD

LEGEND

- 4893 — EXISTING CONTOUR (MAJOR)
- 4895 — EXISTING CONTOUR (MAJOR)
- x 00.00 EXISTING SPOT ELEVATION
- ===== EXISTING CONCRETE CURB
- TC=64.77 EXISTING TOP OF CURB ELEVATION
- FL=64.30 EXISTING FLOWLINE ELEVATION
- ===== EXISTING CONCRETE/SIDEWALK
- x-x-x- EXISTING FENCE
- + EXISTING SIGN
- ⊗ EXISTING STREET LIGHT
- △ EXISTING TRAFFIC LIGHT
- EXISTING SIGNAL PULLBOX
- ⊙ EXISTING STORM SEWER MANHOLE
- ⊞ EXISTING DROP INLET (38" LONG)
- 48.00 • PROPOSED SPOT ELEVATION
- 48.00 PROPOSED TOP CURB ELEVATION
- 47.50 PROPOSED FLOWLINE ELEVATION
- 5.0% PROPOSED FLOW DIRECTION
- NEW CONCRETE CURB
- NEW BASIN BOUNDARY LINE

EASEMENTS

- (A) 25' PUBLIC WATER & SANITARY SEWER EASEMENT.
- (B) 15' WIDE PRIVATE ACCESS EASEMENT GRANTED TO LOT 30-A FOR THE BENEFIT OF LOT 30-A.



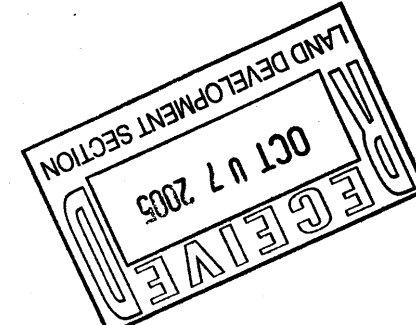
dmg MARK GOODWIN & ASSOCIATES, P.A.
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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

TITLE: **DRIVETIME
GRADING & DRAINAGE PLAN**

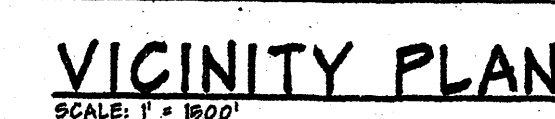
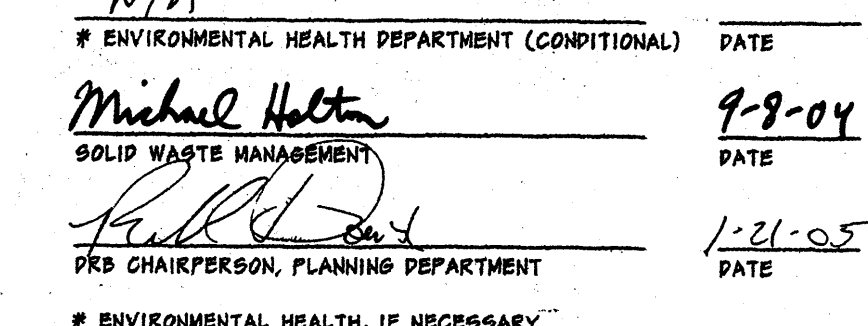
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
CITY PROJECT NO. 748481	ZONE MAP NO. C-17-Z	SHEET 1	OF 1

A4043DVT/A4043gd-c.dwg/08-18-04 DER



STEPHENCADAY @ LOBO.NET

SHEET NUMBER
C1.1



SITE AREA	47,554 SF
LESS BUILDING	(9,226 SF)
NET AREA	44,328 SF
LANDSCAPING AREA REQUIRED AT 10%	6,648 SF
LANDSCAPING AREA PROVIDED	14,020 SF

