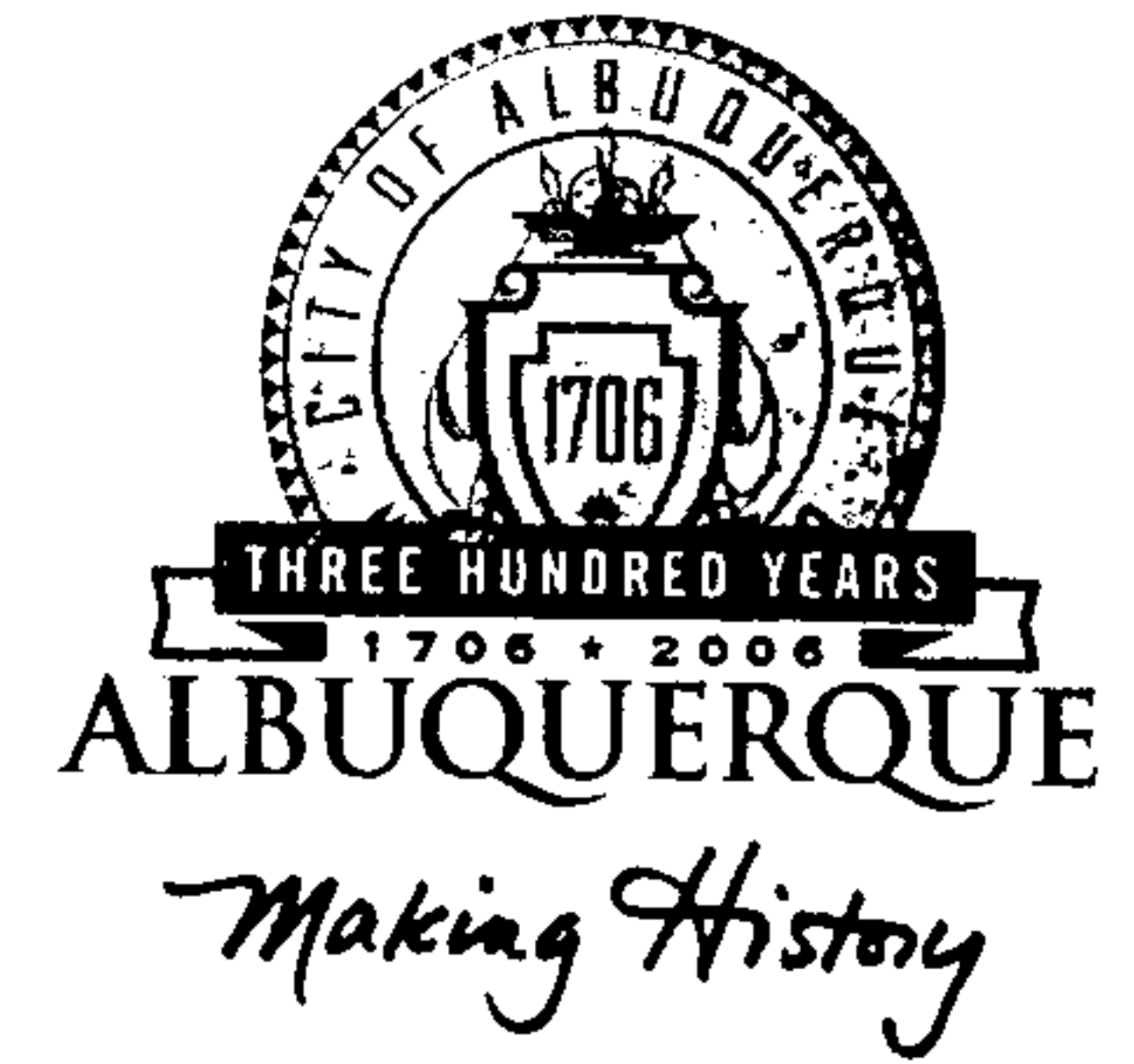


CITY OF ALBUQUERQUE



January 17, 2006

John A. Tellez, P.E.
Wilson & Company Inc., E&A
4800 Lang Ave. NW
Albuquerque, NM 87109

Re: TruGreen Chemlawn, 6219 Corona Ave. NE
Grading and Drainage Plan
Engineer's Stamp dated 1-4-06 (C18-D34)

*Not
Built*

Dear Mr. John A. Tellez,

Based upon the information provided in your submittal received 1-04-06, the above referenced plan is approved for Building Permit, Grading Permit and Paving Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. **Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.**

P.O. Box 1293

Albuquerque

New Mexico 87103

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. If you have any questions regarding this permit please feel free to call the DMD Storm Drainage Design section at 768-3654 (Charles Caruso).

If you have any questions, you can contact me at 924-3695.

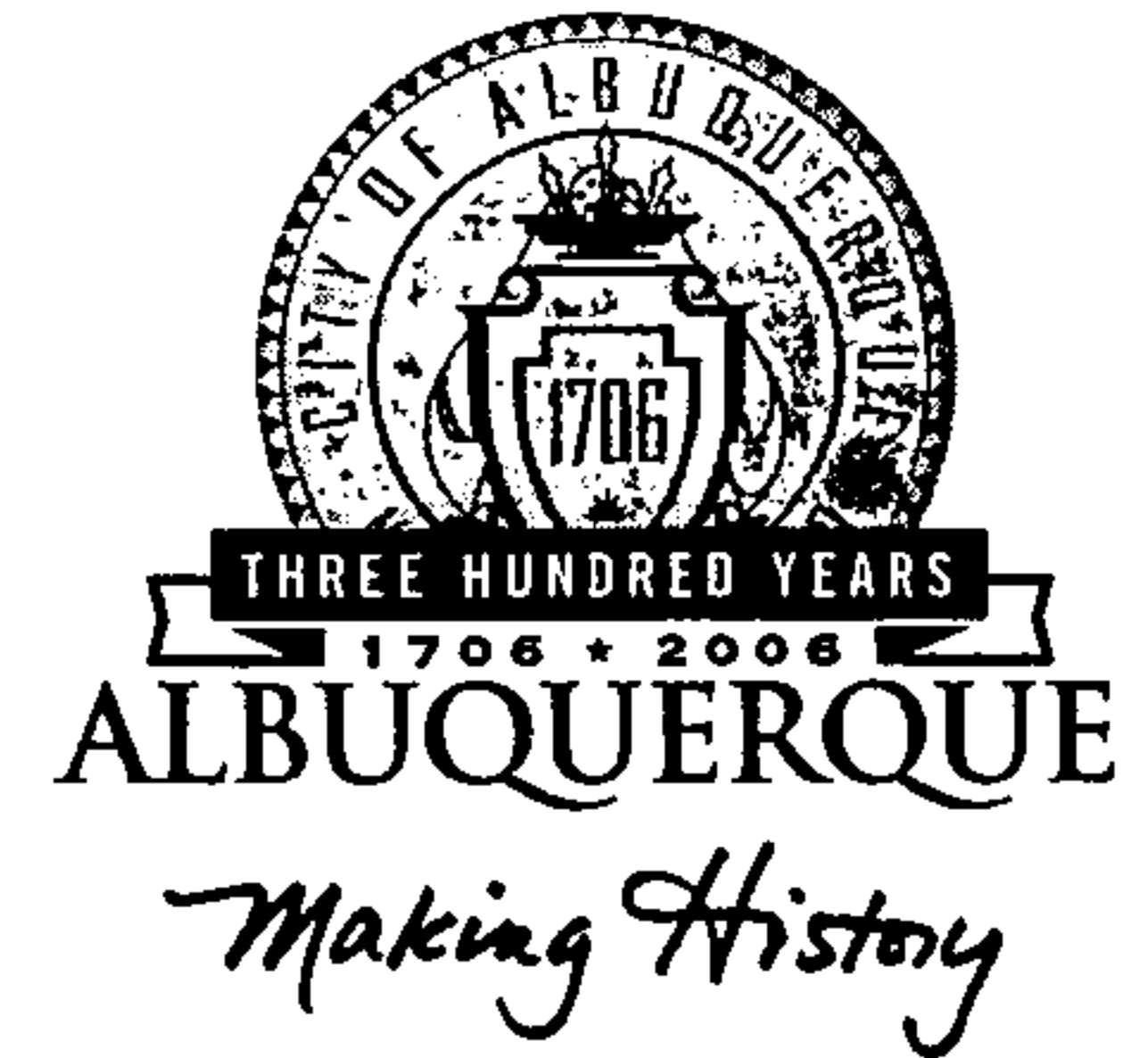
www.cabq.gov

Sincerely,

Rudy E. Rael, Associate Engineer
Planning Department.
Development and Building Services

C: Charles Caruso, DMD Storm Drainage Design
File

CITY OF ALBUQUERQUE



January 6, 2006

John A. Tellez, P.E.
Wilson & Company
4900 Lang Ave. NE
Albuquerque, NM 87109

**Re: Trugreen Chemlawn, 6219 Corona Ave. NE, Traffic Circulation
Layout Architect's / Engineer's Stamp dated 01-04-06 (C-18-D34)**

Dear Mr. Tellez,

Based upon the information provided in your submittal received 01-04-06, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

P.O. Box 1293

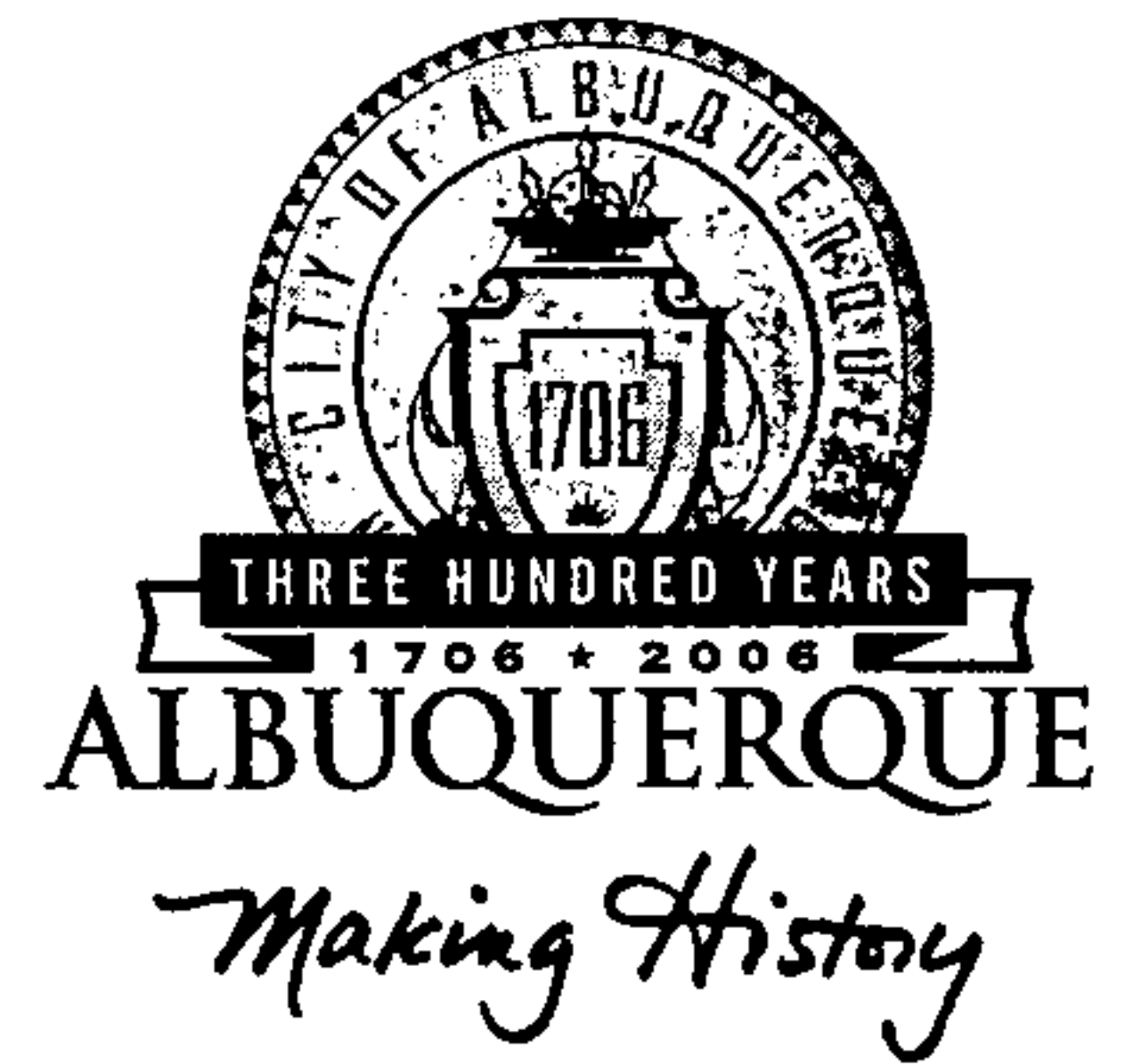
Albuquerque

New Mexico 87103

www.cabq.gov

1. Due to the zoning, a DRB approved site plan will be required. Enclosed is the criteria that will be required.
2. For passenger vehicles, the minimum end island radius is 15 feet.
3. Please list the width and length for all parking spaces.
4. List the number of parking spaces required by the zoning code as well as the proposed number of parking spaces.
5. Please include two copies of the traffic circulation layout at the next submittal.
6. Please note that the 2-foot overhang is not allowed to encroach on the 6 foot required width of sidewalk. Also, all standard parking spaces have a minimum length of 18 feet. Therefore, the sidewalk can be 8 feet wide with a 2-foot overhang, or the parking spaces must be 20 feet in length with bumpers.
7. Where will the refuse be located? Solid waste approval will need to be obtained.
8. Provide the width of the entrance drive isle.
9. All interior radius need to be 15'.
10. Confirm that the entrance is acceptable as a drive pad, or does it need to be a radius entrance? The entrance radii will need to be 25'.
11. Is there sidewalk on San Pedro? Provide the location, existing condition, and the width.
12. All required information will need to be submitted on one plan.

CITY OF ALBUQUERQUE



If you have any questions, you can contact me at 924-3991.

Sincerely,

A handwritten signature in black ink, appearing to read "W. Gallegos".

Wilfred A. Gallegos, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: file

WAG: tes

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003)

PROJECT TITLE: TRUGREEN CHEMLAWN ZONE MAP/DRG. FILE#: C-18 /D34

DRB#: _____ EPC#: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: LOT 19A AND LOT 17, BLOCK 14, N ABQ ACRES TR A UNIT B

CITY ADDRESS: 6219 CORONA AVE. NE

ENGINEERING FIRM: WILSON & COMPANY CONTACT: JOHN TELLEZ

ADDRESS: 4900 LANG AVENUE, NE PHONE: (505) 348-4064 4000

CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87109

OWNER: THE SERVICEMASTER COMPANY CONTACT: KEITH MCDANIEL

ADDRESS: 860 RIDGE LANDE BLVD PHONE: (901) 597-5934

CITY, STATE: MEMPHIS, TN ZIP CODE: 38120

ARCHITECT: THE RENAISSANCE GROUP CONTACT: SAL FERACI

ADDRESS: 7000 GODDLETT FARMS, STE. 100 PHONE: (901) 332-5533

CITY, STATE: CORDOVA, TN ZIP CODE: 38016

SURVEYOR: BLUE SKY CONSTRUCTION SERVICES INC. CONTACT: ALBERT MORA

ADDRESS: 101 SANDIA ROAD NW PHONE: (505) 342-0110

CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87107

CONTRACTOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

CITY, STATE: _____ ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL. REQUIRES TCL OR EQUAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEERS CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB. APPR. SITE PLAN)
- ☐ OTHER: _____

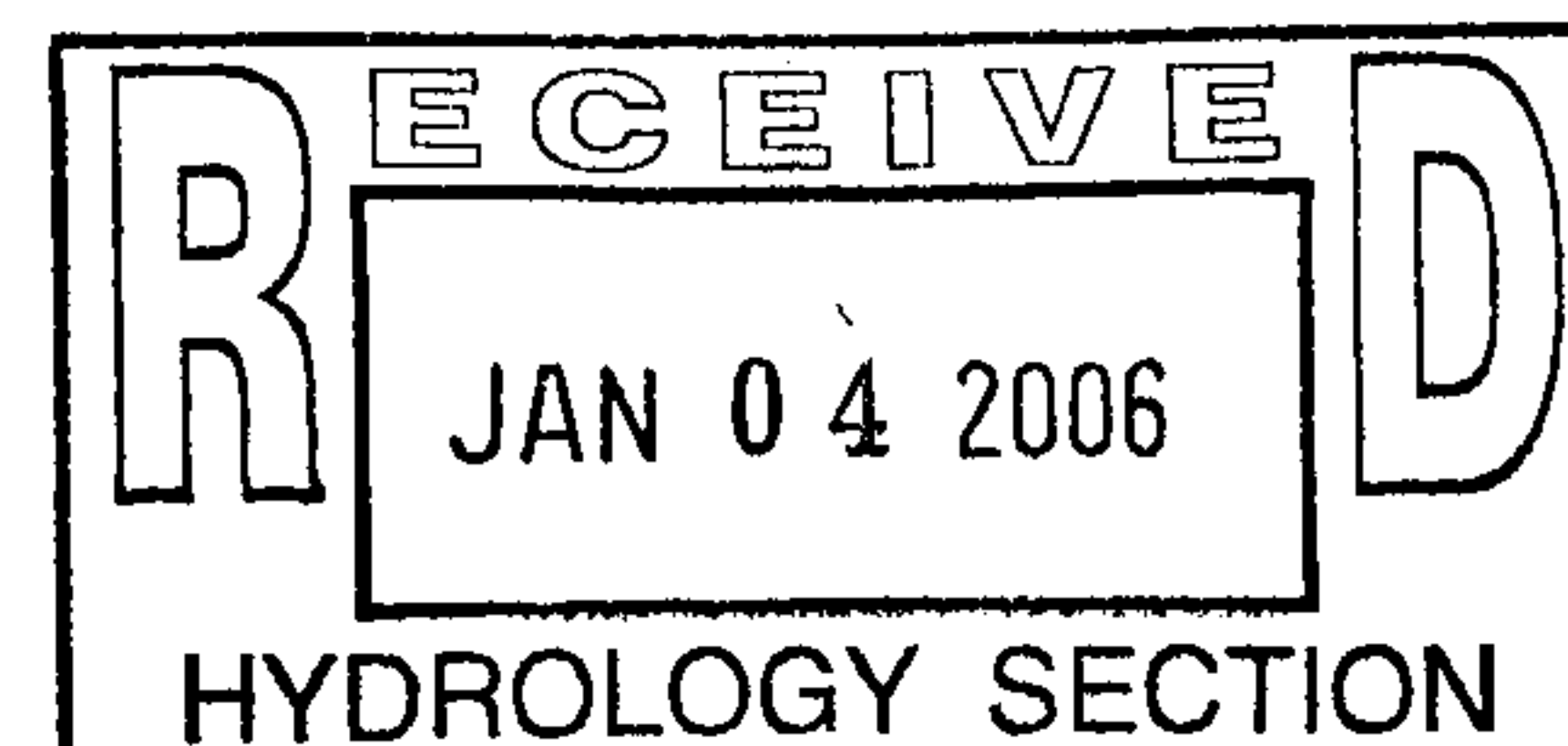
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATION OF OCCUPANCY (PERM.)
- ☐ CERTIFICATION OF OCCUPANCY (TEMP.)
- ☒ GRADING PERMIT APPROVAL
- ☒ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED

Date Submitted: January 4, 2004 By: John Tellez



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

~~PARKING~~ CALCS.

✓ RADIUS ON CORONADO

~~DIMENSION~~ ALL PRK. STLS

? SOWK ON SAN PEDRO?

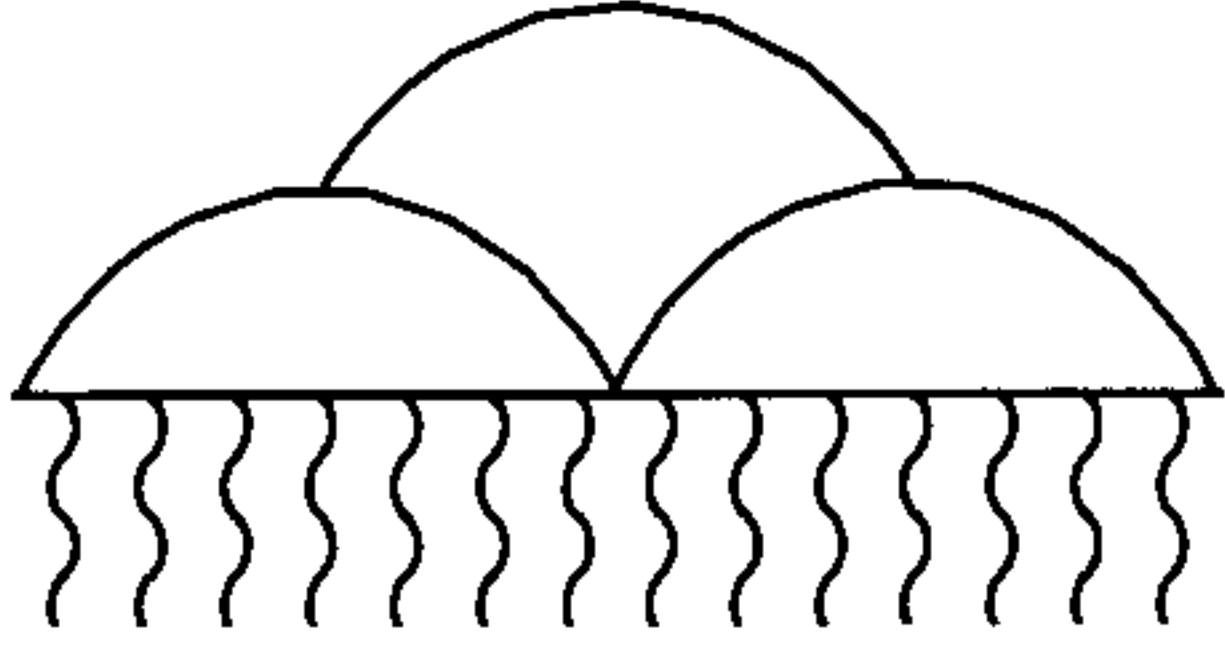
✓ RADIUS ENT OR DRIVEPOD

✓ 15' RADIUS

✓ SID WASTE APPRVL. & Where is REFUSE location

✓ WIDTH of ENTRY DRIVE ISH

Tim: When you're
done with your name,
please file in my
office for Hydro. B.
Thanks. Delene



AMAFCA

2600 Prospect Av. NE
Albuquerque, NM 87107
Ph: (505) 884-2215
Fax: (505) 884-0214

LETTER OF TRANSMITTAL

To: COA Hydrology
Attention: Brad Bingham
From: Lynn Mazur
Date: September 21, 2001

Re: Grading & Drainage Plan for Tru-Green

We are sending you ✓ Attached Under separate cover via

Item No.	Quantity	Description
1.	1	ZAP C-18

REMARKS:

I have been dealing with the property owners along Corona Ave. for our storm drain project. I talked the owners of Jim's Bait (Lot 20) yesterday and told them that this project will not include drainage improvements on private property. They have had continual flooding problems from the property next door, Tru-Green. That property drains to the west across Jim's Bait and last week endangered their building. I told them that if the Tru-Green property was not graded according to their G&D, the City would inspect and take action to have Tru-Green correct the problem. Jim's Bait requested to remain anonymous. You can tell Sandy Weaver (Tru-green) that the problem was discovered by me after I did some field inspection.

Signed: Lynn Mazur
Lynn Mazur, P.E.
Development Review Engineer



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

September 11, 2003

Jackie McDowell, PE
McDowell Engineering
7820 Beverly Hills NE
Albuquerque, NM 87122

Re: Weaver Development Grading Plan Certification – 6219 Corona NE
Engineer's Stamp dated 4-14-99
Certification dated 9-5-03 (C18/D34)

Dear Ms. McDowell,

Based upon the information provided in your submittal dated 9-8-03, the above referenced certification is acceptable for Permanent Certificate of Occupancy release by Hydrology.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE
Sr. Engineer, Planning Dept.
Building and Development Services

C: Phyllis Villanueva, CoA
file



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

November 15, 1999

Jackie S. McDowell, P.E.
McDowell Engineering, Inc.
7820 Beverly Hills Avenue NE
Albuquerque, New Mexico 87122

***RE: Engineer's Certification for Lots 18 and 19, Weaver Development, (C18/D34),
Submitted for Certificate of Occupancy Approval, Engineer's Certification Stamp
Dated 10/12/99.***

Dear Ms. McDowell:

The above referenced plan received on October 13, 1999 is not adequate for release of the Certificate of Occupancy. Please address the following comments:

1. Although the existing pond volumes were provided, please include the calculations for the required pond volumes for each sub-basin. Does the runoff from the southwest portion of the site pond on Lot 21 or on-site? Please clarify this.
2. The RTI report provided only a preliminary design for the Corona storm drain system, and no final design has been received. Please provide the hydraulic grade line calculations along with the profile for the portion of this system between San Pedro and I-25. This information must be submitted to, and approved by, this office prior to release of the C.O. for this site.
3. Please revise the Engineer's Certification statement per the D.P.M.

If you have any questions regarding these comments, please call me at 924-3982.

Sincerely,



Susan M. Calongne, P.E.

City/County Floodplain Administrator

c: Whitney Reiersen

☐ File



City of Albuquerque

October 1, 1999

Jackie S. McDowell, P.E.
McDowell Engineering, Inc.
7820 Beverly Hills Avenue NE
Albuquerque, New Mexico 87122

RE: *Lot 21, Block 14, Tract A, Unit B, North Albuquerque Acres*

Dear Ms. McDowell:

The City has received the attached letter from the owner of the above referenced property. Due to the issue of the easement and pond on Lot 21, the City cannot release the Work Order for the proposed roadway and storm drain improvements in Corona Boulevard.

Since this issue is also tied to the development on Lots 18 and 19 of the Wylie Development, the Certificate of Occupancy for this site cannot be issued until this matter is resolved.

If you have any questions regarding this matter please feel free to call me at 924-3982.

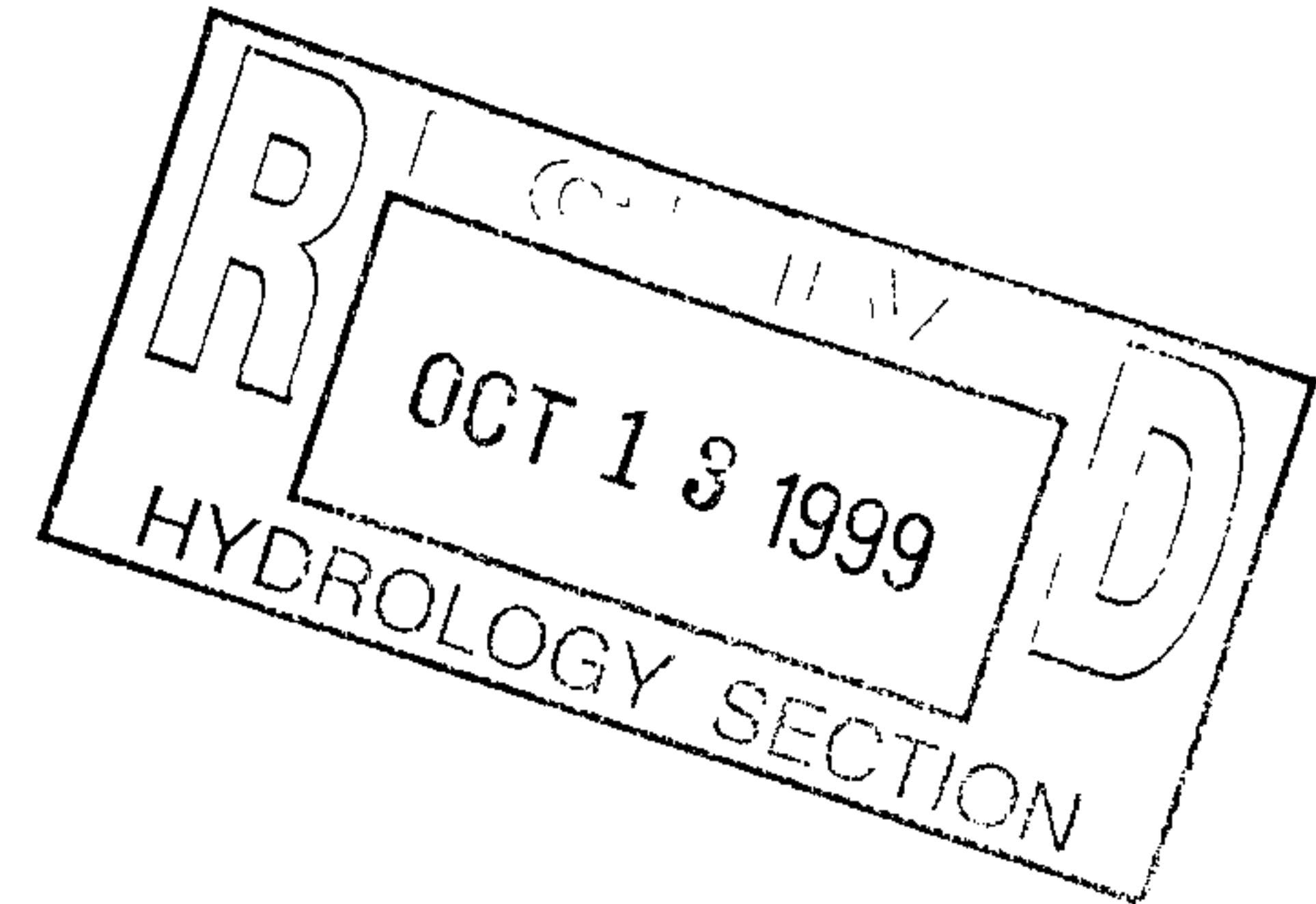
Sincerely,

Susan M. Calongne, P.E.
City/County Floodplain Administrator

c: Fred Aguirre, City Engineer (letter only)
David Steele, City Building Code Administration (letter only)
Charles J. Noya, Owner (letter only)
File

October 13, 1999

Ms. Susan Calongne, P.E.
City/County Floodplain Administrator
P.O. Box 1293
Albuquerque, NM 87103



**RE: ENGINEER'S CERTIFICATION FOR LOTS 18 & 19, WEAVER
DEVELOPMENT (C18/D34)**

Dear Ms. Calongne:

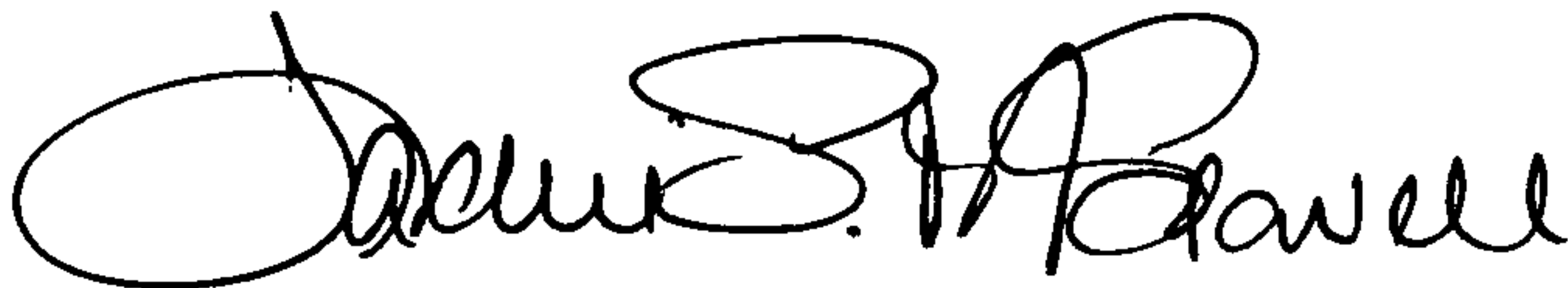
We received your letter dated September 30, 1999 and offer the following response in the same numerical order listed.

1. We have revised the certification to include one engineer's stamp.
2. Numerous as-built elevations have been added to the plan throughout the site. These elevations were provided by Wilson Surveying Co. All of the ponds and walls are in place and elevations have been added to the plan showing the drainage patterns. We have also calculated the as-built pond volumes. Calculations are attached and volumes shown on the plan.
3. The pond has been constructed on Lot 21. We have added as-built elevations and pond volume to the plan. Attached is a copy of the recorded Easement and Agreement & Covenant which you sent me on October 1, 1999. As you know, we were never sent a copy of the recorded documents until your October 1, 1999 letter. The pond has been built per the plan and is shown on the attached certification.
4. The Engineer's Certification statement has been revised to include the standard language per the D.P.M.
5. Attached are the relevant pages for the design of the Corona storm drain system for the referenced site. We do not have an entire copy to give you. You should have a copy in your office since it was approved by your division. As you can see, the Corona storm drain system was prepared for the City of Albuquerque by Resource Technology, Inc. dated October 1998 and titled "Final North Albuquerque Acres Master Drainage Plan".

In response to your letter dated October 1, 1999, RE: Lot 21, Block 14, Tract A, Unit B, North Albuquerque Acres, we would like for you or Mr. Fred Aguirre to call us **as soon as possible** to schedule a time to personally meet to discuss a resolution to this matter.

Sincerely,

MCDOWELL ENGINEERING, INC.

A handwritten signature in black ink, appearing to read "Jackie S. McDowell". The signature is fluid and cursive, with the first name "Jackie" being more prominent and the last name "McDowell" following in a similar style.

Jackie S. McDowell, P.E.

cc: Mr. John Wilson
Mr. Fred Aguirre

McDowell Engineering Inc.

7820 Beverly Hills Ave. NE
Albuquerque, New Mexico 87122
Tele: (505)828-2430
Fax: (505)821-4857

Project: WEAVER NAA# 18 & 19
Project No.: WIL0199T Date: 10/12/99
Subject: AS-Built Pond Vol. Calcs.
By: [Signature] Sheet 1 of 1

AS-BUILT POND VOL. CALCS

<u>NW. POND</u>	<u>ELEV</u>	<u>DEPTH</u>	<u>AREA</u>	<u>VOLUME (cf.)</u>
-----------------	-------------	--------------	-------------	---------------------

	5218.2	1.55	766	2100 ✓
	5219.75		1944	OK
				Reg'd = 2033

SE POND

	5222.2	1.5	2160	4321 ✓
	5223.7		3602	OK
				Reg'd = 4321

LOT#21 POND

	5207.35	1.35	4375	6741 ✓
	5208.7		5611	OK
				Reg'd = 6371



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

January 20, 1999

Jackie S. McDowell, P.E.
McDowell Engineering, Inc.
7820 Beverly Hills Avenue NE
Albuquerque, New Mexico 87122

RE: Revised Grading and Drainage Plan for Weaver Development, Lots 18 & 19, Block 14, Tract A, Unit B, NAA, (C18/D34) Submitted for Final Plat and Building Permit Approval, Engineer's Stamp Dated 12/14/98.

Dear Ms. McDowell:

The above referenced plan is adequate for Final Plat approval, provided that Financial Guarantees are in place for the public infrastructure. Prior to Building Permit release, the plan must be revised to address the following:

1. The plan should reference the Letter of Map Revision (LOMR) issued by FEMA on March 25, 1998 which removed the floodplain from these Lots. The LOMR was due to the construction of the Wyoming Storm Drain, not due to the upstream subdivision. The subdivision only reduced the off-site drainage basin.
2. The plan references supplemental calculations which were not on, or attached to, the plan. Please reference the calculations by the stamp date so that we may know which calculations apply.
3. The Grading plan must show more detail for the site. Provide more spot elevations, top of curb or asphalt elevations on the site, and elevations for swales and walls. Make sure each driveway has a one foot water block to prevent runoff in the street from entering the site. Also provide elevations for the sidewalk culvert.

Please provide a copy of the Infrastructure List for my file. Also, provide copies of the Easement and Agreement and Covenant for the pond on Lot 21. If you have any questions, please call me at 924-3982.

Sincerely,

Susan M. Calongne, P.E.
City/County Floodplain Administrator

c: Andrew Garcia, City Hydrology





City of Albuquerque

September 30, 1999

Jackie S. McDowell, P.E.
McDowell Engineering, Inc.
7820 Beverly Hills Avenue NE
Albuquerque, New Mexico 87122

***RE: Engineer's Certification for Lots 18 and 19, Weaver Development, (C18/D34),
Submitted for Certificate of Occupancy Approval, Engineer's Certification Stamp
Dated 8/25/99.***

Dear Ms. McDowell:

The above referenced plan received on August 26, 1999 is not adequate for release of the temporary or permanent Certificate of Occupancy. Please address the following comments:

1. There are two engineer's stamps on the plan, which is not allowed by the state board unless one of the engineers provides a letter allowing the other to certify his or her plan. Please provide the letter stating that the other engineer takes the responsibility for this site.
2. The certification must contain As-Built elevations throughout the site, not just 3 spots. The plan must certify that all ponds and walls are in place and provide enough elevations to verify the drainage patterns.
3. Per the design, this site was to construct a pond on Lot 21. Prior to release of the C.O., please provide a copy of the recorded easement and Agreement and Covenant that was required for this pond. This certification must also verify that this pond has been built per the plan.
4. The Engineer's Certification statement must be revised to include the language per the D.P.M.
5. The complete analysis and design for the Corona storm drain system has not yet been received. This information must be submitted to, and approved by, this office prior to release of the C.O. and prior to sign-off of the Work Order plans.

If you have any questions regarding these comments, please call me at 924-3982.

Sincerely,

Susan M. Calongne, P.E.
City/County Floodplain Administrator

c: Whitney Reiersen

File



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

July 23, 1999

Jackie S. McDowell, P.E.
McDowell Engineering, Inc.
7820 Beverly Hills Avenue NE
Albuquerque, New Mexico 87122

RE: DRC Plans for Corona Storm Drain for Weaver Development, (C18/D34)

Dear Ms. McDowell:

It is my understanding that the construction drawings for the Corona Storm drain system, which is tied to the Weaver Development, are currently going through the DRC process. City Hydrology has only received conceptual designs for this portion of the storm drain system, therefore a complete design is required.

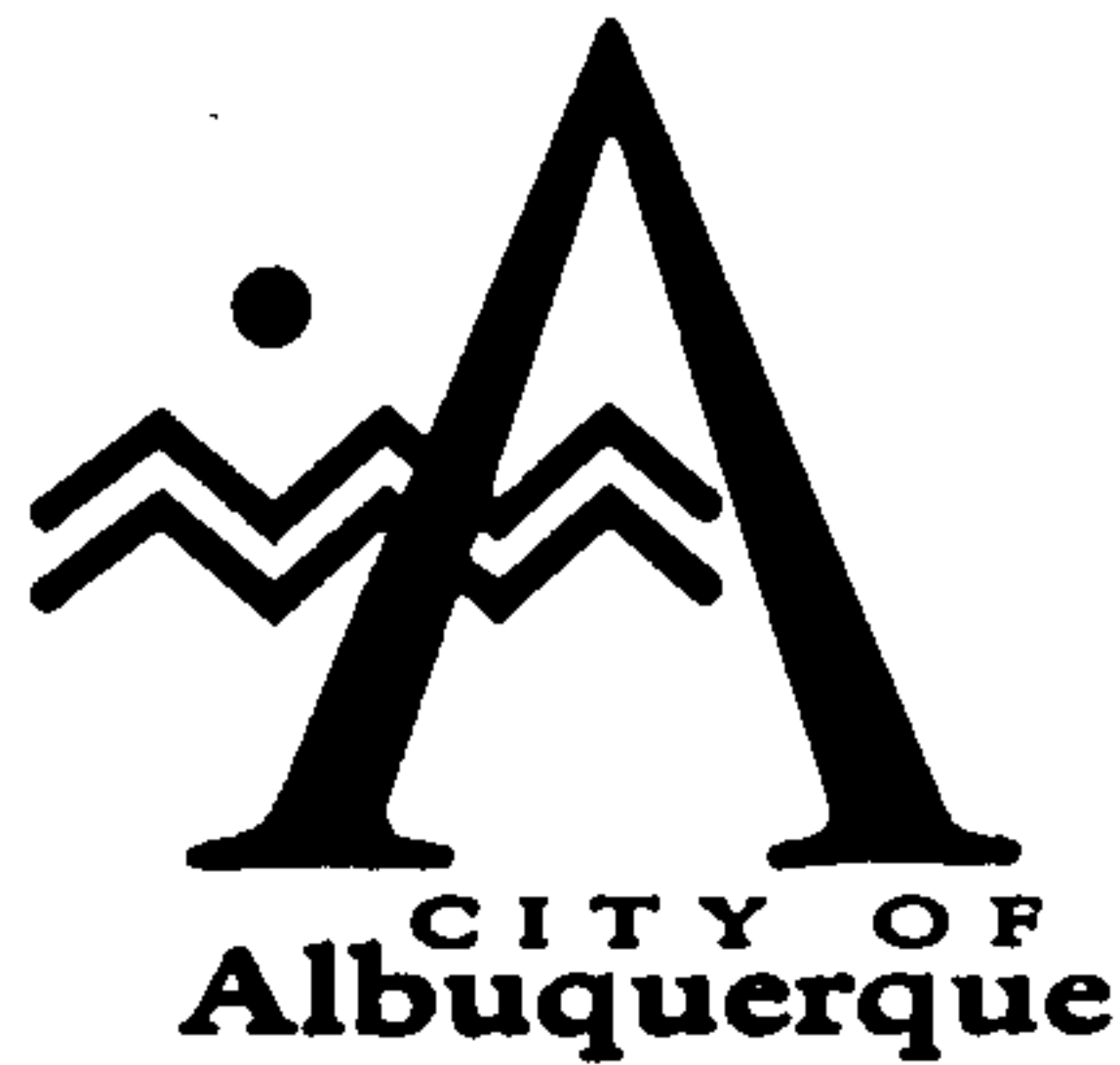
Please provide the complete Corona storm drain analysis and design to determine the required pipe sizes and hydraulic grade line. The analysis must be submitted to, and approved by, this office prior to review of the DRC plans.

If you have any questions regarding these comments, please call me at 924-3982.

Sincerely,

Susan M. Calongne, P.E.
City/County Floodplain Administrator

c: ☐ File ☐)



May 11, 1998

Jackie S. McDowell, P.E.
McDowell Engineering, Inc.
7820 Beverly Hills Avenue NE
Albuquerque, New Mexico 87122

RE: Grading and Drainage Plan for Weaver Development, Lots 18 & 19, Block 14, Tract A, Unit B, NAA, (C18/D34) Submitted for Final Plat and Building Permit Approval, Engineer's Stamp Dated 5/5/98.

Dear Ms. McDowell:

Based on the information provided in the submittal of May 6, 1998, the above referenced plan is approved for Plat action and Building Permit release provided that the following additions are made to the Infrastructure List:

1. Due to erosion problems in this area, the runoff from the improved Corona street section must be conveyed to the temporary pond by an asphalt swale. Please add this item to the Infrastructure List and show this swale within the right-of-way on the DRC plans.
2. The temporary pond easement and Agreement and Covenant must be in place prior to Work Order approval. The easement exhibit must be revised to match the revised pond. These original documents must be processed through Terri Martin's office.

As you are aware, the Engineer's Certification is required prior to release of the Certificate of Occupancy for this development. If you have any questions, please call me at 924-3982.

Sincerely,

Susan M. Calongne, P.E.
City/County Floodplain Administrator

c: File

Good for You, Albuquerque!





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

3 May 1999

Jackie S. McDowell, P.E.
McDowell Engineering, Inc.
7820 Beverly Hills Avenue NE
Albuquerque, NM 87122

RE: REVISED GRADING AND DRAINAGE PLAN FOR WEAVER DEVELOPMENT,
LOTS 18&19, BLOCK 14, TRACT A, UNIT B NAA, (C18/D34) SUBMITTED FOR
FINAL PLAT AND BUILDING PERMIT APPROVAL, ENGINEER'S STAMP
DATED 4-14-99

Dear Ms. McDowell:

Based upon the information provided in your 4-14-99 resubmittal, the referenced project is approved for Final Plat and Building Permit.

Please attach a copy of this approved plan to the construction sets prior to sign off by Hydrology.

Also, prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If I can be of further assistance, feel free to contact me at 768-2766.

Sincerely,

Scott Davis
PWD, Hydrology Division

c: Andrew Garcia
file

Project: WEAVER NAA 18 & 19 - OFFSITE STREET CALCULATIONS

13-Apr-98

Calculations: Total Basin

Calculations are based on "Section 22.2 Hydrology of the Development Process Manual, Volume 2, Design Criteria for the City of Albuquerque, New Mexico, January 1993 - basins < 40 acres".

Precipitation Zone = 3

Depth at 100-year, 6-hour storm: (Table A-2)

P = 2.60 inches

Land Treatments:

From Table 5 - Percent Treatment D

Single Family Residential =

$7 \times \text{SQR}((N \times N) + (5 \times N))$

where N = units/acre

N = ----- = -----, ok < 6

N = 0.00

Therefore Percent Treatment D = 0.00%

(includes local streets)

Areas: (acres)	Existing	Proposed
Treatment A	0.16	0.00
Treatment B	0.00	0.00
Treatment C	0.00	0.08
Treatment D	0.62	0.70
Total (acres) =	0.78	0.78

Volume	100 year Existing	100 year Proposed	10 year Existing	10 year Proposed	2 year Existing	2 year Proposed
Volume (acre-feet) =	0.13	0.15	0.08	0.09	0.05	0.05
Volume (cubic feet) =	5,695	6,371	3,486	3,992	2,003	2,320

INT. RET. POND (LOT #21) = 6371 - 5695 = 676 cu.ft. Vol. Provided = 938 cu.ft. ✓
OK

Total Q(p), cfs:	100 year Existing Q(p)*A	100 year Proposed Q(p)*A	10 year Existing Q(p)*A	10 year Proposed Q(p)*A	2 year Existing Q(p)*A	2 year Proposed Q(p)*A
Treatment A	0.30	0.00	0.09	0.00	0.00	0.00
Treatment B	0.00	0.00	0.00	0.00	0.00	0.00
Treatment C	0.00	0.28	0.00	0.16	0.00	0.06
Treatment D	3.11	3.51	2.10	2.37	1.26	1.43
Total Q (cfs) =	3.41	3.79	2.19	2.53	1.26	1.49

Project: WEAVER REVISED ON-SITE CALCULATIONS

15-Dec-98

Calculations: Total Basin

Calculations are based on "Section 22.2 Hydrology of the Development Process Manual, Volume 2, Design Criteria for the City of Albuquerque, New Mexico, January 1993 - basins < 40 acres".

Precipitation Zone = 3

Depth at 100-year, 6-hour storm: (Table A-2)

P = 2.60 inches

Land Treatments:

From Table 5 - Percent Treatment D

Single Family Residential =

$7 \times \text{SQR}((N \times N) + (5 \times N))$

where N = units/acre

N = ----- = -----, ok < 6

N = 0.00

Therefore Percent Treatment D = 0.00%

(includes local streets)

Areas: (acres)	Existing	Proposed
Treatment A	1.78	0.00
Treatment B	0.00	0.50
Treatment C	0.00	0.84
Treatment D	0.00	0.44
Total (acres) =	1.78	1.78

Volume	100 year Existing	100 year Proposed	10 year Existing	10 year Proposed	2 year Existing	2 year Proposed
Volume (acre-feet) =	0.10	0.22	0.03	0.11	0.00	0.05
Volume (cubic feet) =	4,265	9,373	1,228	4,940	0	2,140

Total Q(p), cfs:	100 year Existing Q(p)*A	100 year Proposed Q(p)*A	10 year Existing Q(p)*A	10 year Proposed Q(p)*A	2 year Existing Q(p)*A	2 year Proposed Q(p)*A
Treatment A	3.33	0.00	1.03	0.00	0.00	0.00
Treatment B	0.00	1.30	0.00	0.60	0.00	0.11
Treatment C	0.00	2.90	0.00	1.68	0.00	0.66
Treatment D	0.00	2.21	0.00	1.49	0.00	0.90
Total Q (cfs) =	3.33	6.41	1.03	3.77	0.00	1.66



March 31, 1998

Jackie S. McDowell, P.E.
McDowell Engineering, Inc.
7820 Beverly Hills Avenue NE
Albuquerque, New Mexico 87122

RE: Grading and Drainage Plan for Weaver Development, Lots 18 & 19, Block 14, Tract A, Unit B, NAA, (C18/D34) Submitted for Final Plat and Building Permit Approval, Engineer's Stamp Dated 3/15/98.

Dear Ms. McDowell:

Prior to approval for Final Plat or Building permit release, the following comments must be addressed:

1. The above referenced plan does not appear to be in compliance with the approved Master Drainage plan. The Master plan identified both interim drainage improvements and ultimate drainage improvements which are not shown on your plan. Therefore, the Master Plan for all five Lots must be updated to demonstrate that any of the approved drainage structures are not needed.
2. Your plan identifies street improvements on the north half of Corona and shows discharge from your site into the Corona Avenue right-of-way. Since the Corona storm drain system has not been constructed, how do you propose to get these flows into the interim channel at Motel 6?
3. Show the required ultimate storm drain adjacent to this site. Are inlets required in the ultimate condition? Development of these Lots will require that the storm drain improvements be built or financially guaranteed at this time.
4. The FEMA floodplain has not yet been removed from this site. The proposed map revision is based on the construction of the Wyoming Storm Drain system, not the subdivision pond. I will notify you when the LOMR is issued by FEMA.
5. How do your proposed on-site land treatments and runoff rates compare with the Master plan? How does the on-site runoff split into the 2 ponds? Identify the on-site drainage basins.

Good for You, Albuquerque!



Jackie S. McDowell, P.E.
page 2

March 31, 1998

6. Show the limits of the off-site basin on the plan. How do the flows from this basin enter the site? How do the land treatments for this basin compare with those from the Master plan? Is the west side of San Pedro improved? Do flows from this street enter the site?

If you have any questions regarding these comments, please call me at 924-3982.

Sincerely,



Susan M. Calongne, P.E.
City/County Floodplain Administrator

c: File



February 24, 1998

Jackie S. McDowell, P.E.
McDowell Engineering, Inc.
7820 Beverly Hills Avenue NE
Albuquerque, New Mexico 87122

RE: Grading and Drainage Plan for Weaver Development, Lots 18 & 19, Block 14, Tract A, Unit B, NAA, (C18/D34) Submitted for Final Plat and Building Permit Approval, Engineer's Stamp Dated 2/2/98.

Dear Ms. McDowell:

The proposed development presented in the above referenced submittal is part of a Master Plan done by Mr. Don Dixon of Resource Technology Inc. Per my approval letter dated December 20, 1996, attached, the development of each Lot must be in compliance with the approved Master Plan. Due to the construction of the upstream subdivision, however, it appears that some of the temporary improvements described in the Master Plan may not be needed. Therefore, the Master Plan must be updated to reflect the changed conditions.

Since this development is to drain to a storm drain that has not yet been constructed downstream, temporary improvements must be designed and built with this project. Ponding was proposed on Lot 21, however, your plan does not show this proposed pond. Please provide interim drainage improvements until the Corona storm drain is constructed.

Per my letter, all of the temporary facilities must be constructed and certified prior to the release of each individual Building Permit, and the bonds for the ultimate street and storm drainage improvements must also be in place. Since your plan shows an existing property line that is to be vacated, this plan must be approved through DRB. All temporary and permanent street and storm drain improvements must be included on the Infrastructure List.

The existing FEMA floodplain through this site has not yet been removed. A request has been sent to FEMA for a Letter of Map Revision (LOMR), however, the floodplain remains until the LOMR is issued. The drainage plan and the plat must show the limits of the existing FEMA floodplain. A floodplain note should be put on the plat. Also show the existing 25' drainage easement on the plan and on the plat.

If you have any questions regarding these comments, please call me at 924-3982.

Sincerely,

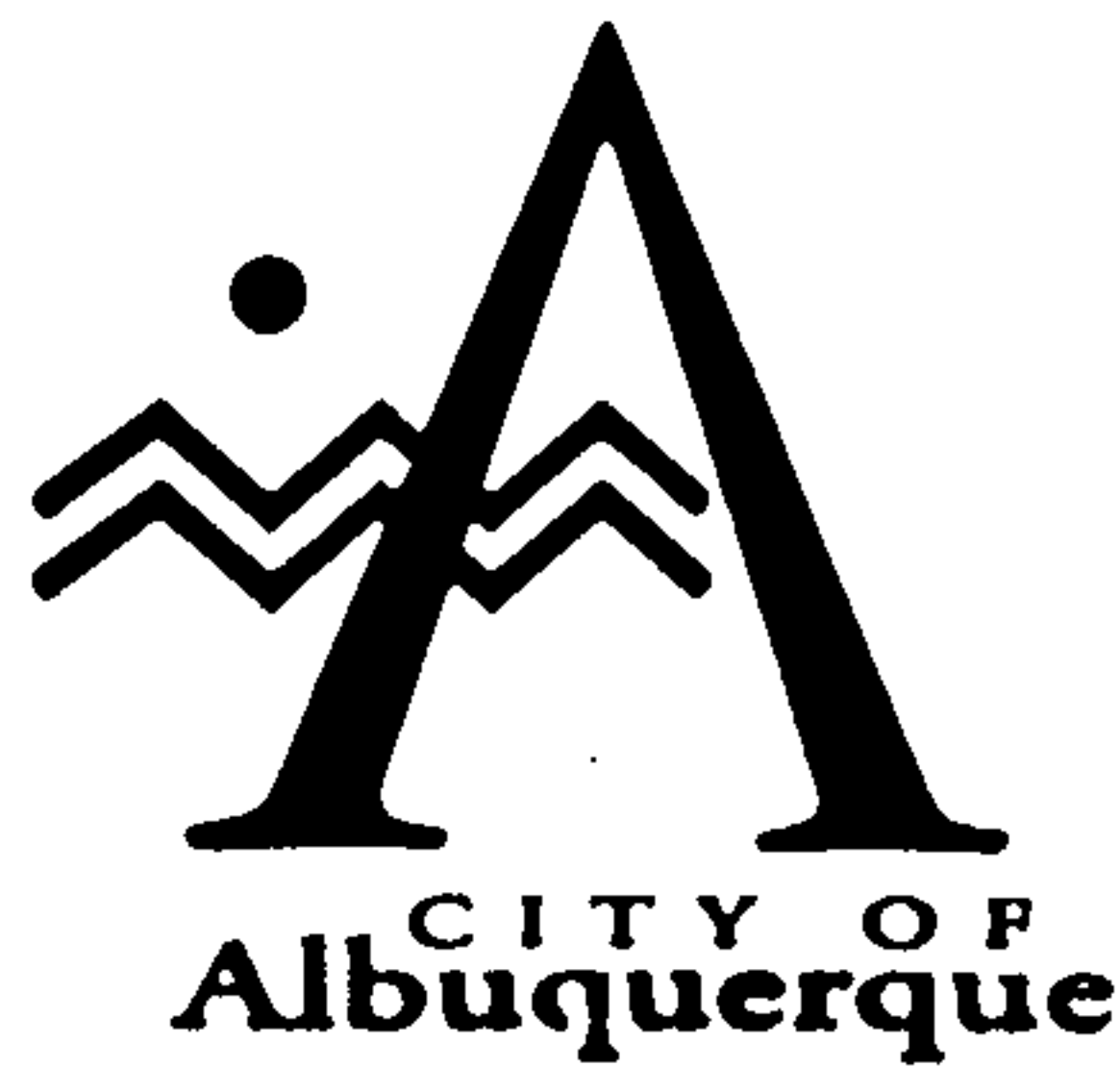

Susan M. Calongne, P.E.

City/County Floodplain Administrator

Good for You, Albuquerque!

c: File





December 20, 1996

Martin J. Chávez, Mayor

Don Dixon, P.E.
Resource Technology Inc.
2129 Osuna Road NE, Suite 200
Albuquerque, New Mexico 87113

**RE: CONCEPTUAL GRADING AND DRAINAGE PLAN FOR WYLIE CORPORATION, LOTS 17-21,
BLOCK 14, NAA (C18/D34) SUBMITTED FOR SITE DEVELOPMENT PLAN FOR BUILDING
PERMIT APPROVAL, ENGINEER'S STAMP DATED 12/12/96.**

Dear Mr. Dixon:

Based on the information provided in the submittal of December 13, 1996, the above referenced master plan is approved for Site Development Plan for Building Permit.

As stated in your previous letter, prior to each Building Permit being released, a site specific grading and drainage plan must be submitted and approved for each lot. Each plan must be in compliance with this approved master plan. All of the temporary facilities must be constructed and certified prior to release of each individual Building Permit. The bonds for the ultimate street and storm drain improvements must also be in place.

Prior to City Hydrology signing off for Grading and Paving Permit release, concurrence from City Planning and Transportation must be obtained. The public drainage easements and Agreement and Covenants for the drainage facilities must also be in place prior to Grading Permit release.

If you should have any questions, or if I may be of further assistance, please call me at 768-2666.

Sincerely,

Susan M. Calongne, P.E.
City/County Floodplain Administrator

c: Alan Wylie, Owner
File

Good for You, Albuquerque!



ATTACHMENT NO. 1

SUPPLEMENTAL CALCULATIONS TO

**WEAVER
NORTH ALBUQUERQUE ACRES
LOT #18 & 19
BLOCK 14, TRACT A, UNIT B**

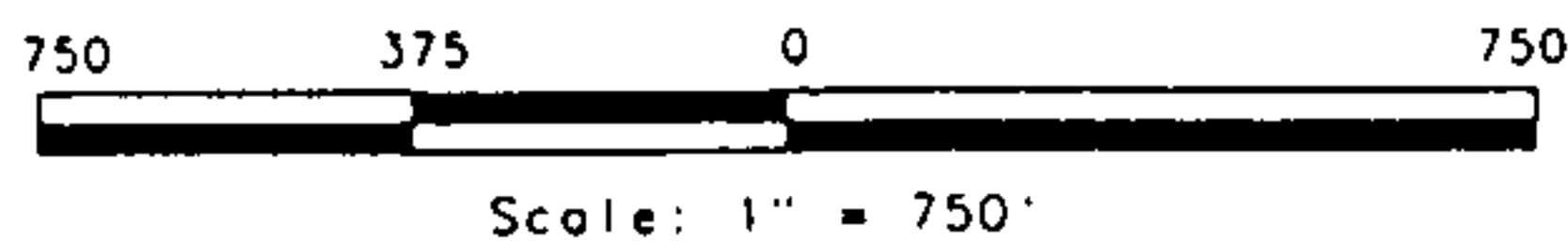
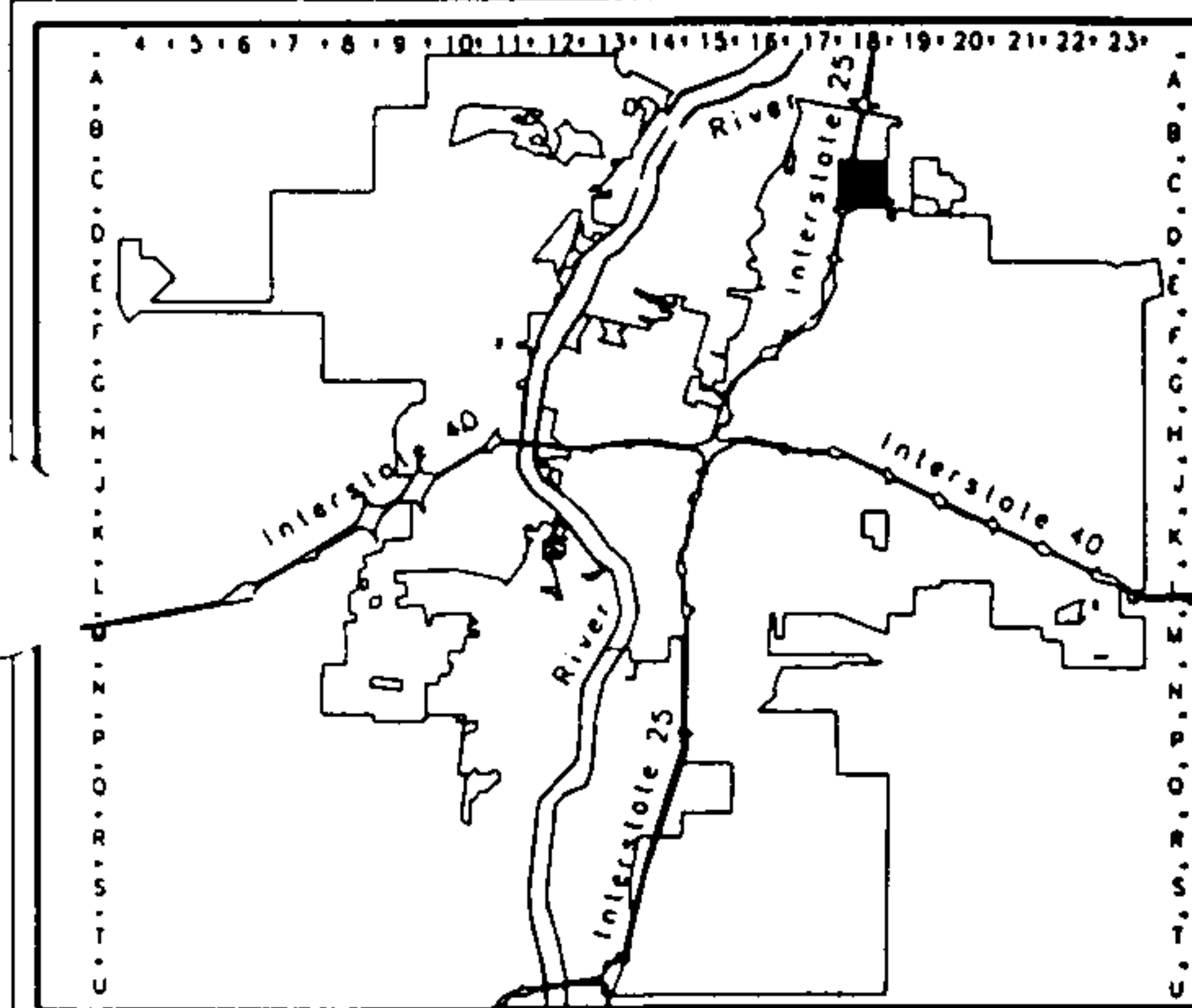
GRADING & DRAINAGE PLAN

I, Jackie S. McDowell, Registered Professional Engineer, No. 10903, hereby certify that I have prepared the attached calculations.

  2.598
Jackie S. McDowell, P.E. Registered Professional Engineer No. 10903

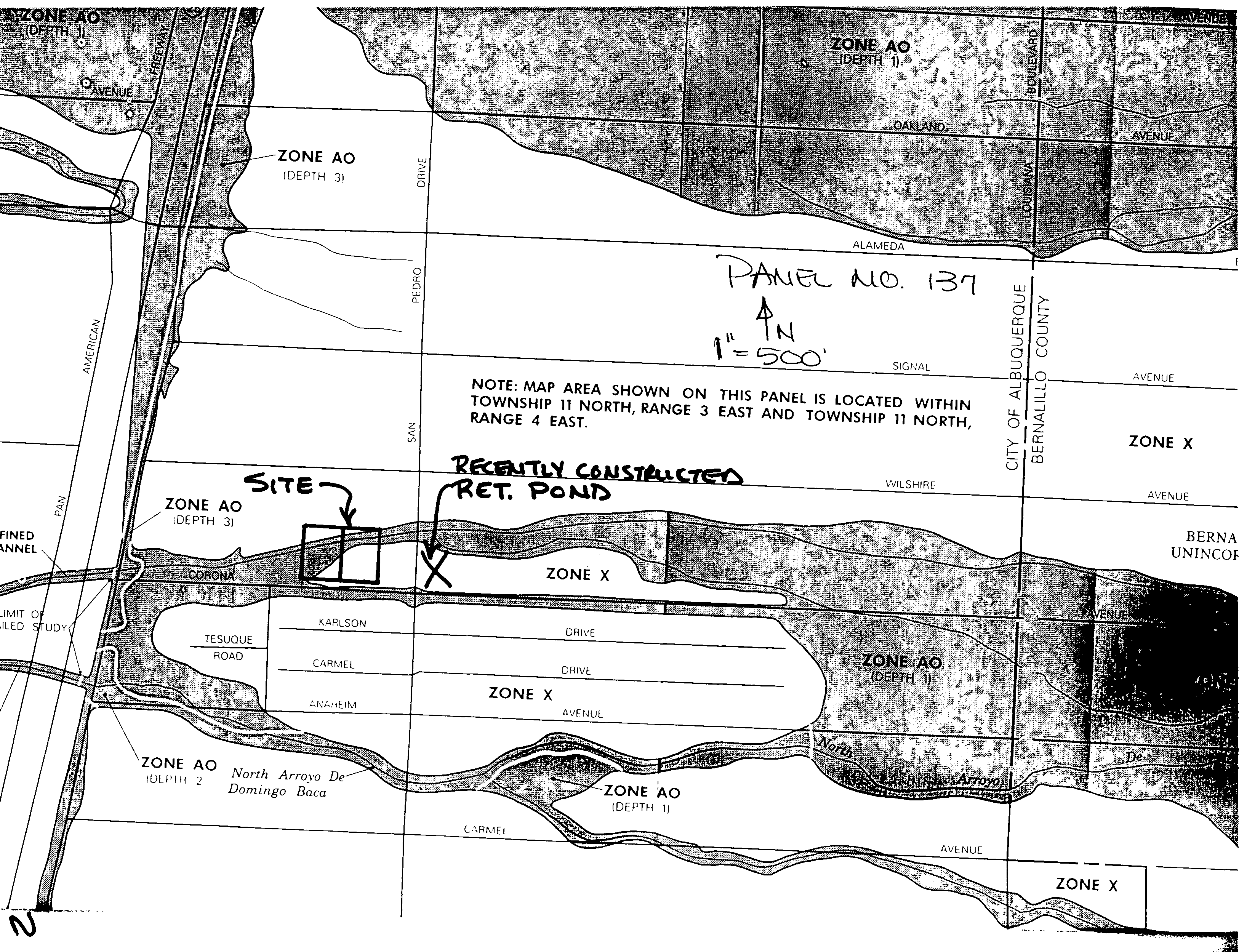
TABLE OF CONTENTS

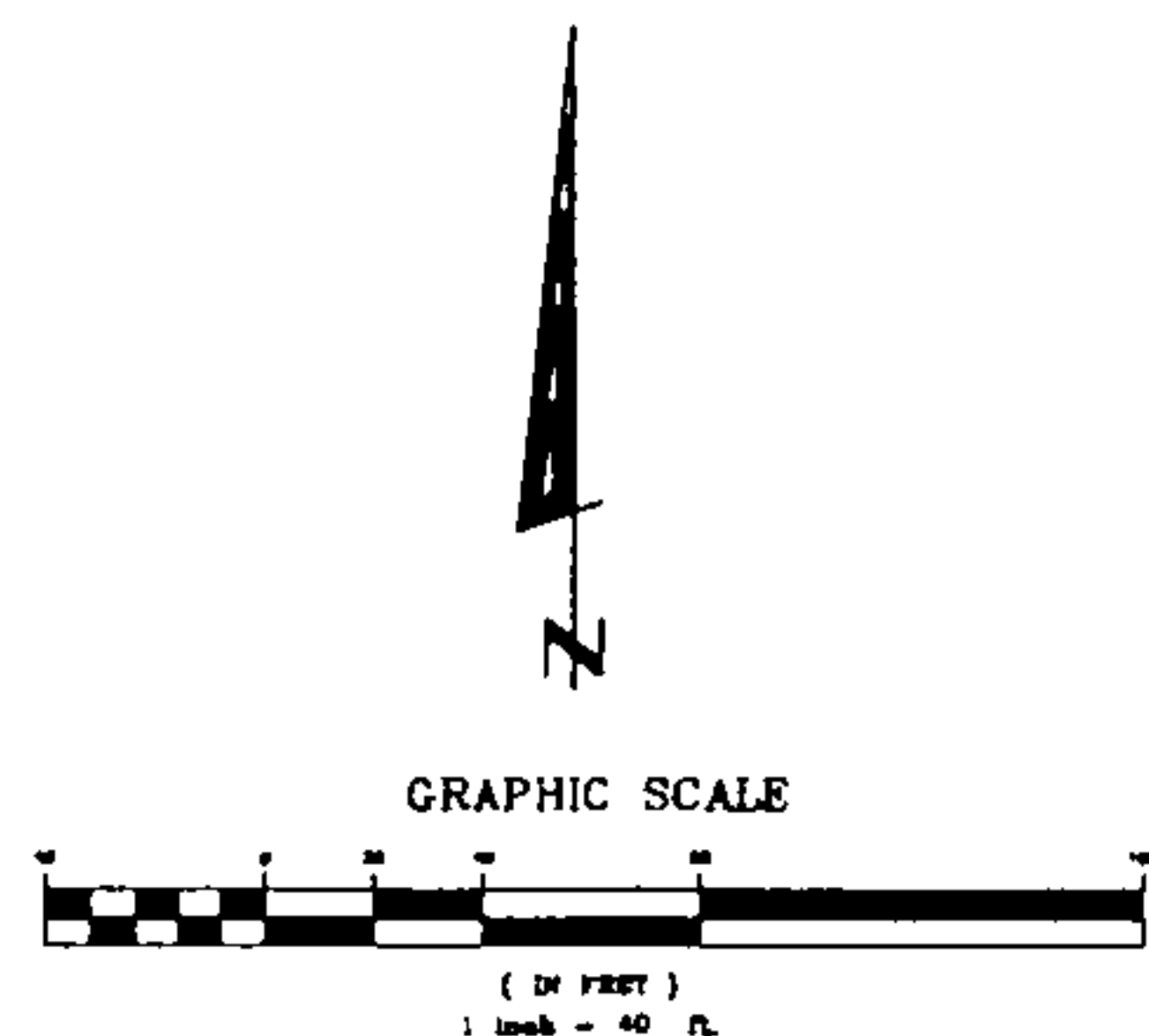
	Page No.
Vicinity Map - Zone Atlas C-18	1
FEMA FIRM Map (1996)	2
Reduced Grading & Drainage Plan	3
Onsite Basin Calculations	4
Offsite Basin Calculations	5



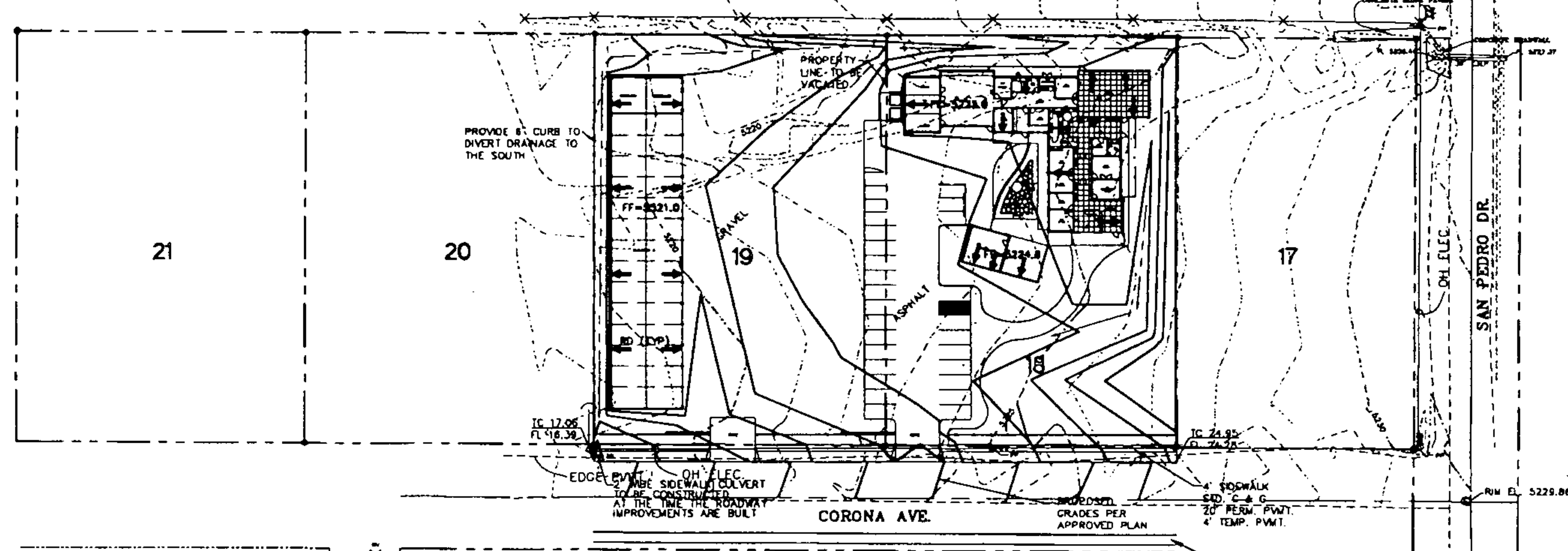
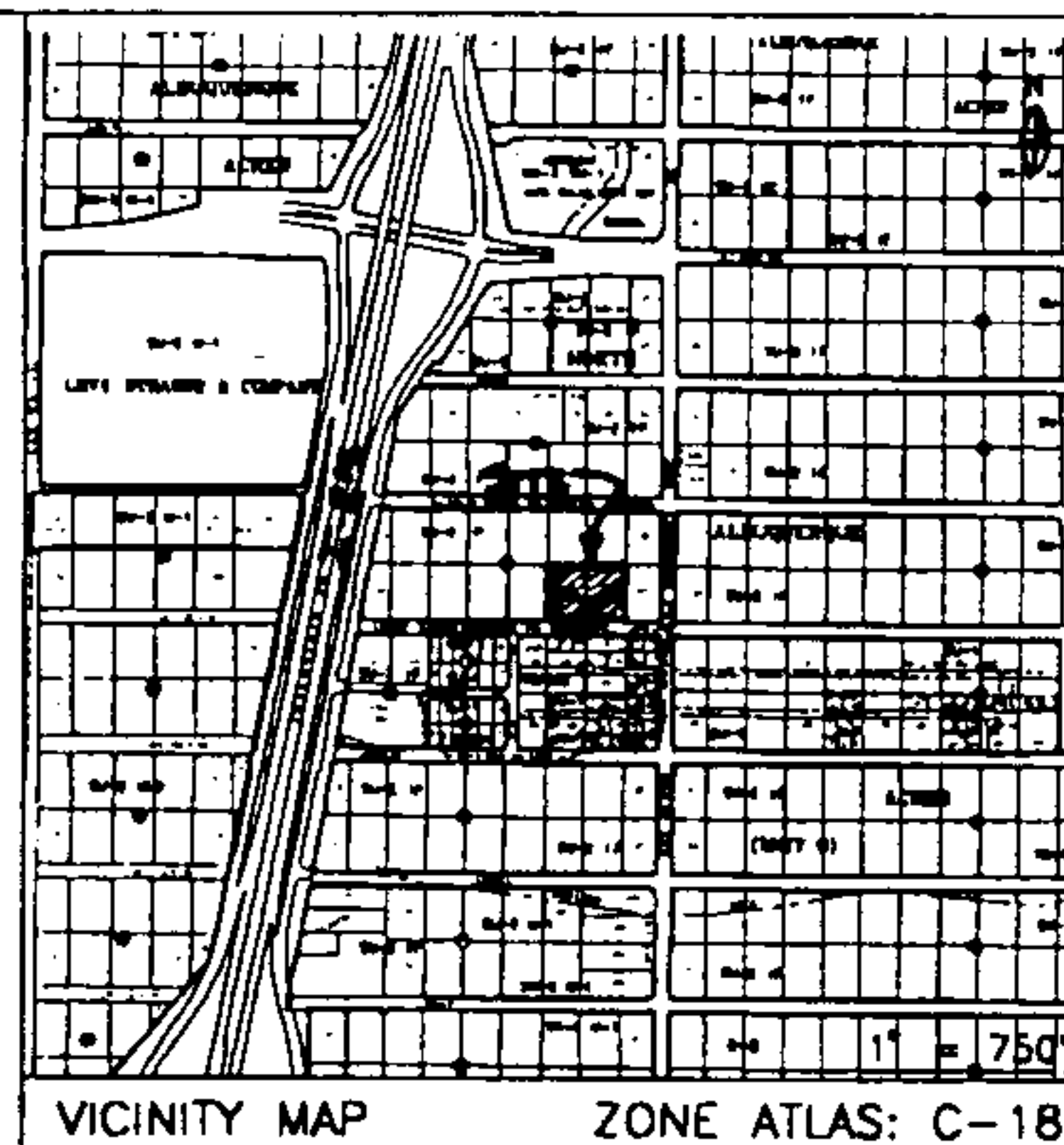
Albuquerque **G**eographic **I**nformation **S**ystem
▲City of Albuquerque
 © Planning Department July 01, 1993

C-18-Z





LOTS 18 & 19
OF
BLOCK 14, TRACT A, UNIT B
NORTH ALBUQUERQUE ACRES
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO



NOTE:
ALL OFFSITE INFRASTRUCTURE IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE APPROVED PLANS BY RTI DATED 11-4-96 FILED WITH THE COA HYDROLOGY DEPARTMENT, INCLUDING SIDEWALK, CURB & GUTTER, PAVEMENT, AND STORM DRAIN IMPROVEMENTS. ALL OFFSITE WATERLINE IMPROVEMENTS ARE IN PLACE. SANITARY SEWER WILL NEED TO BE EXTENDED FROM UTE DR. IN ACCORDANCE WITH THE WATER & SANITARY SEWER AVAIL. STATEMENT. THE LOTS SHALL BE GRADED IN ACCORDANCE WITH THE RTI PLAN.

	LEGEND	
	EXISTING	PROPOSED
CONTOUR		
PROPERTY LINE		
CURB		
SETBACK/EASEMENT		
		PROPERTY CORNER
		PROPERTY CORNER
		WATER VALVE
		FENCE
		SEWER MANHOLE
		WATER METER
		GROUND SPOT
		POWER POLE
		FIRE HYDRANT
		CUT MARK

DRAINAGE PLAN

SCOPE:

Pursuant to the latest City of Albuquerque and Bernalillo County Drainage Ordinances, the Drainage Plan shown hereon outlines the drainage management criteria for controlling developed runoff on and exiting the project sites. A commercial building with related storage and covered parking buildings are proposed for the two lots, with associated access, landscaping, and utility improvements.

EXISTING CONDITIONS:

Presently, the two lots contain 0.89 acres each of undeveloped property. The total area is 1.78 acres. The site is bounded on the east, north, and west by private property zoned SU-2, R lots and on the south by Corona Avenue. The site is vegetated with native grasses and shrubs. Site topography slopes from the east to the west at approximately 3 percent. The site is located in a vocation flood plain. Floodway Map No. 137. Residential development to the east of the site has provided a large retention pond which has eliminated the flood plain from the subject property. All upstream offsite drainage east of San Pedro is collected in the pond. A minimal amount of offsite drainage enters the property from the east. Calculations are attached.

PROPOSED CONDITIONS:

The plan shows the building locations and parking areas. On site flows will drain around the buildings, and continue to flow to the southwest. The lot line between Lots 18 & 19 will be vacated.

All roof drainage will discharge from the roof to the lots and be directed around the structures. Access will be taken from Corona Avenue. Corona Avenue will be improved in accordance with the approved plans on file with the City Hydrology Department. The improvements include sidewalk, curb & gutter, pavement, and a 48" storm sewer. The improvement will be constructed for that portion which is in front and adjacent to the subject lots (Lots 18 & 19). The existing minimal amount of offsite drainage (Lot 17) will be allowed to continue to drain through the site until such time as the lot is developed in accordance with the approved conceptual drainage plan. The approved conceptual drainage plan calls for all drainage from Lots 17-21 to be diverted on each lot to Corona Avenue.

Supplemental calculation have been provided to the City of Albuquerque Hydrology Department as Attachment No. 1.

CALCULATIONS:

The calculations shown hereon define the 100 year/8 hour design storm falling within the project area under existing and developed conditions. The Hydrology is per "Section 22.2, Hydrology of the Development Process Manual, Volume 2, Design Criteria, for the City of Albuquerque, New Mexico in cooperation with Bernalillo County, New Mexico and the Albuquerque Metropolitan Arroyo Flood Control Authority.

PROPERTY ADDRESS:

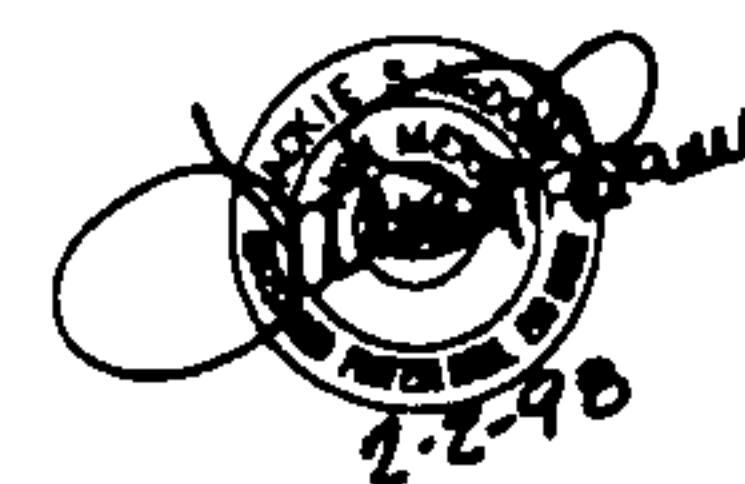
Corona Avenue NE

LEGAL DESCRIPTION:

Lots 18 & 19, Block 14, Tract A, Unit B, North Albuquerque Acres

SURVEY:

Topographic information provided by Wilson & Associates.



CITY OF ALBUQUERQUE, BERNALILLO COUNTY		NEW MEXICO	
LOTS 18 & 19, BLOCK 14, TRACT A UNIT B, NORTH ALBUQ. ACRES			
WEAVER DEVELOPMENT - GRADING & DRAINAGE PLAN			
McDowell Engineering Inc.			
Designed JSM	Drawn STAFF	Checked JSM	Sheet of
78 WLO1971	Date FEBRUARY, 1998	1	1

Project: WEAVER NAA 18 & 19 ON-SITE CALCULATIONS

05-Feb-98

Calculations: Total Basin

Calculations are based on "Section 22.2 Hydrology of the Development Process Manual, Volume 2, Design Criteria for the City of Albuquerque, New Mexico, January 1993 - basins < 40 acres".

Precipitation Zone = 3

Depth at 100-year, 6-hour storm: (Table A-2)

P = 2.60 inches

Land Treatments:

From Table 5 - Percent Treatment D

Single Family Residential =

$7 \cdot \text{SQR}((N \cdot N) + (5 \cdot N))$

where N = units/acre

N = ----- = -----, ok < 6

N = 0.00

Therefore Percent Treatment D = 0.00%

(includes local streets)

Areas: (acres)	Existing	Proposed
Treatment A	1.78	0.00
Treatment B	0.00	0.58
Treatment C	0.00	0.55
Treatment D	0.00	0.65
Total (acres) =	1.78	1.78

Volume	100 year Existing	100 year Proposed	10 year Existing	10 year Proposed	2 year Existing	2 year Proposed
Volume (acre-feet) =	0.10	0.23	0.03	0.13	0.00	0.06
Volume (cubic feet) =	4,265	10,081	1,228	5,535	0	2,626

Total Q(p), cfs:	100 year Existing Q(p)*A	100 year Proposed Q(p)*A	10 year Existing Q(p)*A	10 year Proposed Q(p)*A	2 year Existing Q(p)*A	2 year Proposed Q(p)*A
Treatment A	3.33	0.00	1.03	0.00	0.00	0.00
Treatment B	0.00	1.51	0.00	0.69	0.00	0.12
Treatment C	0.00	1.90	0.00	1.10	0.00	0.43
Treatment D	0.00	3.26	0.00	2.20	0.00	1.33
Total Q (cfs) =	3.33	6.67	1.03	3.99	0.00	1.88

$Q_{100}(\text{allowable}) = 8.0 \text{ cfs}$ ✓
OK

Project: WEAVER NAA 18 & 19 OFF-SITE CALCULATIONS

05-Feb-98

Calculations: Total Basin

Calculations are based on "Section 22.2 Hydrology of the Development Process Manual, Volume 2, Design Criteria for the City of Albuquerque, New Mexico, January 1993 - basins < 40 acres".

Precipitation Zone = 3

Depth at 100-year, 6-hour storm: (Table A-2)

P = 2.60 inches

Land Treatments:

From Table 5 - Percent Treatment D

Single Family Residential =

$$7 \cdot \text{SQR}((N \cdot N) + (5 \cdot N))$$

where N = units/acre

N = ----- = -----, ok < 6

N = 0.00

Therefore Percent Treatment D = 0.00%

(includes local streets)

Areas: (acres)	Existing	Proposed
Treatment A	0.73	0.00
Treatment B	0.00	0.20
Treatment C	0.00	0.23
Treatment D	0.00	0.30
Total (acres) =	0.73	0.73

Volume	100 year Existing	100 year Proposed	10 year Existing	10 year Proposed	2 year Existing	2 year Proposed
Volume (acre-feet) =	0.04	0.10	0.01	0.06	0.00	0.03
Volume (cubic feet) =	1,749	4,315	503	2,412	0	1,180

Total Q(p), cfs:	100 year Existing Q(p)*A	100 year Proposed Q(p)*A	10 year Existing Q(p)*A	10 year Proposed Q(p)*A	2 year Existing Q(p)*A	2 year Proposed Q(p)*A
Treatment A	1.37	0.00	0.42	0.00	0.00	0.00
Treatment B	0.00	0.52	0.00	0.24	0.00	0.04
Treatment C	0.00	0.79	0.00	0.46	0.00	0.18
Treatment D	0.00	1.51	0.00	1.02	0.00	0.61
Total Q (cfs) =	1.37	2.82	0.42	1.72	0.00	0.83

$Q_{100}(\text{allowable}) = 3.4 \text{ cfs.}$ ✓
OK



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

December 29, 1997

Jackie McDowell, P.E.
McDowell Engineering, Inc.
7200 Valley Forge Place NE
Albuquerque, NM 87109

***RE: WEAVER DEVELOPMENT (C18-D34). CONCEPTUAL GRADING AND
DRAINAGE PLAN FOR PRELIMINARY PLAT AND SITE DEVELOPMENT PLAN
FOR SUBDIVISION APPROVAL.***

Dear Ms. McDowell:

Based on the information provided on your December 12, 1997 submittal, City Hydrology has the following comments:

1. What are you subdividing? Are you going to turn lot 18 and 19 into one lot? If not, a cross lot drainage easement will be required.
2. A conceptual plan is not adequate for the type of approval you are seeking.

I think I have sent this letter to an old address, however, this was the address on the Drainage Information Sheet. If necessary, please update address information and include a zip code.

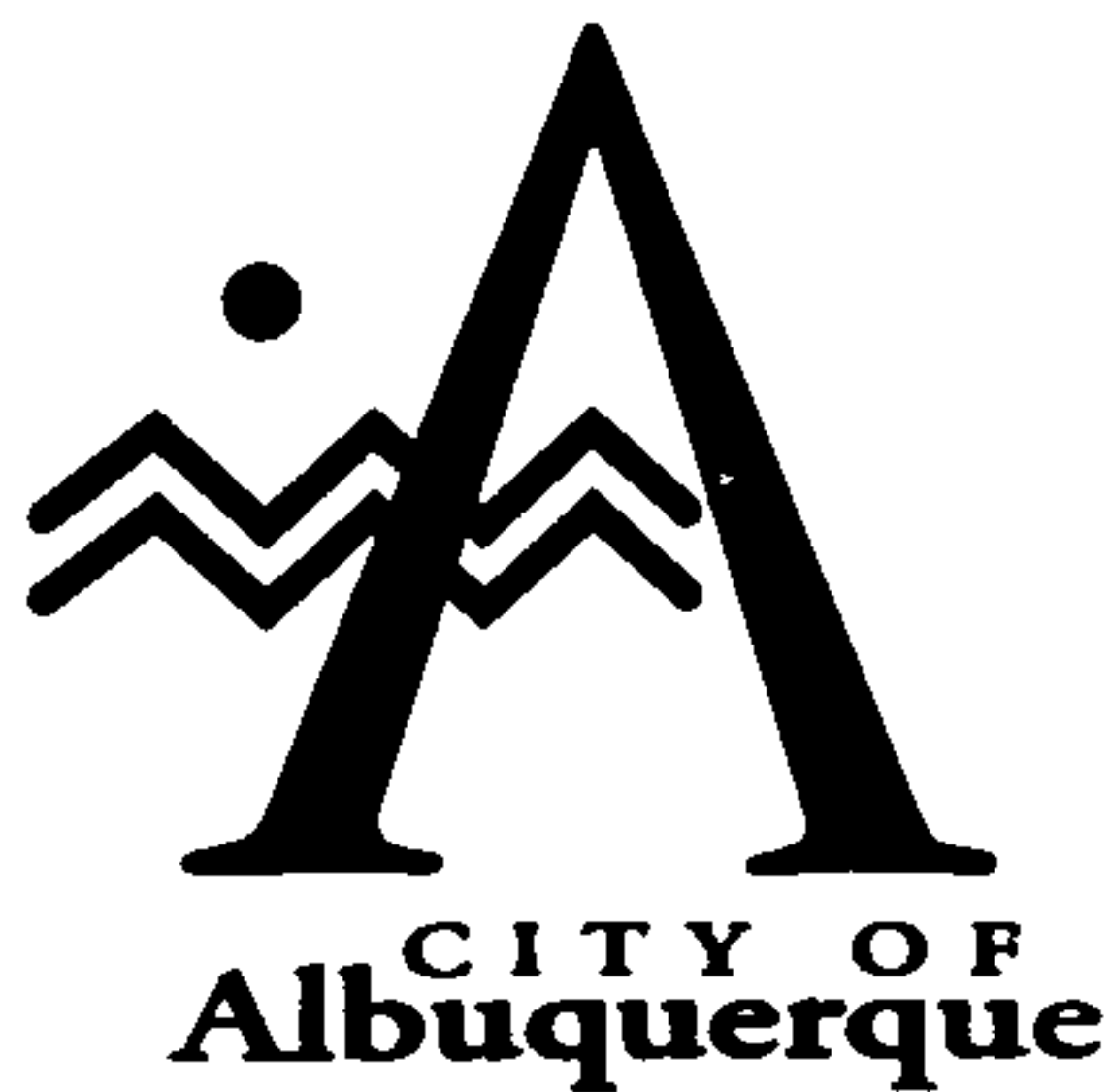
If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,

Lisa Ann Manwill, P.E.
Hydrology

c: Andrew Garcia

File



December 20, 1996

Martin J. Chávez, Mayor

Don Dixon, P.E.
Resource Technology Inc.
2129 Osuna Road NE, Suite 200
Albuquerque, New Mexico 87113

**RE: CONCEPTUAL GRADING AND DRAINAGE PLAN FOR WYLIE CORPORATION, LOTS 17-21,
BLOCK 14, NAA (C18/D34) SUBMITTED FOR SITE DEVELOPMENT PLAN FOR BUILDING
PERMIT APPROVAL; ENGINEER'S STAMP DATED 12/12/96.**

Dear Mr. Dixon:

Based on the information provided in the submittal of December 13, 1996, the above referenced master plan is approved for Site Development Plan for Building Permit.

As stated in your previous letter, prior to each Building Permit being released, a site specific grading and drainage plan must be submitted and approved for each lot. Each plan must be in compliance with this approved master plan. All of the temporary facilities must be constructed and certified prior to release of each individual Building Permit. The bonds for the ultimate street and storm drain improvements must also be in place.

Prior to City Hydrology signing off for Grading and Paving Permit release, concurrence from City Planning and Transportation must be obtained. The public drainage easements and Agreement and Covenants for the drainage facilities must also be in place prior to Grading Permit release.

If you should have any questions, or if I may be of further assistance, please call me at 768-2666.

Sincerely,

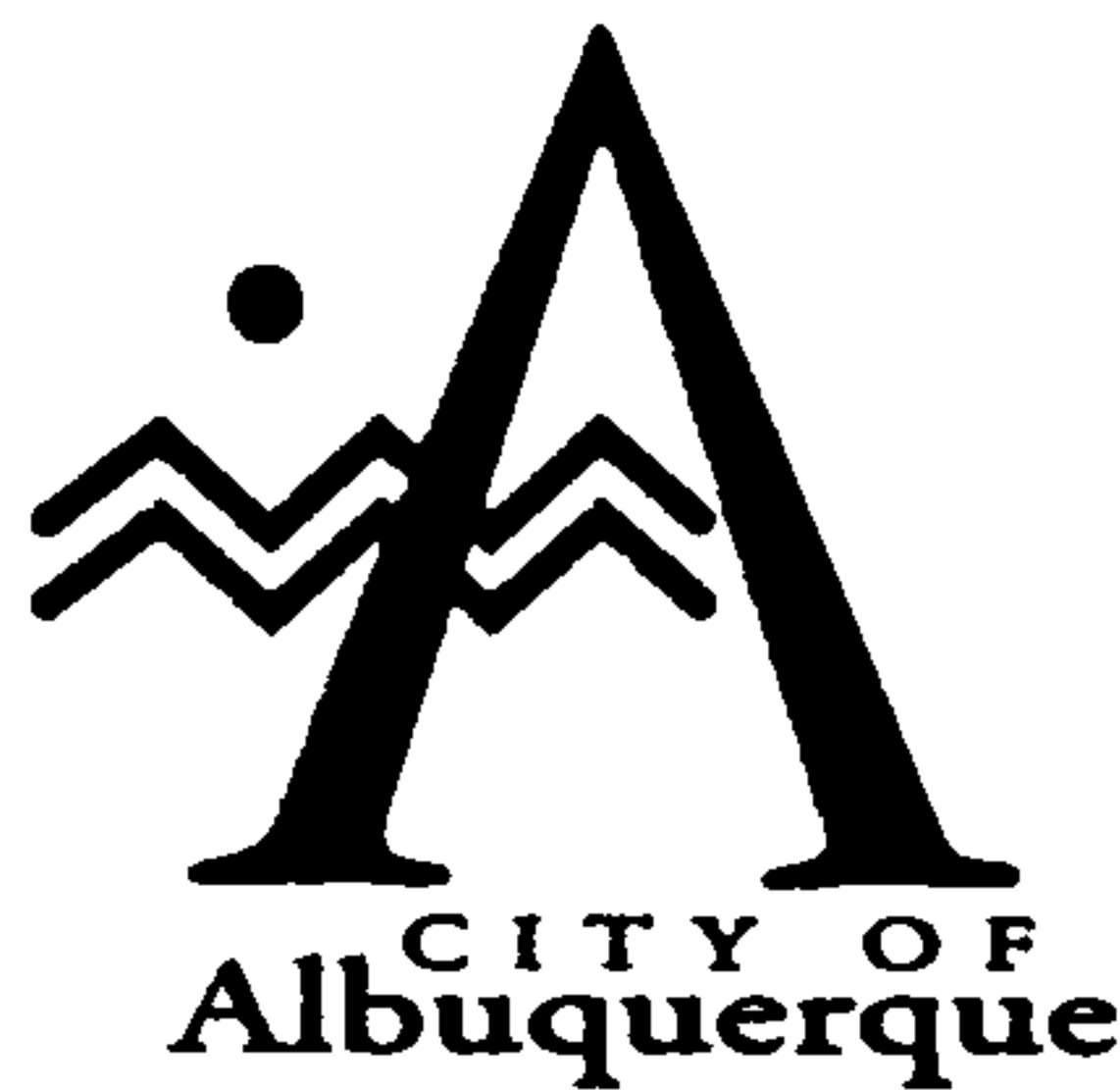
Susan M. Calongne, P.E.
City/County Floodplain Administrator

c: Alan Wylie, Owner
File

Good for You, Albuquerque!



RECEIVED NOV 26 1996



Martin J. Chávez, Mayor

November 25, 1996

Don Dixon, P.E.
Resource Technology Inc.
2129 Osuna Road NE, Suite 200
Albuquerque, New Mexico 87113

RE: CONCEPTUAL GRADING AND DRAINAGE PLAN FOR WYLIE CORPORATION, LOTS 17-21, BLOCK 14, NAA (C18/D34) SUBMITTED FOR SITE DEVELOPMENT PLAN FOR BUILDING PERMIT APPROVAL, ENGINEER'S STAMP DATED 11/4/96.

Dear Mr. Dixon:

Prior to approval of the above referenced plan, please address the following comments:

1. In the interim condition, do the land treatments for drainage basin 943 account for the street flows as well as the fully developed lots?
2. In the ultimate condition, developed flows at the Wilshire/San Pedro intersection will have to be intercepted within a storm drain. Since Wilshire is fully developed between San Pedro and I-25, it is unlikely that a storm drain will be built within that street. These flows should be intercepted at the intersection and be taken south in San Pedro to the Corona storm drain. This may be done by the proposed subdivision west of San Pedro, however, if this is not built, the Wylie lots will be responsible for a portion of the storm drain in San Pedro. Also, will the proposed storm drain in Corona be able to handle the addition of these flows?
3. This plan proposes to construct a temporary asphalt swale within the Corona Avenue right-of-way. This will be allowed subject to approval by City Transportation. This swale must have an Agreement and Covenant to assure that the property owners maintain this temporary facility. The same comment also applies to any proposed swale within the San Pedro right-of-way.

In order for any of the Wylie lots to be developed, all of the temporary improvements must be built and the owner must bond for all of the ultimate improvements, including the paving and storm drain systems in Corona and San Pedro. If you should have any questions regarding these comments, please call me at 768-2666.

Sincerely,

Susan M. Calongne, P.E.

City/County Floodplain Administrator

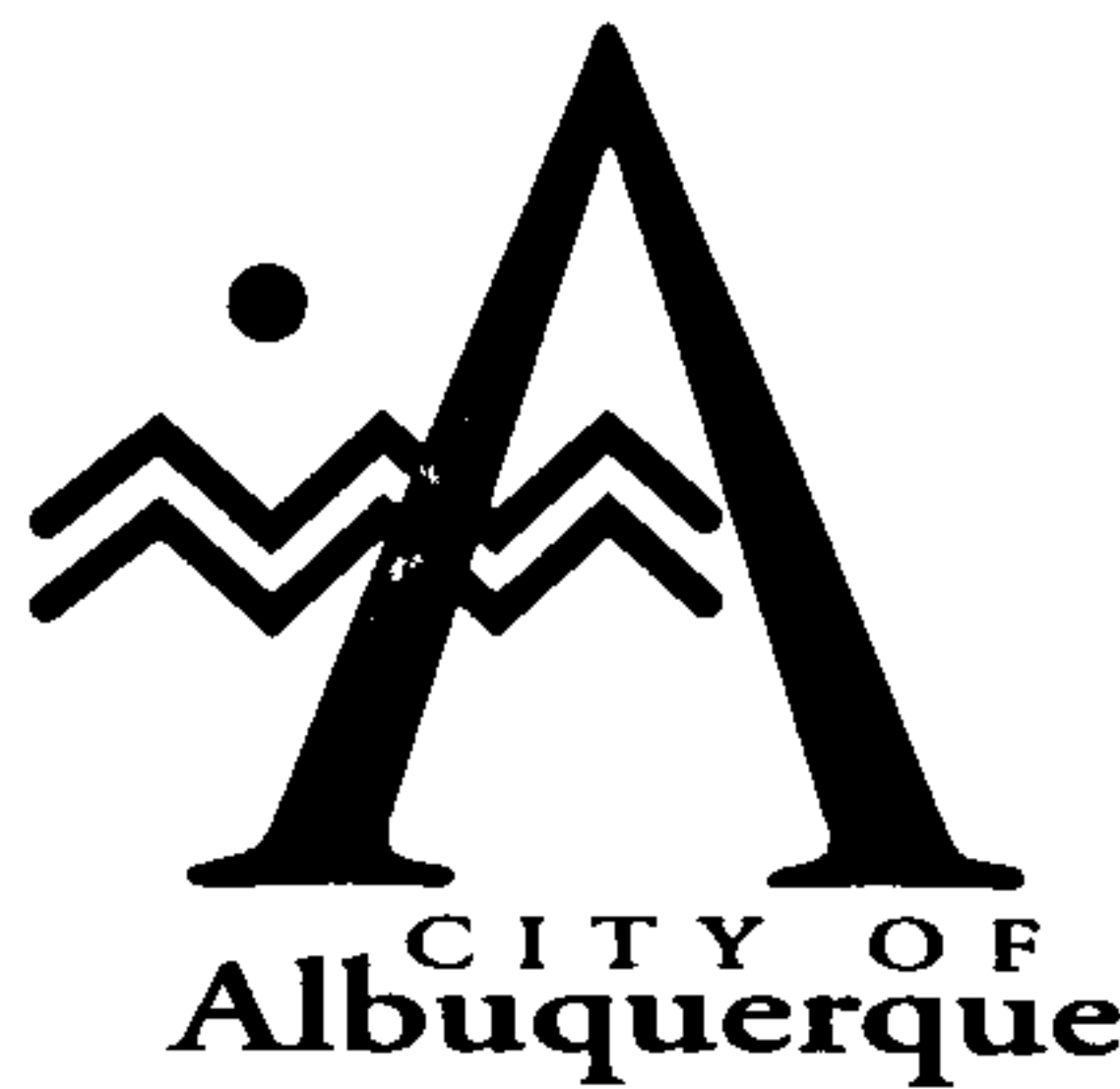
DEC 13

HYDROLOGY DIV.

c: Alan Wylie, Owner
File

Good for You. Albuquerque!





Martin J. Chávez, Mayor

November 25, 1996

Don Dixon, P.E.
Resource Technology Inc.
2129 Osuna Road NE, Suite 200
Albuquerque, New Mexico 87113

RE: CONCEPTUAL GRADING AND DRAINAGE PLAN FOR WYLIE CORPORATION, LOTS 17-21, BLOCK 14, NAA (C18/D34) SUBMITTED FOR SITE DEVELOPMENT PLAN FOR BUILDING PERMIT APPROVAL, ENGINEER'S STAMP DATED 11/4/96.

Dear Mr. Dixon:

Prior to approval of the above referenced plan, please address the following comments:

1. In the interim condition, do the land treatments for drainage basin 943 account for the street flows as well as the fully developed lots?
2. In the ultimate condition, developed flows at the Wilshire/San Pedro intersection will have to be intercepted within a storm drain. Since Wilshire is fully developed between San Pedro and I-25, it is unlikely that a storm drain will be built within that street. These flows should be intercepted at the intersection and be taken south in San Pedro to the Corona storm drain. This may be done by the proposed subdivision west of San Pedro, however, if this is not built, the Wylie lots will be responsible for a portion of the storm drain in San Pedro. Also, will the proposed storm drain in Corona be able to handle the addition of these flows?
3. This plan proposes to construct a temporary asphalt swale within the Corona Avenue right-of-way. This will be allowed subject to approval by City Transportation. This swale must have an Agreement and Covenant to assure that the property owners maintain this temporary facility. The same comment also applies to any proposed swale within the San Pedro right-of-way.

In order for any of the Wylie lots to be developed, all of the temporary improvements must be built and the owner must bond for all of the ultimate improvements, including the paving and storm drain systems in Corona and San Pedro. If you should have any questions regarding these comments, please call me at 768-2666.

Sincerely,

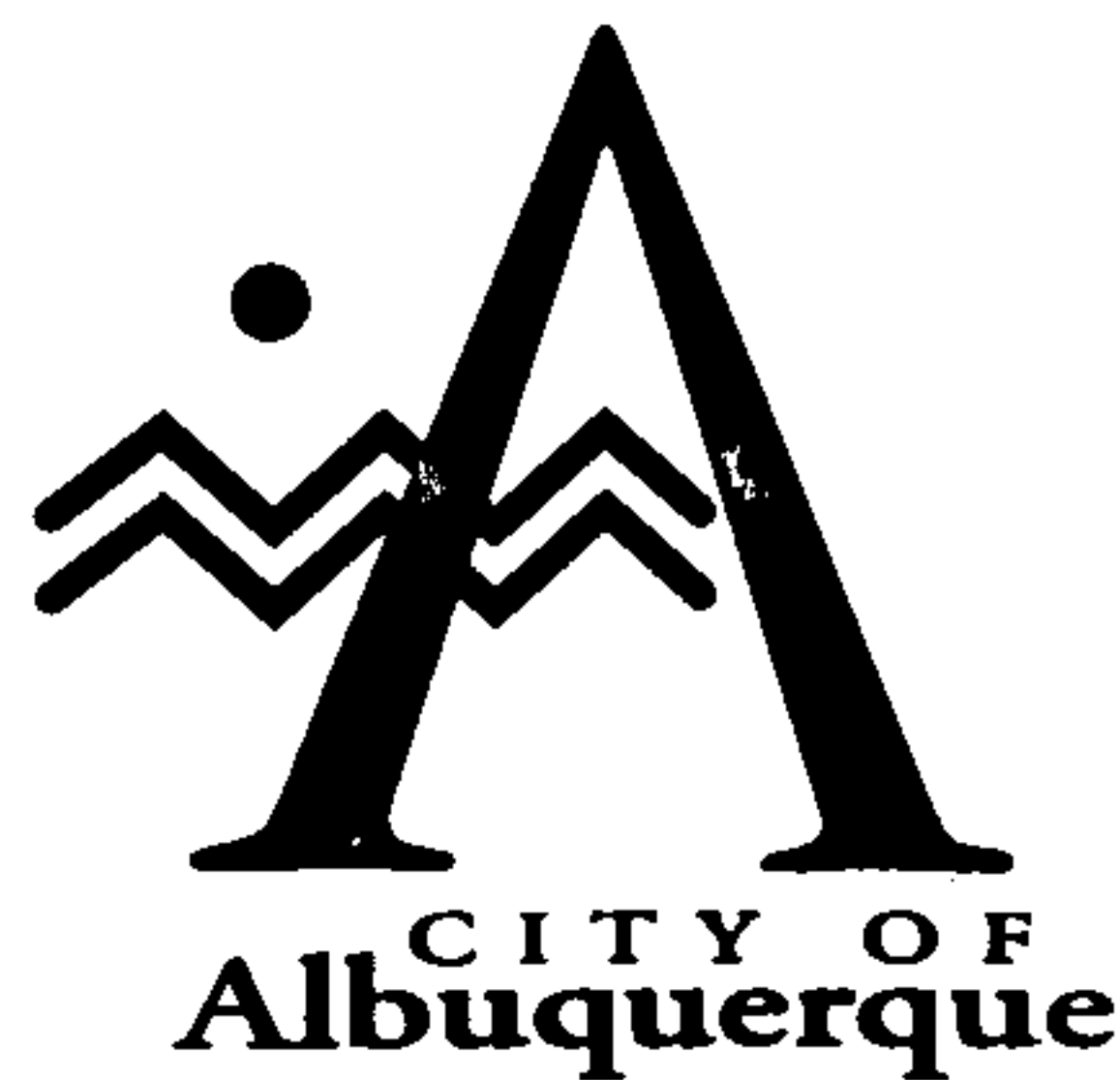
Susan M. Calongne, P.E.
City/County Floodplain Administrator

c: Alan Wylie, Owner

Good for You, Albuquerque!

File





October 2, 1996

Martin J. Chávez, Mayor
Don Dixon, P.E.
Resource Technology Inc.
2129 Osuna Road NE, Suite 200
Albuquerque, New Mexico 87113

RE: CONCEPTUAL GRADING AND DRAINAGE PLAN FOR WYLIE CORPORATION, LOTS 17-21,
BLOCK 14, NAA (C18/D34) SUBMITTED FOR SITE DEVELOPMENT PLAN FOR BUILDING
PERMIT APPROVAL, ENGINEER'S STAMP DATED 9/10/96.

Dear Mr. Dixon:

In order for any of Lots 17-21 to be developed, all of the temporary improvements must be constructed. The developer may be required to bond for the ultimate, permanent improvements. Until the Conceptual Grading and Drainage plan is approved, no Building Permits for these lots will be issued. Prior to approval of the above referenced plan, the following comments must be addressed:

1. This site is adjacent to both San Pedro and Corona, therefore the ultimate street grades and storm drain systems must be designed for each of these streets. The ultimate improvements for both San Pedro and Corona must be identified on the infrastructure list.
2. The plan shows that the Q_{100} is 32 cfs in Corona in the interim condition. Please provide street capacity calculations to demonstrate that this flow can cross San Pedro and be contained within the right-of-way. Are inlets needed in the interim condition?
3. In the interim condition, a paved access must be provided for the developed lots. Temporary pavement in Corona may be proposed. Any runoff from this pavement must be intercepted.
4. The interim pond should be designed as a retention pond for the developed runoff from the 100-year, 10-day storm. This includes the developed runoff from each of the Lots as well as the proposed pavement in Corona. An easement and covenant will be required for this pond and it must be privately maintained.
5. How will the proposed channel in the back of the lots intercept the existing 62 cfs in the arroyo? Is all of this runoff conveyed through the existing 30" CMP? More detail is required to assure that these flows are intercepted.

Good for You, Albuquerque!



Don Dixon, P.E.
page 2

October 2, 1996

6. In the interim condition, how will Lot 17 be protected from the off-site flows from the east crossing San Pedro?
7. Please provide the ultimate storm drain analysis for the proposed Corona storm drain system. Also include the proposed storm drain in San Pedro. The drainage plan for the Sonora West Subdivision identified a 54" RCP in Corona from I-25 to San Pedro. How does your analysis compare with the other drainage plans in the area?
8. The AHYMO runs should be included with the drainage submittal.
9. The proposed channel must be stable. Will compacted soil withstand the 100-year storm? This channel must be within a public drainage easement and will be privately maintained. An Agreement and Covenant for this channel must be in place prior to approval of the work order plans.

If you should have any questions regarding these comments, please call me at 768-2666.

Sincerely,



Susan M. Calongne, P.E.

City/County Floodplain Administrator

c: Andrew Garcia, City Hydrology
Alan Wylie, Owner
File