



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 3, 2003

Bruce Stidworthy, PE
Bohannon Huston, Inc.
7500 Jefferson NE – Courtyard 1
Albuquerque, NM 87109

**Re: Saab Albuquerque Grading and Drainage Plan (C-18/D35)
Engineer's Stamp Dated March 13, 2003**

Dear Mr. Stidworthy:

Based upon the information provided in your submittal received March 14, 2003, the above referenced plan is approved for Building Permit and SO#19 Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

A separate permit (SO#19) is required for construction within City R/W. A copy of this approval letter must be on hand when applying for the excavation permit. Also, prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions please call me at 924-3986.

Sincerely,

Bradley L. Bingham, PE
Sr. Engineer, Planning Dept.
Development and Building Services

C: File
Matt Cline, Arroyo Maintenance
Pam Lujan, Excavation Permits

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

PROJECT TITLE: Saab Albuquerque ZONE MAP/DRG. FILE # C18/D35
DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Lot 30-A, Block 11, Tract A, Unit B, North Albuquerque Acres
CITY ADDRESS: Between I-25 and San Mateo on north side of Alameda Boulevard

ENGINEERING FIRM: Bohannon Huston, Inc. CONTACT: Bruce Stidworthy
ADDRESS: 7500 Jefferson NE -- Courtyard I PHONE: (505) 823-1000
CITY, STATE: Albuquerque, NM ZIP CODE: 87109

OWNER: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: Dekker Perich Sabatini CONTACT: Jeff Fleming
ADDRESS: 6801 Jefferson NE, Suite 100 PHONE: (505) 761-9700
CITY, STATE: Albuquerque, NM ZIP CODE: _____

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☒ OTHER (SPECIFY) SO19

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES (informal discussion with Brad B.)
- ☐ NO
- ☐ COPY PROVIDED

RECEIVED
MAR 14 2003
PWD/DESIGN REVIEW

DATE SUBMITTED: 03/13/03 BY: Bruce Stidworthy, Bohannon Huston Inc.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

March 13, 2003

Mr. Brad Bingham
Planning Department
City of Albuquerque
P O Box 1293
Albuquerque, NM 87103

Re: SAAB Albuquerque Final Grading and Drainage Plan for Building Permit and SO19 Approval (C-18/D35)

Dear Brad:

The purpose of this letter is to address the comments from your letter dated March 6, 2003. The grading plan has been revised as described below. The new engineer's stamp date is 3/13/03.

- An SO19 Permit is required for proposed culverts in City R/W. Please include the necessary notes, signature block, and a duplicate plan for the City Storm Drain Maintenance Inspector. ***The SO19 notes and signature block have been added to the grading and drainage plan and a duplicate copy has been attached for the City Storm Drain Maintenance Inspector.***
- Please modify Grading Key Note No. 1 to say "culvert is similar to COA STD. DWG 2236". ***Grading and drainage keyed note no. 1 was modified to read "10" wide sidewalk culvert. Culvert to be similar to COA STD. DWG 2236, and shall be extended through the retaining wall".***

We would appreciate as prompt a reply as possible. If I can answer any questions, please contact me.

Sincerely,



Bruce J. Stidworthy, P.E.
Community Development and Planning

BJS/am
Enclosures



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

March 6, 2003

Bruce Stidworthy, PE
Bohannon Huston, Inc.
7500 Jefferson NE – Courtyard 1
Albuquerque, NM 87109

Re: Saab Albuquerque
~~Consent~~ Grading and Drainage Plan (C-18/D35)
Engineer's Stamp Dated February 14, 2003

Dear Mr. Stidworthy:

I have reviewed the referenced grading and drainage plan received February 14, 2003 and forward the following comments:

- An SO19 Permit is required for proposed culverts in City R/W. Please include the necessary notes, signature block, and a duplicate plan for the City Storm Drain Maintenance Inspector.
- Please modify Grading Key Note No. 1 to say "culvert is similar to COA STD. DWG 2236".

If you have any questions please call me at 924-3986

Sincerely,

Bradley L. Bingham, PE
Sr. Engineer, Planning Dept.
Development and Building Services

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

PROJECT TITLE: Saab Albuquerque ZONE MAP/DRG. FILE # C-18/D35
DRB #: _____ EPC#: _____ WORK ORDER#: _____

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CITY ADDRESS: Between I-25 and San Mateo on north side of Alameda Boulevard

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CITY, STATE: Albuquerque, NM ZIP CODE: 87109

OWNER: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: Dekker Perich Sabatini CONTACT: Jeff Fleming
ADDRESS: 6801 Jefferson NE, Suite 100 PHONE: (505) 761-9700
CITY, STATE: Albuquerque, NM ZIP CODE: _____

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

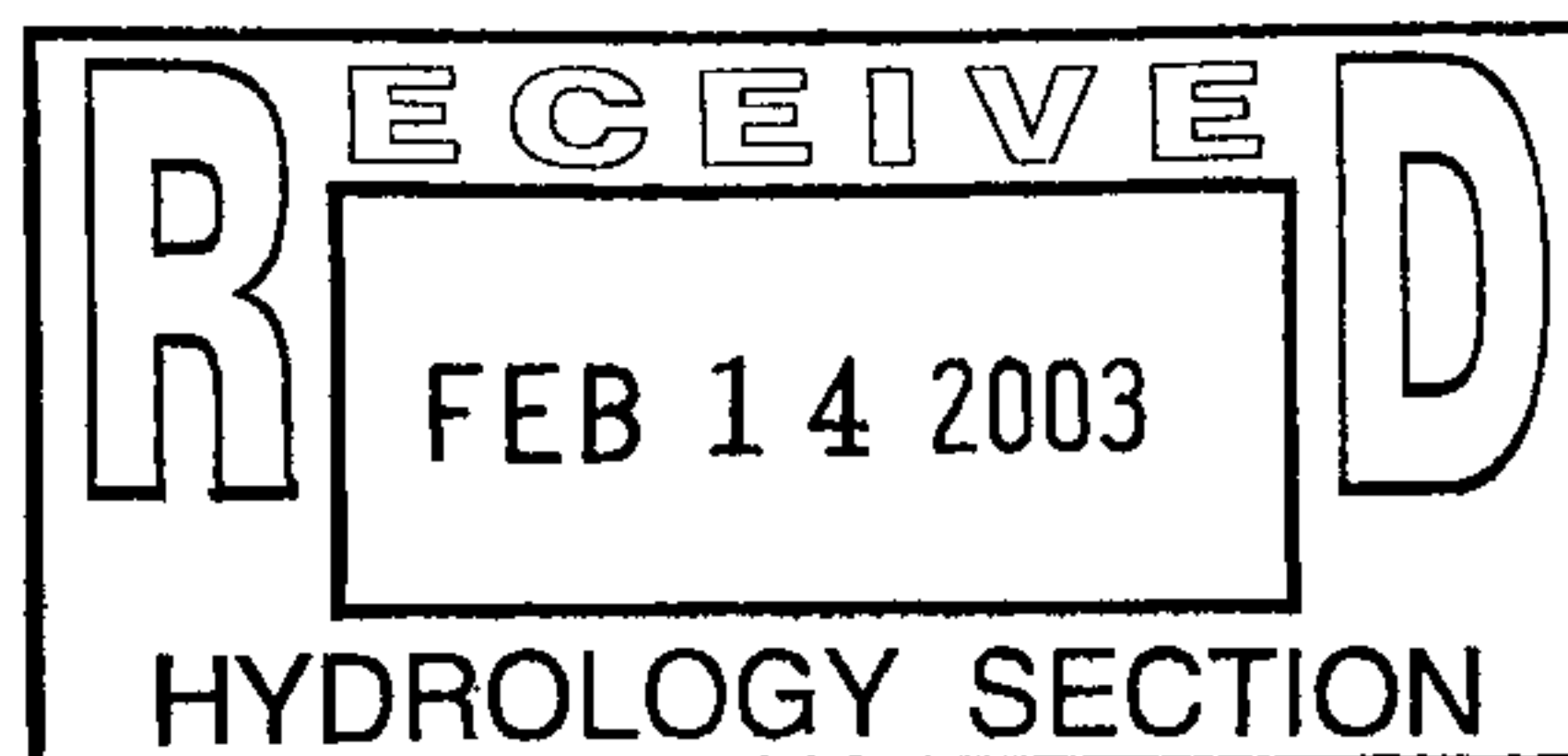
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
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- ☐ OTHER

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- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES (informal discussion with Brad B.)
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 02/14/03 BY: Bruce Stidworthy, Bohannon Huston Inc.

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- 3. Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

February 13, 2003

Bruce Stidworthy, PE
Bohannon Huston, Inc.
7500 Jefferson NE – Courtyard 1
Albuquerque, NM 87109

**Re: Saab Albuquerque
Conceptual Grading and Drainage Plan (C-18/D35)
Engineer's Stamp Dated January 21, 2003**

Dear Mr. Stidworthy:

The above referenced conceptual grading and drainage plan received January 21, 2003 is approved for Site Development Plan for Building Permit.

If you have any questions please call me at 924-3986

Sincerely,

Bradley L. Bingham, PE
Sr. Engineer, Planning Dept.
Development and Building Services

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

C-18/D35

PROJECT TITLE: Saab Albuquerque ZONE MAP/DRG. FILE # C-18-Z
DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Lot 30-A, Block 11, Tract A, Unit B, North Albuquerque Acres
CITY ADDRESS: Between I-25 and San Mateo on north side of Alameda Boulevard

ENGINEERING FIRM: Bohannon Huston, Inc. CONTACT: _____
ADDRESS: 7500 Jefferson NE - Courtyard I PHONE: (505) 823-1000
CITY, STATE: Albuquerque, NM ZIP CODE: 87109

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ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: Dekker Perich Sabatini CONTACT: Jeff Fleming
ADDRESS: 6801 Jefferson NE, Suite 100 PHONE: (505) 761-9700
CITY, STATE: Albuquerque, NM ZIP CODE: _____

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ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

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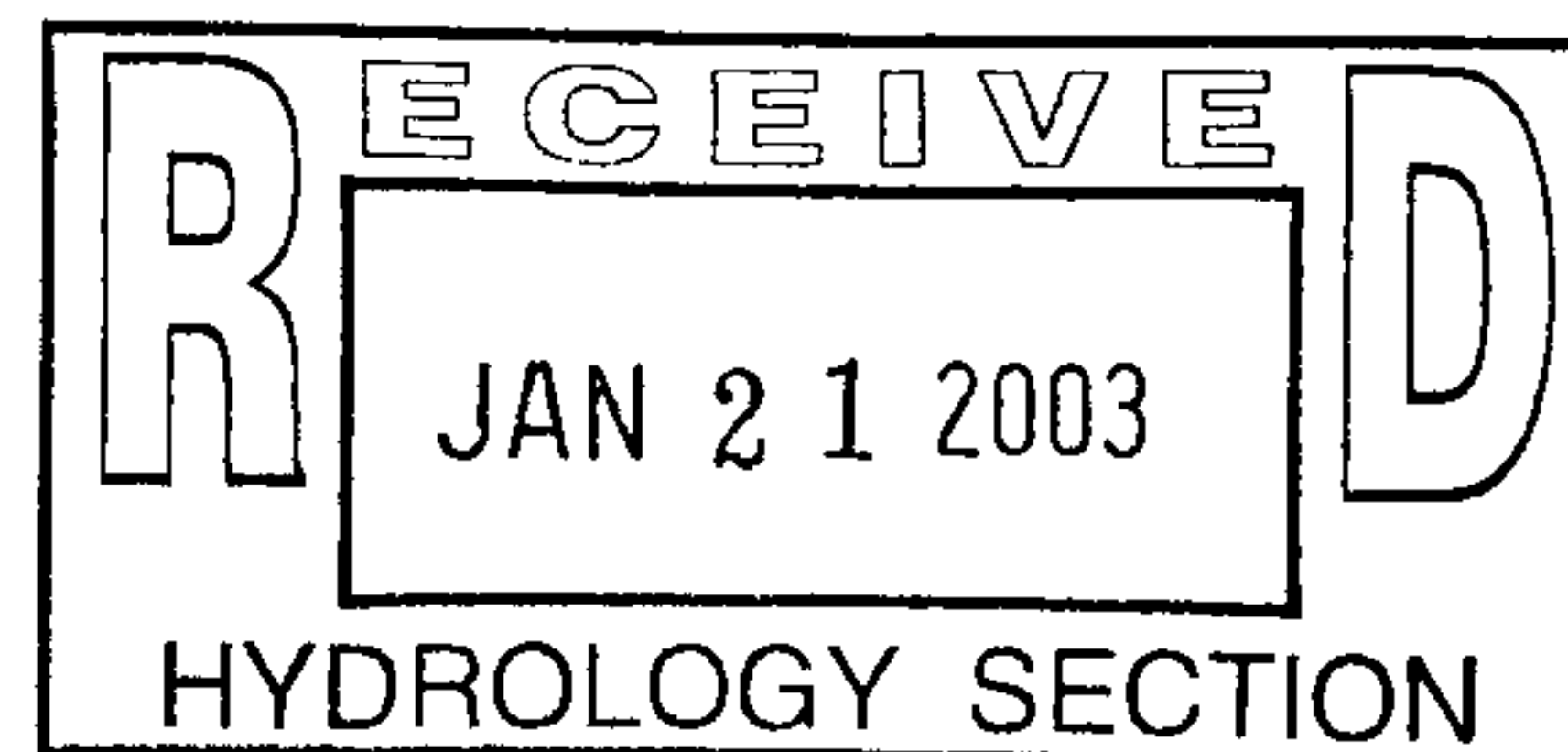
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
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- ☐ GRADING PLAN
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- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES (informal discussion with Brad B.)
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 01/21/03 BY: Bruce Stidworthy, Bohannon Huston Inc.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
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3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



June 20, 2012

Diane Hoelzer, P.E.
Mark Goodwin & Associates, PA
P.O. Box 90606
Albuquerque, NM 87199

**Re: AMERICA'S PASSTIME, Grading and Drainage Plan
Engineer's Stamp Date 06/11/2012 (C18/D035)**

Dear Ms. Hoelzer,

Based upon the information provided in your submittal received 06/12/2012, the following comments have to be addressed prior to an approval for Building Permits:

- Sidewalk culvert plate should be extended from the curb to 2' south of the property line. Call out the City of Albuquerque Standard drawing number 2236. Include a note that the contractor will tack weld the bolts on the plate.
- Include the size for the proposed curb opening at the northwest corner of the northerly parking spaces
- Portion of the proposed detention pond will an approximate 3' cuts into the exiting public utility easement. Can the pond be revised to stay outside the easement?
- Show the proposed Handicap Ramp on the plan.
- An invert of the 66.60 is call out on the plan on the northwest corner of the building. How does the runoff enter the pond from this location? Please provide details. Since the WSEL is at 66.70 please make sure that the runoff will not overflow into the adjacent property. The elevations at the property line may have to be at 67.00 or higher.
- Provide an emergency overflow and calculations for the pond.
- Please provide slope treatment and a typical section for the areas where the grades exceed 3:1 slope. Please check the grades along the easterly property line.
- Make a definite determination if retaining walls are required.
- Change note number 2 under the "Notice To Contractor" to update #8 .
- Hydrology is requesting that proposed landscape areas be depressed.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Shahab Biazar, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: e-mail

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/05)

PROJECT TITLE: America's Pastime ZONE MAP/DRG. FILE #C-18
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Lot 30A3, North Albuquerque Acres, NM
CITY ADDRESS: _____

ENGINEERING FIRM: Mark Goodwin & Associates, PA CONTACT: Diane Hoelzer, PE
ADDRESS: PO Box 90606 PHONE: 828-2200
CITY, STATE: Albuquerque, NM ZIP CODE: 87199

OWNER: Bill Davidson CONTACT: same
ADDRESS: 9500 Eagle Rock NE PHONE: 844-0667
CITY, STATE: Albuquerque, NM ZIP CODE: 87122

ARCHITECT: Rick Bennett Architects CONTACT: David McEachern
ADDRESS: 1104 Park Avenue SW PHONE: 242-1859
CITY, STATE: Albuquerque, NM ZIP CODE: 87102

SURVEYOR: NA CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: NA CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☒ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN (2)
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER/ARCHITECT CERT (TCL)
☐ ENGINEER/ARCHITECT (DRB SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

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☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☒ OTHER (SPECIFY) SO.19

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☐ NO
☐ COPY PROVIDED

SUBMITTED BY: Diane Hoelzer, PE *DAA* DATE: June 12, 2012

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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- Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

RECEIVED
JUN 12 2012

*OWES
50.50*

MARK GOODWIN

& ASSOCIATES
CONSULTING ENGINEERS

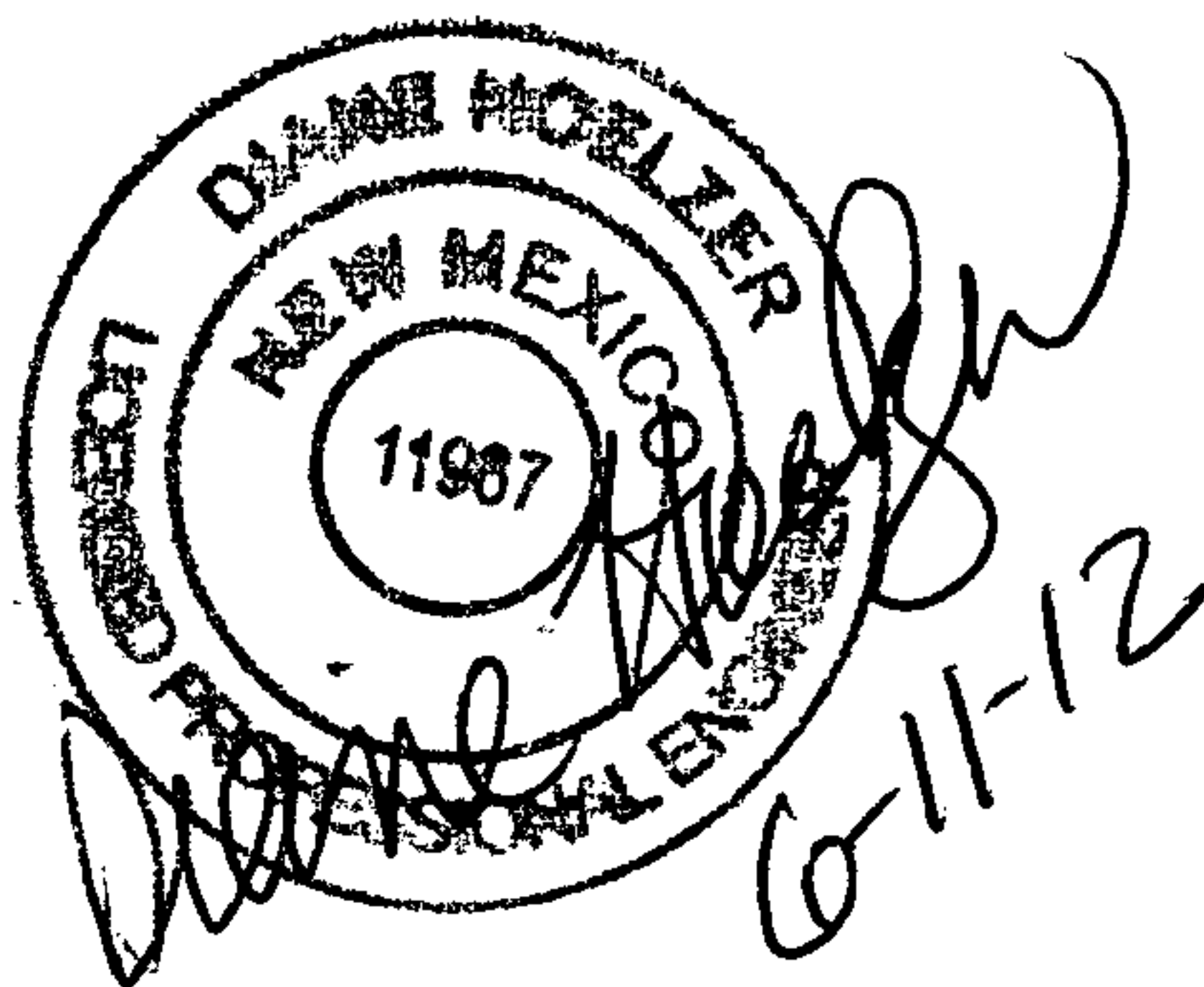
dmg

DRAINAGE MANAGEMENT PLAN

For

America's Pastime

*Prepared for:
City of Albuquerque*



*Prepared by
Mark Goodwin & Associates, P.A.*

June 2012

America's Past Time

Table of Contents

I. PROJECT DESCRIPTION

II DESIGN CRITERIA AND PREVIOUS REPORTS

III. EXISTING DRAINAGE CONDITIONS

IV. DEVELOPED DRAINAGE CONDITIONS

FIGURE 1 Vicinity Map

FIGURE 2 Grading and Drainage Plan- (11"x17" copy)

APPENDIX Pond calculations and AHYMO print out

POCKET 1 GRADING AND DRAINAGE PLAN

I. PROJECT DESCRIPTION

The America's Pastime project site covers an area of 0.42 acres. There is development on the west, south and east side of the property. Oakland Avenue is adjacent to the north property boundary.

II. DESIGN CRITERIA AND PREVIOUS REPORTS

The design criteria used in this report was in accordance with Section 22.2 Hydrology of the Development Process Manual, Volume 2, Design Criteria, January 1993 edition. The 100-year 6-hour storm event was analyzed to determine the required volume capacity of the onsite detention pond using $P(1 \text{ hr})=2.10"$, $P(6 \text{ hr})=2.45"$.

The onsite Land Treatment values used were based on Table A-5 Percent with Treatment D=80 and Treatment B=20.

A storm drain system was built in Oakland Avenue that was designed to intercept a portion of the developed flows from all the adjacent properties along Oakland Avenue. The allowable discharge from these properties was determined to be 1.75 cfs per acre. This discharge rate is in accordance with the approved drainage plan for Oakland Avenue and results in a maximum allowable discharge from this site of 0.75 cfs ($1.75 \text{ cfs} \times 0.42736 \text{ acres}$).

III. EXISTING DRAINAGE CONDITIONS

No offsite flows enter the project site. The onsite terrain is relatively flat and drains towards Oakland Avenue.

IV. DEVELOPED DRAINAGE CONDITIONS

Onsite drainage will be conveyed through surface flow and swales to the onsite detention pond. An "erosion" protected swale will convey runoff around the buildings east, south and west side. The pond outfall will be through a 4" x 3.33" orifice plat opening before entering a 12" wide sidewalk culvert that discharges to the face of curb in Oakland Avenue. The orifice plat will reduce the peak flow to the maximum allowable discharge of 0.75 cfs during the 100 year storm event. Downstream inlets at the end of Oakland Avenue will intercept the runoff into the storm drain system.

APPENDIX A - HYDROLOGY

Calculations

AHYMO Printouts



D. Mark Goodwin & Associates, P.A.
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 828-2200 FAX 797-9539

PROJECT America's Past Time
SUBJECT POND CALCS.
BY _____ DLH DATE 6-11-12
CHECKED _____ DATE _____
SHEET _____ OF _____

POND AREA = 436 SF	Elev.	AcFt.	Q	Δh
@ 3.0 Ft deep = 1308 CF	67.0	.030	0.75	2.833'
= 0.030 AF	66.5	.025	0.68	2.333'
	66.0	.020	0.60	1.833'
	65.5	.015	0.51	1.333'
	65.0	.010	0.41	.833'
	64.5	.005	0.26	0.333'
	64.0	0	0	

ORIFICE EQN: $Q = C \cdot \text{AREA} \cdot \sqrt{2g\Delta h}$

$$0.75 = (.6) \text{AREA} \sqrt{64.4(2.833')}$$

$$\text{AREA} = 0.09254 \text{ SF}$$

$$\therefore \text{OPENING} = 4" \times 3.33" = .0925 \text{ SF}$$

AHYMO PROGRAM (AHYMO_97) - - Version: 1997.02d
 RUN DATE (MON/DAY/YR) = 06/11/2012
 START TIME (HR:MIN:SEC) = 15:48:28 USER NO.= AHYMO-I-9702dGoodwinM-AH
 INPUT FILE = past.dat

*S*****

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*S

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*S

*S

*S

START

LOCATION

AMERICAS PAST TIME

100 YEAR 6 HOUR STORM EVENT

FILE: PAST.DAT

LAST REVISED: 6-11-12

TIME=0.0 HR PUNCH CODE=0 PRINT LINES=-6

NEW MEXICO

State of New Mexico soil infiltration values (LAND FACTORS) used for computations.

Land Treatment	Initial Abstr.(in)	Unif. Infilt.(in/hour)
A	0.65	1.67
B	0.50	1.25
C	0.35	0.83
D	0.10	0.04

RAINFALL

TYPE=1 RAIN QUARTER=0.0

RAIN ONE=2.10 IN RAIN SIX=2.45 IN

RAIN DAY=2.80 IN DT=0.0333 HRS

COMPUTED 6-HOUR RAINFALL DISTRIBUTION BASED ON NOAA ATLAS 2 - PEAK AT 1.40 HR.

DT = .033300 HOURS END TIME = 5.994000 HOURS

.0000	.0016	.0033	.0050	.0067	.0085	.0103
.0122	.0141	.0161	.0181	.0201	.0222	.0244
.0267	.0290	.0313	.0338	.0363	.0389	.0417
.0445	.0474	.0504	.0536	.0569	.0604	.0640
.0678	.0719	.0762	.0819	.0881	.0947	.1084
.1398	.1881	.2577	.3529	.4780	.6376	.8365
1.0794	1.3126	1.4083	1.4888	1.5603	1.6253	1.6851
1.7407	1.7925	1.8412	1.8869	1.9301	1.9709	2.0095
2.0461	2.0808	2.1137	2.1449	2.1746	2.1826	2.1889
2.1949	2.2006	2.2060	2.2112	2.2162	2.2210	2.2256
2.2301	2.2344	2.2386	2.2426	2.2466	2.2504	2.2541
2.2577	2.2612	2.2647	2.2680	2.2713	2.2745	2.2777
2.2808	2.2838	2.2867	2.2896	2.2925	2.2952	2.2980
2.3007	2.3033	2.3059	2.3085	2.3110	2.3135	2.3159
2.3183	2.3207	2.3230	2.3253	2.3276	2.3298	2.3320
2.3342	2.3363	2.3385	2.3406	2.3426	2.3447	2.3467
2.3487	2.3507	2.3526	2.3545	2.3565	2.3583	2.3602
2.3621	2.3639	2.3657	2.3675	2.3693	2.3710	2.3728
2.3745	2.3762	2.3779	2.3795	2.3812	2.3828	2.3845
2.3861	2.3877	2.3893	2.3909	2.3924	2.3940	2.3955
2.3970	2.3985	2.4000	2.4015	2.4030	2.4044	2.4059
2.4073	2.4088	2.4102	2.4116	2.4130	2.4144	2.4158

2.4171	2.4185	2.4199	2.4212	2.4225	2.4238	2.4252
2.4265	2.4278	2.4291	2.4303	2.4316	2.4329	2.4341
2.4354	2.4366	2.4379	2.4391	2.4403	2.4415	2.4427
2.4439	2.4451	2.4463	2.4475	2.4486	2.4498	

*S*****
 *S DEVELOPED CONDITIONS
 *S TOTAL SITE AREA = 0.42736 ACRES

COMPUTE NM HYD ID=1 HYD NO=100 AREA= 0.00066775 SQ MI
 PER A=0 PER B=20 PER C=0 PER D=80
 TP=-.1333 HR MASS RAIN=-1

K = .072649HR TP = .133300HR K/TP RATIO = .545000 SHAPE CONSTANT, N = 7.106420
 UNIT PEAK = 2.1091 CFS UNIT VOLUME = .9941 B = 526.28 P60 = 2.1000
 AREA = .000534 SQ MI IA = .10000 INCHES INF = .04000 INCHES PER HOUR
 RUNOFF COMPUTED BY INITIAL ABSTRACTION/INFILTRATION NUMBER METHOD - DT = .033300

K = .133173HR TP = .133300HR K/TP RATIO = .999050 SHAPE CONSTANT, N = 3.533693
 UNIT PEAK = .32339 CFS UNIT VOLUME = .9561 B = 322.78 P60 = 2.1000
 AREA = .000134 SQ MI IA = .50000 INCHES INF = 1.25000 INCHES PER HOUR
 RUNOFF COMPUTED BY INITIAL ABSTRACTION/INFILTRATION NUMBER METHOD - DT = .033300

PRINT HYD ID=1 CODE=1

PARTIAL HYDROGRAPH 100.00

RUNOFF VOLUME = 1.94271 INCHES = .0692 ACRE-FEET
 PEAK DISCHARGE RATE = 1.91 CFS AT 1.499 HOURS BASIN AREA = .0007 SQ. MI.

*S
 *S OUTFALL: 4"x3.33" PLATE OPENING THROUGH 12" WIDE SIDEWALK CULVERT
 *S

ROUTE RESERVOIR	ID=4	HYD=POND.101	INFLOW=1	CODE=5
	OUTFLOW(CFS)	STORAGE(ACFT)	ELEV(FT)	
	0	0	64.00	
	0.26	.0050	64.50	
	0.41	.0100	65.00	
	0.51	.0150	65.50	
	0.60	.0200	66.00	
	0.68	.0250	66.50	
	0.75	.0300	67.00	

* * * * *

TIME (HRS)	INFLOW (CFS)	ELEV (FEET)	VOLUME (AC-FT)	OUTFLOW (CFS)
---------------	-----------------	----------------	-------------------	------------------

.00	.00	64.00	.000	.00
.17	.00	64.00	.000	.00
.33	.00	64.00	.000	.00
.50	.00	64.00	.000	.00
.67	.00	64.00	.000	.00
.83	.00	64.00	.000	.00
1.00	.00	64.00	.000	.00
1.17	.01	64.00	.000	.00
1.33	.52	64.22	.002	.11
1.50	1.91	65.48	.015	.51
1.67	.99	66.64	.026	.70
1.83	.62	66.72	.027	.71
2.00	.44	66.49	.025	.68
2.16	.21	66.07	.021	.61
2.33	.09	65.48	.015	.51
2.50	.05	64.95	.010	.40
2.66	.03	64.55	.006	.28
2.83	.02	64.30	.003	.15
3.00	.02	64.16	.002	.09
3.16	.02	64.10	.001	.05
3.33	.01	64.06	.001	.03
3.50	.01	64.04	.000	.02
3.66	.01	64.03	.000	.02
3.83	.01	64.03	.000	.01
4.00	.01	64.02	.000	.01
4.16	.01	64.02	.000	.01
4.33	.01	64.02	.000	.01
4.50	.01	64.02	.000	.01
4.66	.01	64.02	.000	.01
4.83	.01	64.02	.000	.01
5.00	.01	64.02	.000	.01
5.16	.01	64.02	.000	.01
5.33	.01	64.02	.000	.01
5.49	.01	64.02	.000	.01
5.66	.01	64.02	.000	.01
5.83	.01	64.02	.000	.01
5.99	.01	64.02	.000	.01
6.16	.00	64.02	.000	.01
6.33	.00	64.01	.000	.01
6.49	.00	64.01	.000	.00

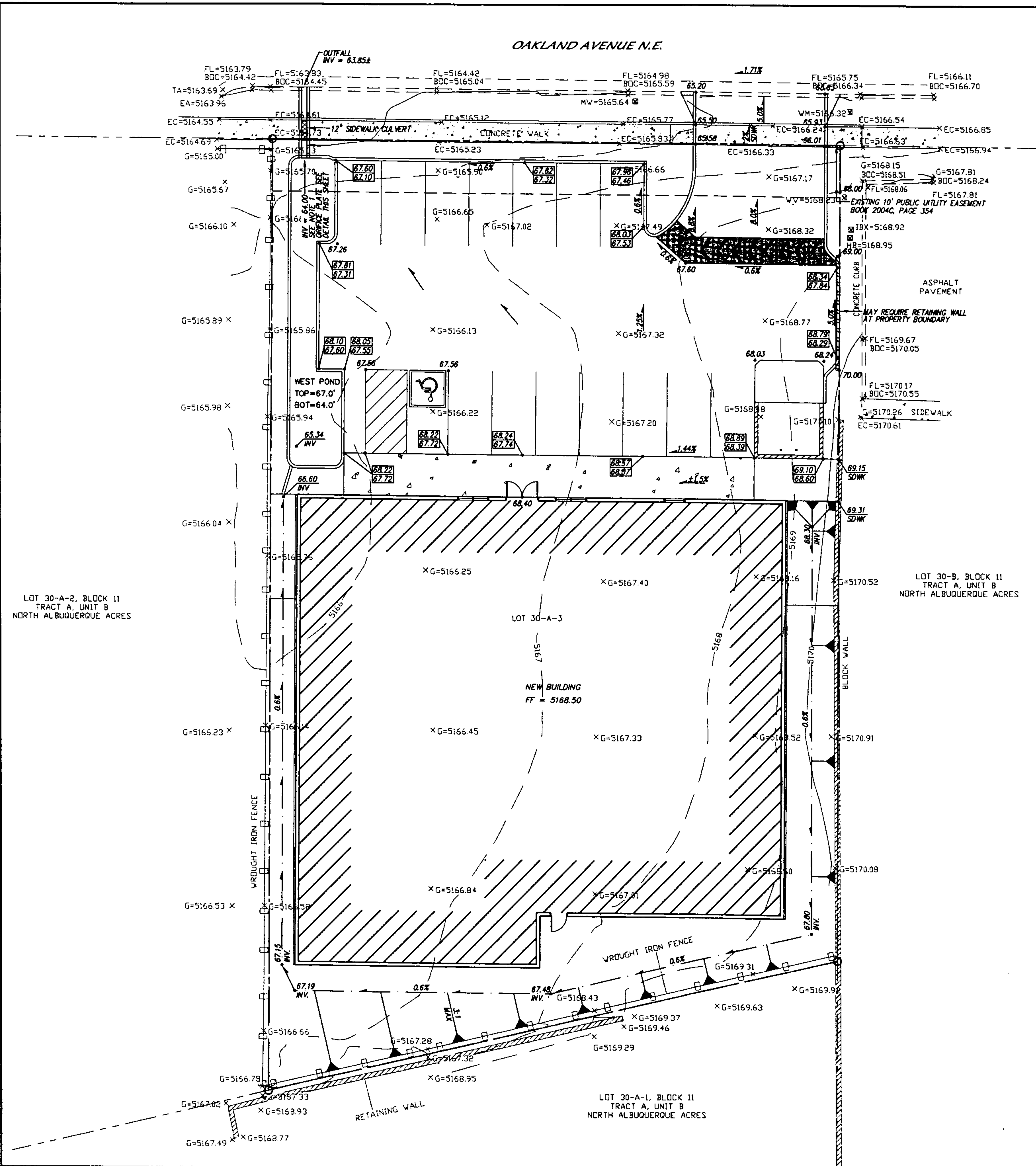
PEAK DISCHARGE = .715 CFS - PEAK OCCURS AT HOUR 1.76
 MAXIMUM WATER SURFACE ELEVATION = 66.747
 MAXIMUM STORAGE = .0275 AC-FT INCREMENTAL TIME= .033300HRS

PRINT HYD ID=4 CODE=50

HYDROGRAPH FROM AREA POND.101

RUNOFF VOLUME = 1.94230 INCHES = .0692 ACRE-FEET
PEAK DISCHARGE RATE = .71 CFS AT 1.765 HOURS BASIN AREA = .0007 SQ. MI.

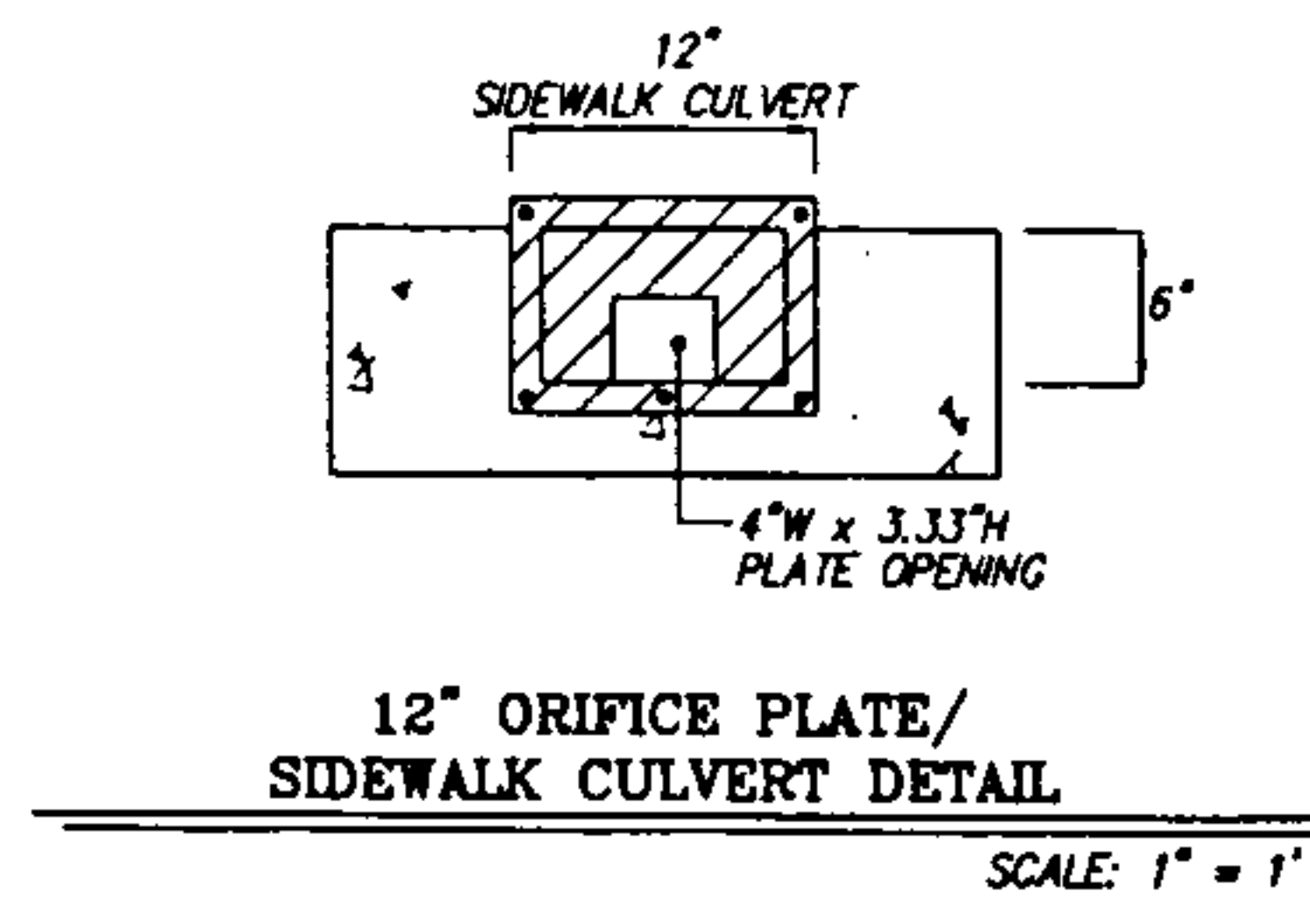
NORMAL PROGRAM FINISH END TIME (HR:MIN:SEC) = 15:48:28



- NOTICE TO CONTRACTOR
1. An excavation/construction permit will be required before beginning any work within City right of way.
 2. All work detailed on these plans to be performed, except as otherwise stated or provided for herein, shall be constructed in accordance with City of Albuquerque Standard Specifications for Public Works Construction, (1986 Edition as revised through update #7 amendment 1).
 3. Two working days prior to any excavation, Contractor must contact New Mexico One Call system, (260-1990) for location of existing utilities.
 4. Prior to construction, the Contractor shall excavate and verify the horizontal and vertical locations of all constructions. Should a conflict exist, the Contractor shall notify the Engineer so that the conflict can be resolved with a minimum amount of delay.
 5. Backfill compaction shall be according to Traffic / street use.
 6. Maintenance of these facilities shall be the responsibility of the Owner of the property served.
 7. Work on Arterial Street shall be Performed on a 24-hour Basis.

Approval	Name	Date
Inspector		

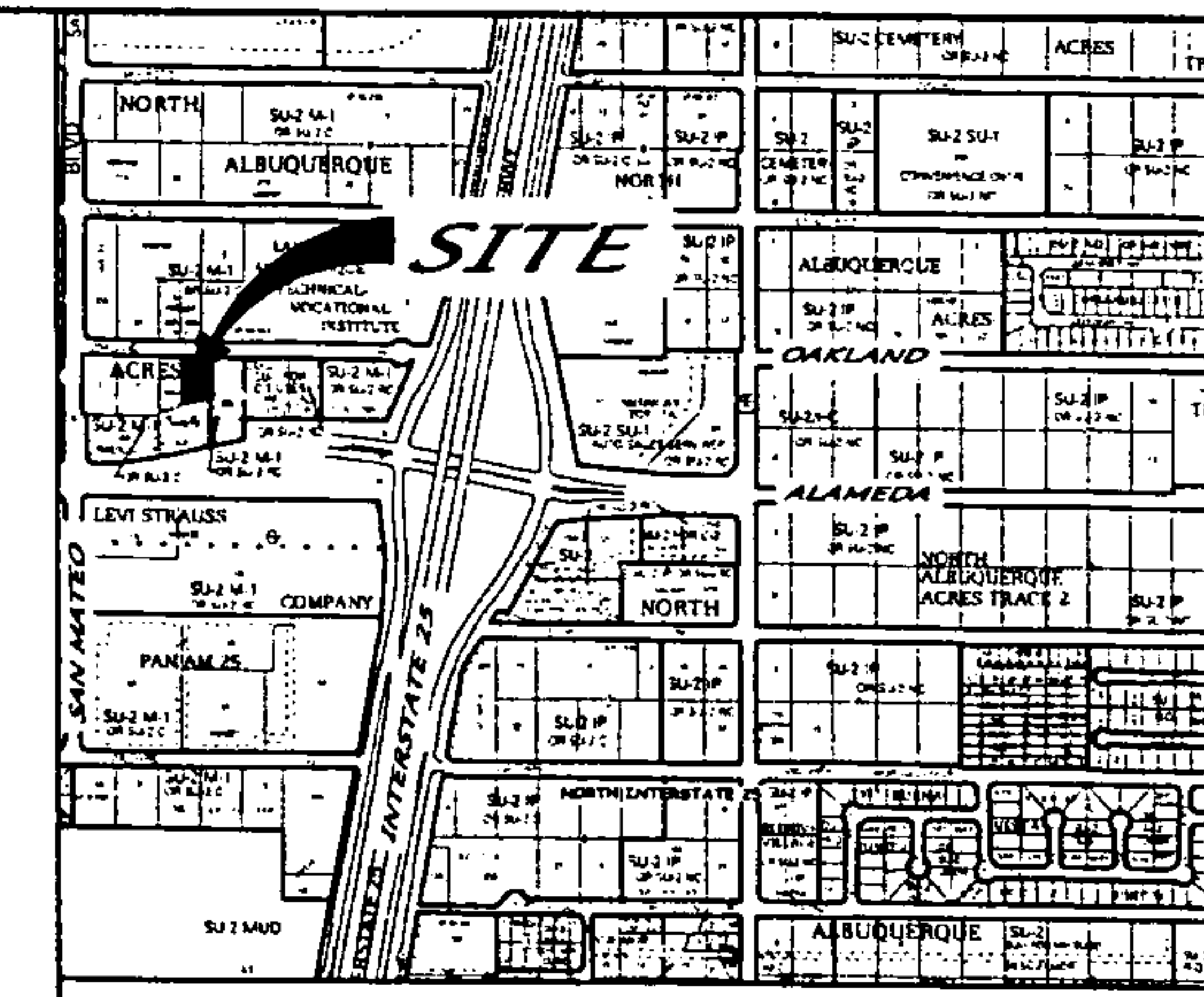
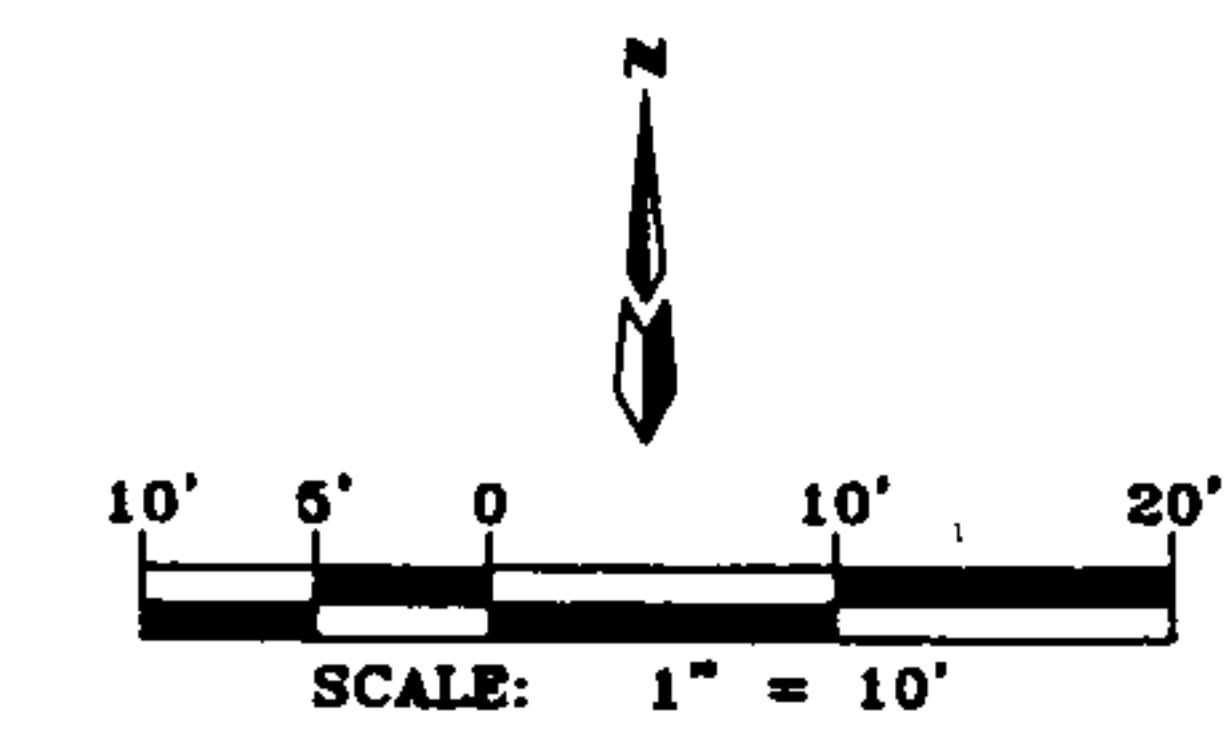
- NOTES
1. CONTRACTOR TO MAKE SURE POSITIVE OUTFALL FROM POND BOTTOM TO FACE OF CURB FLOWLINE ELEVATION.
 2. SWALE AROUND BUILDING SHALL HAVE EROSION PROTECTION IN FORM OF LANDSCAPING MATERIAL OR LANDSCAPE ROCK.



HYDROLOGY SUMMARY

TOTAL AREA = 0.42 acres
Q 100 YR = 1.93 cfs
Q ALLOWABLE = 0.75 cfs

DETENTION POND:
TOP = 5167.00
BOTTOM = 5164.00
SS = VERTICAL
DESIGN VOLUME = 0.030 AF
MAX VOLUME = 0.0275 AF
Q 100 OUT = 0.71 cfs
MAX WSEL = 5166.75



VICINITY MAP ZONE MAP: C-18-2

ACS BENCHMARK

A CITY OF ALBUQUERQUE 1 3/4" ALUMINUM DISK, STAMPED "ACS BM 9-C17", EXPOSED TO THE TOP OF CONCRETE CURB, S.E. QUADRANT OF JEFFERSON STREET & WATERCRESS DRIVE N.E. HAVING A DATUM OF NAD 83. NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE. ELEVATION = 5123.218 (NAVD 1988).

LEGAL DESCRIPTION

LOT 30-A-2, BLOCK 11, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES

- LEGEND**
- B/C EXISTING BACK OF CURB
 - TA EXISTING TOP OF ASPHALT
 - EC EXISTING EDGE OF CONCRETE
 - WV EXISTING WATER VALVE
 - WM EXISTING WATER METER
 - FL EXISTING FLOW LINE
 - FH EXISTING FIRE HYDRANT
 - NPSASH EXISTING NORTH RIM SANITARY SEWER MANHOLE
 - IBX EXISTING IRRIGATION BOX
 - HB EXISTING HOT BOX
 - MW EXISTING MONITORING WELL
 - G EXISTING GROUND
 - 5170 EXISTING MAJOR CONTOUR
 - 5167 EXISTING MINOR CONTOUR
 - EXISTING CURB & GUTTER
 - 5166.10 x EXISTING SPOT ELEVATION
 - EXISTING WALL
 - EXISTING WROUGHT IRON FENCE
 - EXISTING CONCRETE
 - EXISTING BOUNDARY LINE
 - NEW CURB
 - NEW WALL
 - NEW RETAINING WALL
 - NEW SLOPE
 - NEW FLOW
 - NEW SWALE
 - NEW SPOTS
 - NEW SIDEWALK
 - NEW 5' WIDE, 3" HIGH SPEED BUMP

**AMERICA'S PASTTIME
GRADING & DRAINAGE PLAN**

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: DMG	Drawn: DER	Checked: DMG	Sheet: C 1
Scale: 1" = 10'	Date: 06-06-12	Job: A12015	

Diane Hoelzer

From: Biazar, Shahab [sbiazar@cabq.gov]
Sent: Wednesday, August 01, 2012 4:49 PM
To: Diane Hoelzer
Cc: Sims, Timothy E.
Subject: America's Passtime, City Drainage Number C18/D035

Hi,

My comments 3 and 4 have not been addressed:

- Please revise “(See Note 2)” to “(See Note 1 & 3)” at the 12” sidewalk culvert.
- Is the 8” PVC (with an invert of 66.60) on the northwest corner of the building through a proposed wall? Please provide a detail.

Also, at the DRB last week a new pedestrian connection was shown on the site plan which is not shown on the revised grading plan. Since the entrance grades are over 8% we will need to see the grades along the path to assure handicap accessibility is met.

Thanks and have a nice day

Shahab Biazar, P.E.

Senior Engineer

Planning Department

Development & Building Services Division

600 2nd St. NW, Suite 201

Albuquerque, NM 87102

t 505-924-3695

f 505-924-3864

August 28, 2012

Shahab,

The reference to “Note 1 & 3” have been corrected.

I added a Note 4 to detail the construction of this item.

The handicap parking space into the building is ADA accessible. The sidewalk from Oakland to the building is for pedestrian access only. If you have questions with regards to the ADA component, please call Rick Bennett, the Architect for this project at 242-1859.

Thanks,

Diane Hoelzer, PE

MARK GOODWIN & ASSOCIATES, PA

RECEIVED
AUG 28 2012

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/05)

PROJECT TITLE: America's Pastime ZONE MAP/DRG. FILE # C-18/D035
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Lot 30A3, North Albuquerque Acres, NM
CITY ADDRESS: _____

ENGINEERING FIRM: Mark Goodwin & Associates, PA CONTACT: Diane Hoelzer, PE
ADDRESS: PO Box 90606 PHONE: 828-2200
CITY, STATE: Albuquerque, NM ZIP CODE: 87199

OWNER: Bill Davidson CONTACT: same
ADDRESS: 9500 Eagle Rock NE PHONE: 844-0667
CITY, STATE: Albuquerque, NM ZIP CODE: 87122

ARCHITECT: Rick Bennett Architects CONTACT: David McEachern
ADDRESS: 1104 Park Avenue SW PHONE: 242-1859
CITY, STATE: Albuquerque, NM ZIP CODE: 87102

SURVEYOR: NA CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: NA CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN (**REVISED**)
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER/ARCHITECT CERT (TCL)
☐ ENGINEER/ARCHITECT (DRB SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☒ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☒ OTHER (SPECIFY) SO.19

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☐ NO
☐ COPY PROVIDED

RECEIVED
AUG 28 2012

SUBMITTED BY: Diane Hoelzer, PE DATE: August 28, 2012

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

Biazar, Shahab

From: Biazar, Shahab
Sent: Wednesday, August 01, 2012 4:49 PM
To: 'Diane Hoelzer (Diane@goodwinengineers.com)'
Cc: Sims, Timothy E.
Subject: America's Passtime, City Drainage Number C18/D035

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Please provide a detail.

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Thanks and have a nice day

Shahab Biazar, P.E.

Senior Engineer

Planning Department

Development & Building Services Division

600 2nd St. NW, Suite 201

Albuquerque, NM 87102

t 505-924-3695

f 505-924-3864

8/1/2012

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/05)

PROJECT TITLE: America's Pastime ZONE MAP/DRG. FILE # C-18/D035
DRB#: _____ EPC#: _____ WORK ORDER#: _____

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ARCHITECT: Rick Bennett Architects CONTACT: David McEachern
ADDRESS: 1104 Park Avenue SW PHONE: 242-1859
CITY, STATE: Albuquerque, NM ZIP CODE: 87102

SURVEYOR: NA CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: NA CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:
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☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN **(REVISED)**
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER/ARCHITECT CERT (TCL)
☐ ENGINEER/ARCHITECT (DRB SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:
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☐ FINAL PLAT APPROVAL
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☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☒ OTHER (SPECIFY) SO. 19

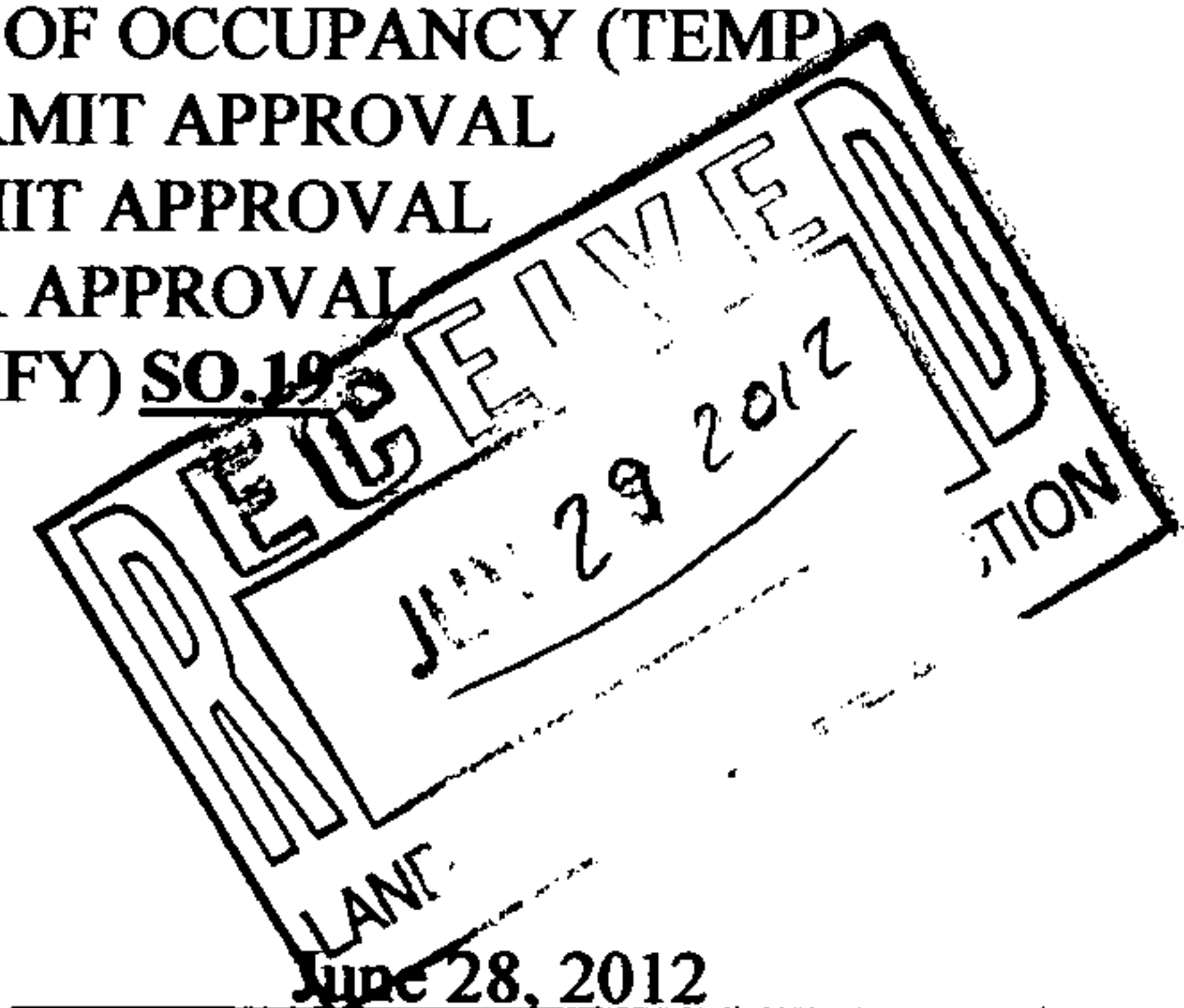
WAS A PRE-DESIGN CONFERENCE ATTENDED:
☐ YES
☐ NO
☐ COPY PROVIDED

SUBMITTED BY: Diane Hoelzer, PE DATE: June 28, 2012

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

*Due 3
50-20*





D. Mark Goodwin & Associates, P.A.
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 828-2200 FAX 797-9539

June 28, 2012

Mr. Shahab Biazar, PE
Senior Engineer, Planning Dept.
Development and Building Services
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

**Re: America's Pastime Grading and Drainage Plan
Engineers Revised Stamp Date 6-28-12 (C-18/D035)**

Dear Mr. Biazar,

In response to your comment letter dated June 20, 2012, your comments are addressed below:

1. Sidewalk culvert extended 2' and City standard 2236 added as well as tack weld note.
2. 12" wide curb opening size noted on plan.
3. Pond removed from 10' PUE.
4. Handicap ramp detail added to plan.
5. Runoff from side swale enters through an 8" PVC pipe.
6. Emergency overflow and calculations have been added to the plan.
7. Note added for slope treatment on slopes greater than 3:1.
8. Retaining wall notations added.
9. Revised to Update #8.
10. Not sure where landscape areas may be depressed. Landscape areas around the perimeter have swales, but grades are dictated by needing to match back to existing offsite grades.

Please call me if you have any questions.

Sincerely,

MARK GOODWIN & ASSOCIATES, P.A.

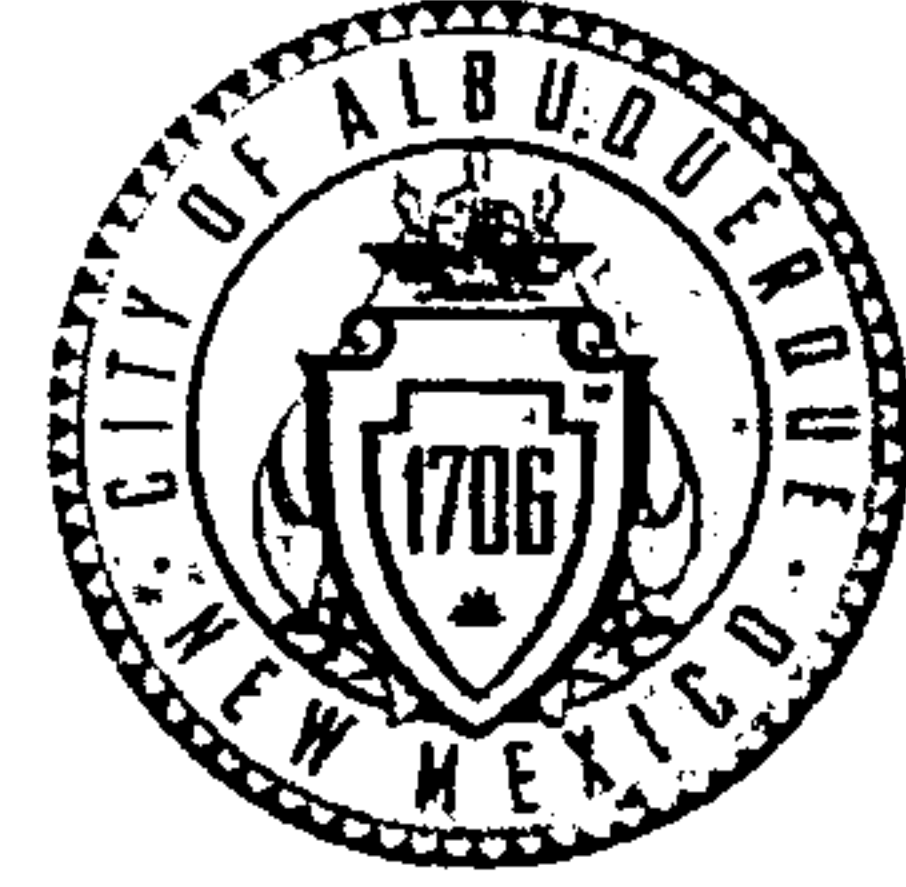
Diane Hoelzer, PE
Senior Engineer

DLH/dlh

f:\12015 \ Americas pastime \ hydro_ltr.docx



CITY OF ALBUQUERQUE



June 20, 2012

Diane Hoelzer, P.E.
Mark Goodwin & Associates, PA
P.O. Box 90606
Albuquerque, NM 87199

**Re: AMERICA'S PASSTIME, Grading and Drainage Plan
Engineer's Stamp Date 06/11/2012 (C18/D035)**

Dear Ms. Hoelzer,

Based upon the information provided in your submittal received 06/12/2012, the following comments have to be addressed prior to an approval for Building Permits:

- Sidewalk culvert plate should be extended from the curb to 2' south of the property line. Call out the City of Albuquerque Standard drawing number 2236. Include a note that the contractor will tack weld the bolts on the plate.
- Include the size for the proposed curb opening at the northwest corner of the northerly parking spaces
- Portion of the proposed detention pond will an approximate 3' cuts into the exiting public utility easement. Can the pond be revised to stay outside the easement?
- Show the proposed Handicap Ramp on the plan.
- An invert of the 66.60 is call out on the plan on the northwest corner of the building. How does the runoff enter the pond from this location? Please provide details. Since the WSEL is at 66.70 please make sure that the runoff will not overflow into the adjacent property. The elevations at the property line may have to be at 67.00 or higher.
- Provide an emergency overflow and calculations for the pond.
- Please provide slope treatment and a typical section for the areas where the grades exceed 3:1 slope. Please check the grades along the easterly property line.
- Make a definite determination if retaining walls are required.
- Change note number 2 under the "Notice To Contractor" to update #8 .
- Hydrology is requesting that proposed landscape areas be depressed.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Shahab Biazar, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: e-mail

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/05)

PROJECT TITLE: America's Pastime ZONE MAP/DRG. FILE # C-18/D035
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Lot 30A3, North Albuquerque Acres, NM
CITY ADDRESS: _____

ENGINEERING FIRM: Mark Goodwin & Associates, PA
ADDRESS: PO Box 90606
CITY, STATE: Albuquerque, NM

CONTACT: Diane Hoelzer, PE
PHONE: 828-2200
ZIP CODE: 87199

OWNER: Bill Davidson
ADDRESS: 9500 Eagle Rock NE
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CONTACT: same
PHONE: 844-0667
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ARCHITECT: Rick Bennett Architects
ADDRESS: 1104 Park Avenue SW
CITY, STATE: Albuquerque, NM

CONTACT: David McEachern
PHONE: 242-1859
ZIP CODE: 87102

SURVEYOR: NA
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: NA
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
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TYPE OF SUBMITTAL:
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☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN (REVISED) (2 copies)
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER/ARCHITECT CERT (TCL)
☐ ENGINEER/ARCHITECT (DRB SITE PLAN)
☐ OTHER

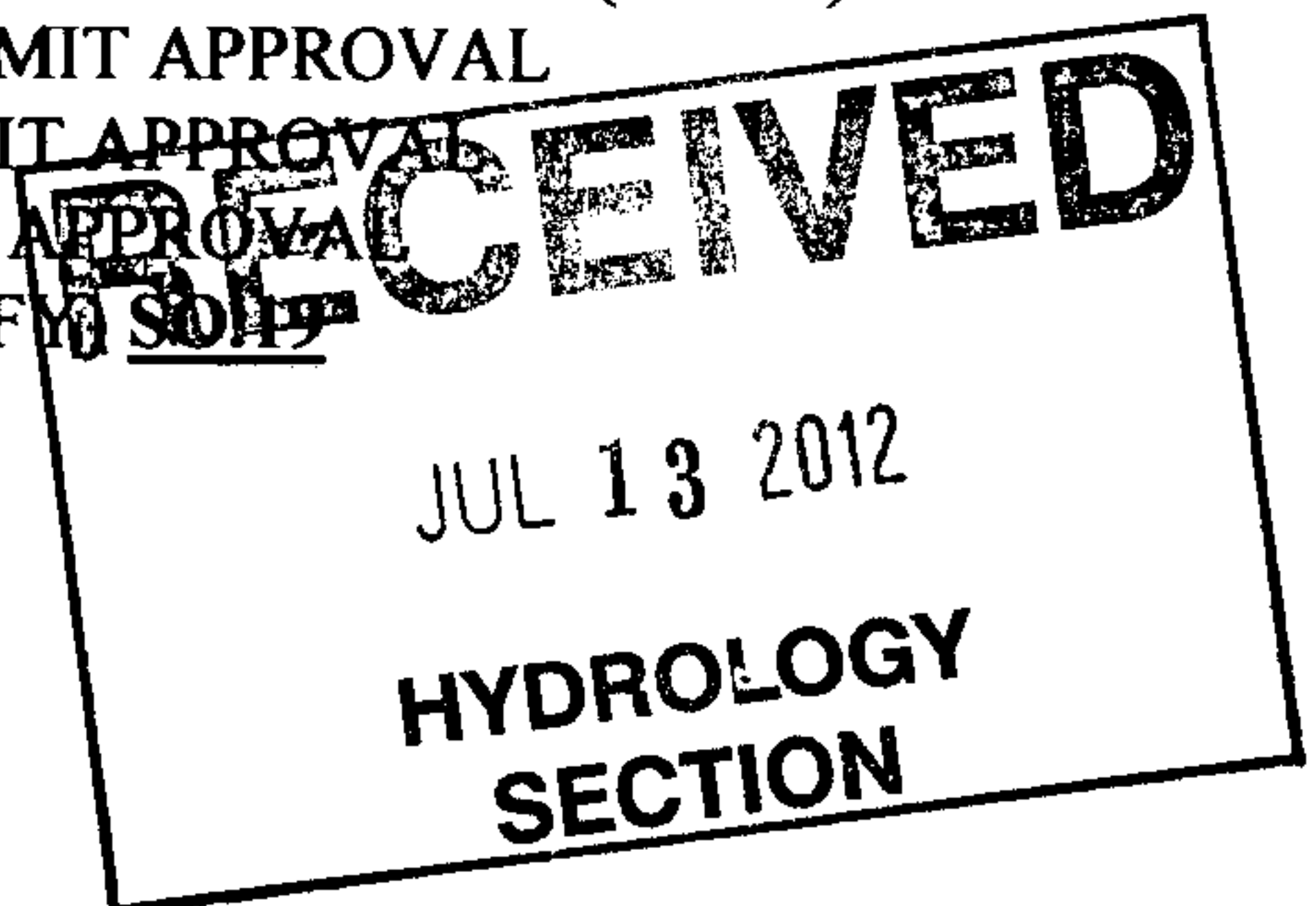
CHECK TYPE OF APPROVAL SOUGHT:
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☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☒ OTHER (SPECIFY) SOILS

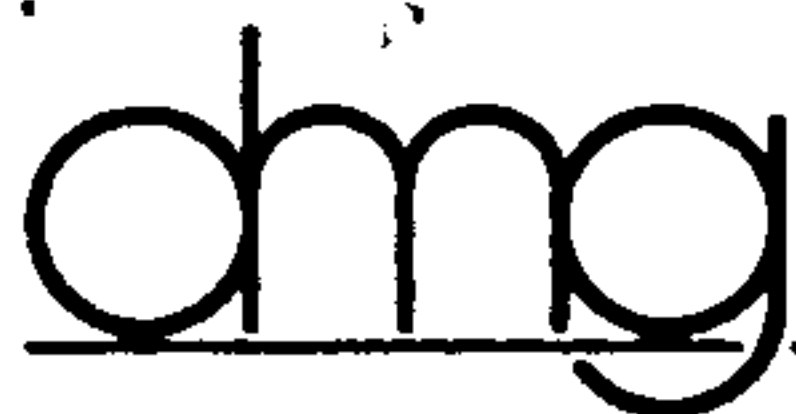
WAS A PRE-DESIGN CONFERENCE ATTENDED:
☐ YES
☐ NO
☐ COPY PROVIDED

SUBMITTED BY: Diane Hoelzer, PE DATE: July 12, 2012

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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D. Mark Goodwin & Associates, P.A.
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 828-2200 FAX 797-9539

~ 2012 ACEC/NM Award Winner for Engineering Excellence ~
~ 2008 ACEC/NM Award Winner for Engineering Excellence ~

July 12, 2012

Mr. Shahab Biazar, PE
Senior Engineer, Planning Dept.
Development and Building Services
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

**Re: America's Pastime Grading and Drainage Plan
Engineers Revised Stamp Date 7-12-12 (C-18/D035)**

Dear Mr. Biazar;

In response to your comment letter dated July 10, 2012, your comments are addressed below:

1. Full wall detail shown on plan with invert call out.
2. AHYMO printouts provided.
3. Note has been revised.
4. Note 4 has been added for construction of 8" PVD pipe penetration through wall. The invert is at 65.00 as shown on the plan.

Please call me if you have any questions.

Sincerely,

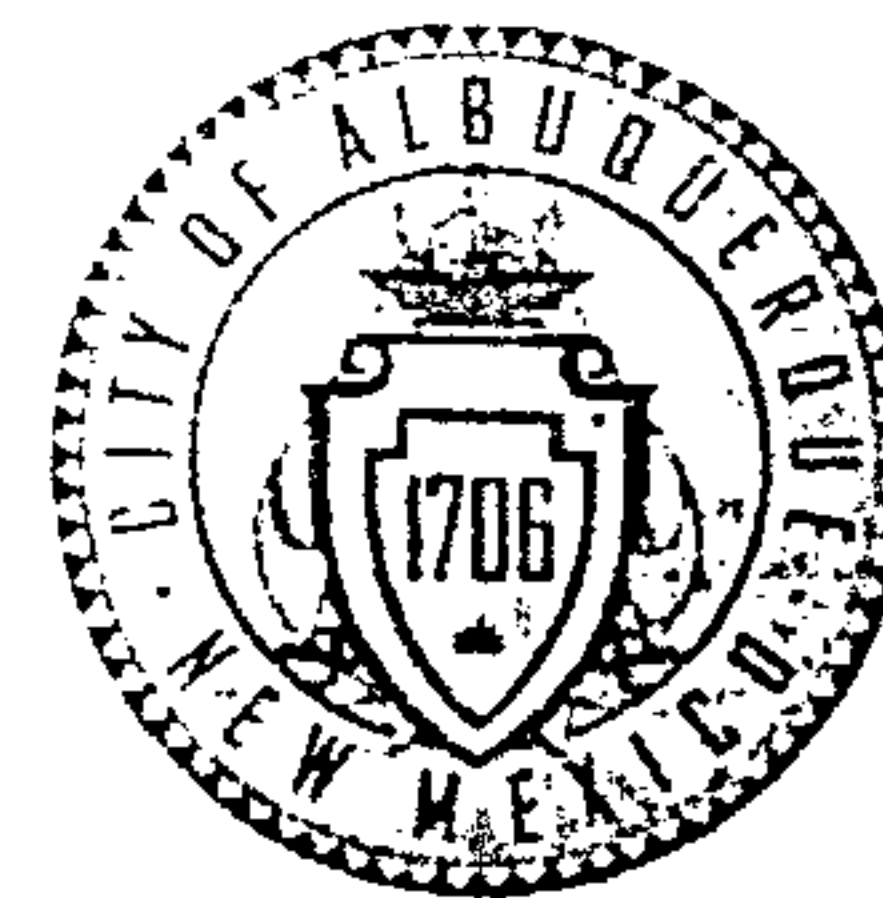
MARK GOODWIN & ASSOCIATES, P.A.

Diane Hoelzer, PE
Senior Engineer

DLH/dlh

f:\12015 \ Americas pastime \ hydro_1t2r.docx

CITY OF ALBUQUERQUE



July 10, 2012

Diane Hoelzer, P.E.
Mark Goodwin & Associates, PA
P.O. Box 90606
Albuquerque, NM 87199

**Re: AMERICA'S PASSTIME, Grading and Drainage Plan
Engineer's Stamp Date 06/28/2012 (C18/D035)**

Dear Ms. Hoelzer,

Based upon the information provided in your submittal received 06/29/2012, the grading and drainage plan is approved for Site Plan for Building Permit. The following comments have to be addressed prior to an approval for Building Permit:

- Please revise the 12" Orifice Plate detail to show the full wall height at 67.83 & 97.3 with the emergency overflow. Call out the invert of the opening.
- Provide the AHYMO routing calculations for the proposed pond.
- Please revise "(See Note 2)" to "(See Note 1 & 3)" at the 12" sidewalk culvert.
- Is the 8" PVC (with an invert of 66.60) on the northwest corner of the building through a proposed wall? Please provide a detail.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Shahab Biazar, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: e-mail

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

AHYMO PROGRAM (AHYMO_97) -

- Version: 1997.02d

RUN DATE (MON/DAY/YR) = 06/22/2012

START TIME (HR:MIN:SEC) = 11:18:12

USER NO.= AHYMO-I-9702dGoodwinM-AH

INPUT FILE = PAST5.DAT

*S*****

*S

*S AMERICAS PAST TIME

*S 100 YEAR 6 HOUR STORM EVENT

*S

*S FILE: PAST5.DAT

*S LAST REVISED: 6-22-12

START TIME=0.0 HR PUNCH CODE=0 PRINT LINES=-6

LOCATION NEW MEXICO

State of New Mexico soil infiltration values (LAND FACTORS) used for computations.

Land Treatment	Initial Abstr.(in)	Unif. Infilt.(in/hour)
A	0.65	1.67
B	0.50	1.25
C	0.35	0.83
D	0.10	0.04

RAINFALL

TYPE=1 RAIN QUARTER=0.0

RAIN ONE=2.10 IN RAIN SIX=2.45 IN

RAIN DAY=2.80 IN DT=0.0333 HRS

COMPUTED 6-HOUR RAINFALL DISTRIBUTION BASED ON NOAA ATLAS 2 - PEAK AT 1.40 HR.
DT = .033300 HOURS END TIME = 5.994000 HOURS

.0000	.0016	.0033	.0050	.0067	.0085	.0103
.0122	.0141	.0161	.0181	.0201	.0222	.0244
.0267	.0290	.0313	.0338	.0363	.0389	.0417
.0445	.0474	.0504	.0536	.0569	.0604	.0640
.0678	.0719	.0762	.0819	.0881	.0947	.1084
.1398	.1881	.2577	.3529	.4780	.6376	.8365
1.0794	1.3126	1.4083	1.4888	1.5603	1.6253	1.6851
1.7407	1.7925	1.8412	1.8869	1.9301	1.9709	2.0095
2.0461	2.0808	2.1137	2.1449	2.1746	2.1826	2.1889
2.1949	2.2006	2.2060	2.2112	2.2162	2.2210	2.2256
2.2301	2.2344	2.2386	2.2426	2.2466	2.2504	2.2541
2.2577	2.2612	2.2647	2.2680	2.2713	2.2745	2.2777
2.2808	2.2838	2.2867	2.2896	2.2925	2.2952	2.2980
2.3007	2.3033	2.3059	2.3085	2.3110	2.3135	2.3159
2.3183	2.3207	2.3230	2.3253	2.3276	2.3298	2.3320
2.3342	2.3363	2.3385	2.3406	2.3426	2.3447	2.3467
2.3487	2.3507	2.3526	2.3545	2.3565	2.3583	2.3602
2.3621	2.3639	2.3657	2.3675	2.3693	2.3710	2.3728
2.3745	2.3762	2.3779	2.3795	2.3812	2.3828	2.3845
2.3861	2.3877	2.3893	2.3909	2.3924	2.3940	2.3955
2.3970	2.3985	2.4000	2.4015	2.4030	2.4044	2.4059
2.4073	2.4088	2.4102	2.4116	2.4130	2.4144	2.4158

2.4171 2.4185 2.4199 2.4212 2.4225 2.4238 2.4252
2.4265 2.4278 2.4291 2.4303 2.4316 2.4329 2.4341
2.4354 2.4366 2.4379 2.4391 2.4403 2.4415 2.4427
2.4439 2.4451 2.4463 2.4475 2.4486 2.4498

*S*****
*S DEVELOPED CONDITIONS
*S TOTAL SITE AREA = 0.42736 ACRES

COMPUTE NM HYD ID=1 HYD NO=100 AREA= 0.00066775 SQ MI
PER A=0 PER B=20 PER C=0 PER D=80
TP=-.1333 HR MASS RAIN=-1

K = .072649HR TP = .133300HR K/TP RATIO = .545000 SHAPE CONSTANT, N = 7.106420
UNIT PEAK = 2.1091 CFS UNIT VOLUME = .9941 B = 526.28 P60 = 2.1000
AREA = .000534 SQ MI IA = .10000 INCHES INF = .04000 INCHES PER HOUR
RUNOFF COMPUTED BY INITIAL ABSTRACTION/INFILTRATION NUMBER METHOD - DT = .033300

K = .133173HR TP = .133300HR K/TP RATIO = .999050 SHAPE CONSTANT, N = 3.533693
UNIT PEAK = .32339 CFS UNIT VOLUME = .9561 B = 322.78 P60 = 2.1000
AREA = .000134 SQ MI IA = .50000 INCHES INF = 1.25000 INCHES PER HOUR
RUNOFF COMPUTED BY INITIAL ABSTRACTION/INFILTRATION NUMBER METHOD - DT = .033300

PRINT HYD ID=1 CODE=1

PARTIAL HYDROGRAPH 100.00

RUNOFF VOLUME = 1.94271 INCHES = .0692 ACRE-FEET
PEAK DISCHARGE RATE = 1.91 CFS AT 1.499 HOURS BASIN AREA = .0007 SQ. MI.

*S
*S OUTFALL: 4"x3.33" PLATE OPENING THROUGH 12" WIDE SIDEWALK CULVERT
*S

ROUTE RESERVOIR	ID=4	HYD=POND.101	INFLOW=1	CODE=5
	OUTFLOW(CFS)	STORAGE(ACFT)	ELEV(FT)	
	0	0	64.00	
	0.26	.0044	64.50	
	0.41	.0088	65.00	
	0.51	.0132	65.50	
	0.60	.0176	66.00	
	0.68	.0220	66.50	
	0.75	.0264	67.00	
	0.77	.0282	67.20	

* * * * *

TIME (HRS)	INFLOW (CFS)	ELEV (FEET)	VOLUME (AC-FT)	OUTFLOW (CFS)
.00	.00	64.00	.000	.00
.17	.00	64.00	.000	.00
.33	.00	64.00	.000	.00
.50	.00	64.00	.000	.00
.67	.00	64.00	.000	.00
.83	.00	64.00	.000	.00
1.00	.00	64.00	.000	.00
1.17	.01	64.00	.000	.00
1.33	.52	64.24	.002	.12
1.50	1.91	65.65	.014	.54
1.67	.99	66.90	.026	.74
1.83	.62	66.94	.026	.74
2.00	.44	66.63	.023	.70
2.16	.21	66.13	.019	.62
2.33	.09	65.46	.013	.50
2.50	.05	64.88	.008	.37
2.66	.03	64.46	.004	.24
2.83	.02	64.23	.002	.12
3.00	.02	64.12	.001	.06
3.16	.02	64.07	.001	.04
3.33	.01	64.05	.000	.02
3.50	.01	64.03	.000	.02
3.66	.01	64.03	.000	.01
3.83	.01	64.02	.000	.01
4.00	.01	64.02	.000	.01
4.16	.01	64.02	.000	.01
4.33	.01	64.02	.000	.01
4.50	.01	64.02	.000	.01
4.66	.01	64.02	.000	.01
4.83	.01	64.02	.000	.01
5.00	.01	64.02	.000	.01
5.16	.01	64.02	.000	.01
5.33	.01	64.02	.000	.01
5.49	.01	64.02	.000	.01
5.66	.01	64.02	.000	.01
5.83	.01	64.02	.000	.01
5.99	.01	64.02	.000	.01
6.16	.00	64.02	.000	.01
6.33	.00	64.01	.000	.01
6.49	.00	64.01	.000	.00

PEAK DISCHARGE = .749 CFS - PEAK OCCURS AT HOUR 1.76
 MAXIMUM WATER SURFACE ELEVATION = 66.992
 MAXIMUM STORAGE = .0263 AC-FT INCREMENTAL TIME= .033300HRS

PRINT HYD ID=4 CODE=50

HYDROGRAPH FROM AREA POND.101

TIME HRS	FLOW CFS	TIME HRS	FLOW CFS	TIME HRS	FLOW CFS	TIME HRS	FLOW CFS	TIME HRS	FLOW CFS
.000	.0	1.998	.7	3.996	.0	5.994	.0		
.666	.0	2.664	.2	4.662	.0	6.660	.0		
1.332	.1	3.330	.0	5.328	.0				

RUNOFF VOLUME = 1.94230 INCHES = .0692 ACRE-FEET
 PEAK DISCHARGE RATE = .75 CFS AT 1.765 HOURS BASIN AREA = .0007 SQ. MI.

FINISH

NORMAL PROGRAM FINISH END TIME (HR:MIN:SEC) = 11:18:12



D. Mark Goodwin & Associates, P.A.
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 828-2200 FAX 797-9539

PROJECT AMERICA'S PAST TIME

SUBJECT POND CALCS

BY DLT DATE 6.22.12

CHECKED _____ DATE _____

SHEET _____ OF _____

POND AREA = 384 SF

@ 3.0 Ft deep = 1152 CF
= 0.0264 AF

ELEV.	ACFT.	Q	Δh
64	0	0	0
64.5	.0044	0.26	0.333'
65.0	.0088	0.41	0.833'
65.5	.0132	0.51	1.333'
66.0	.0176	0.60	1.833'
66.5	.0220	0.68	2.333'
67.0	.0264	0.75	2.833'
67.2	.0282	0.77	

ORIFICE EQN: $Q = C \cdot (\text{AREA}) \cdot \sqrt{2g \Delta h}$

$$0.75 = (.6)(\text{AREA})\sqrt{64.4(2.833')}$$

$$\text{AREA} = 0.09254 \text{ SF}$$

DESIGN ∴ OPENING $\Rightarrow 4" \times 3.33" = .0925 \text{ SF}$

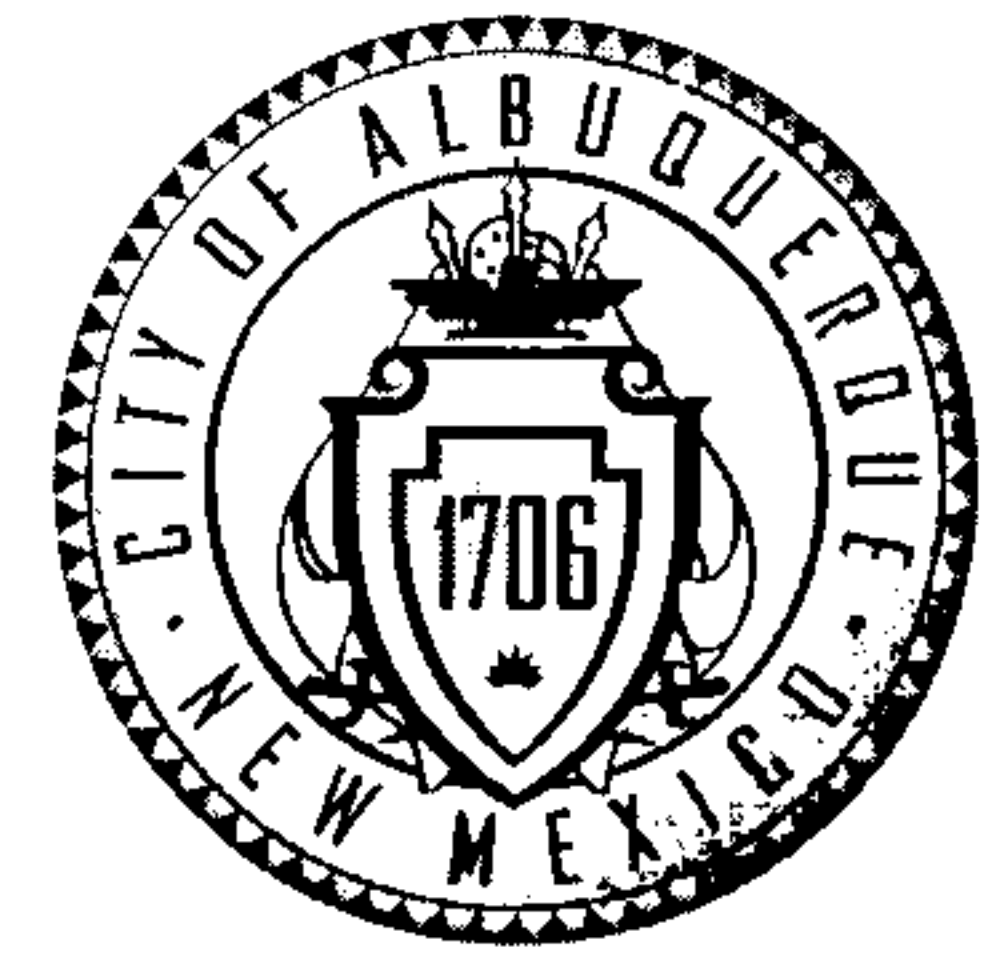
EMERGENCY OVERFLOW SPILLWAY - NORTH END POND

$$Q = C \cdot L \cdot H^{3/2}$$

$$1.91 = 2.8(5')(H)^{3/2}$$

$$\therefore H = 0.265' = 3.2"$$

CITY OF ALBUQUERQUE



July 10, 2012

Diane Hoelzer, P.E.
Mark Goodwin & Associates, PA
P.O. Box 90606
Albuquerque, NM 87199

**Re: AMERICA'S PASSTIME, Grading and Drainage Plan
Engineer's Stamp Date 06/28/2012 (C18/D035)**

Dear Ms. Hoelzer,

Based upon the information provided in your submittal received 06/29/2012, the grading and drainage plan is approved for Site Plan for Building Permit. The following comments have to be addressed prior to an approval for Building Permit:

- Please revise the 12" Orifice Plate detail to show the full wall height at 67.83 & 97.3 with the emergency overflow. Call out the invert of the opening.
- Provide the AHYMO routing calculations for the proposed pond.
- Please revise "(See Note 2)" to "(See Note 1 & 3)" at the 12" sidewalk culvert.
- Is the 8" PVC (with an invert of 66.60) on the northwest corner of the building through a proposed wall? Please provide a detail.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Shahab Biazar, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: e-mail

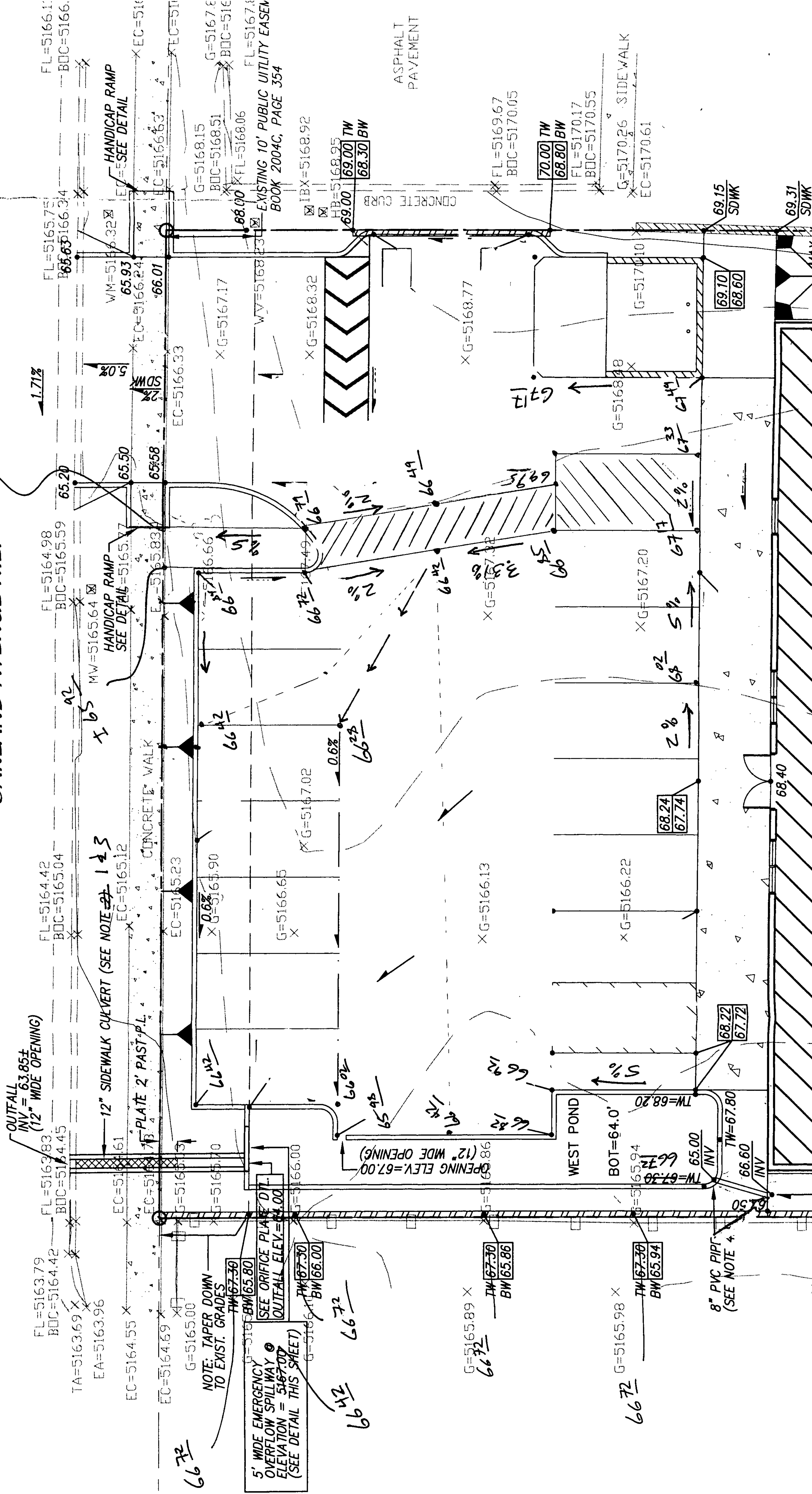
PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

99-165-1



CITY OF ALBUQUERQUE



September 20, 2012

Diane Hoelzer, P.E.
Mark Goodwin & Associates, PA
P.O. Box 90606
Albuquerque, NM 87199

**Re: AMERICA'S PASSTIME, Grading and Drainage Plan
Engineer's Stamp Date 08/28/2012 (C18/D035)**

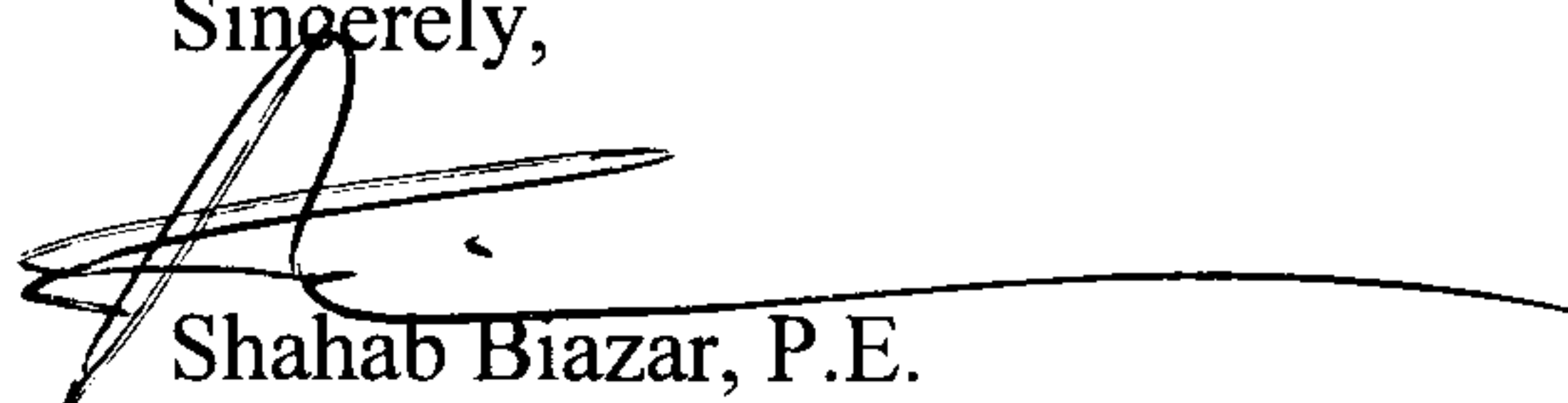
Dear Ms. Hoelzer,

Based upon the information provided in your submittal received 08/28/2012, the grading and drainage plan can not be approved for Building Permit until the following comment has been addressed:

- We will require a confirmation from the Architect that the pedestrian connection from the building to the public sidewalk does not have to meet ADA requirements.

If you have any questions, you can contact me at 924-3695.

Sincerely,


Shahab Biazar, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: e-mail



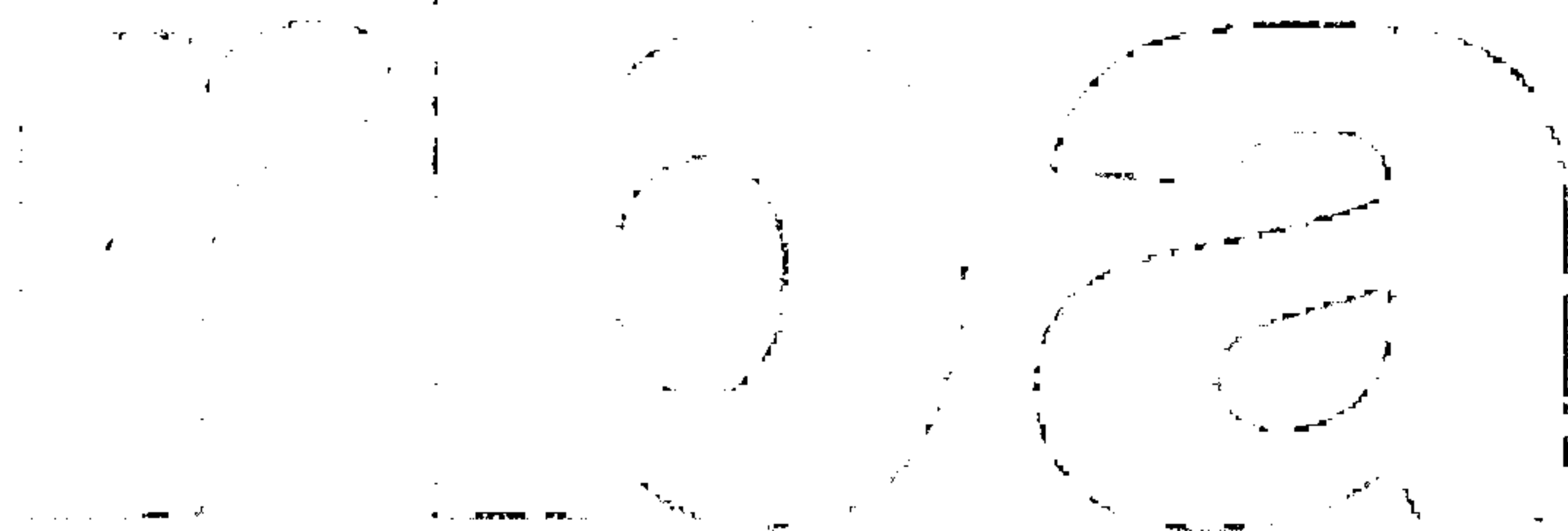
October 25, 2012

Shahab Biazar, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

**Re: America's Pastime, Grading and Drainage Plan
Engineer's Stamp Date 08/28/2012 (C18/D035)**

Dear Mr. Biazar,

This site does not require a handicapped accessible pedestrian connection from the building to the public sidewalk. We have a handicapped accessible parking space next to the building for access to the building.



Sincerely,

A handwritten signature in black ink, appearing to read "Rick Bennett", written over a horizontal line.

Rick Bennett
Architect

23

~~7~~

23-7-B5

23-99

page

- (13) Where a single customer entrance to a building is provided, customer loading areas shall not be located in front of the customer entrance or within 15 feet of the entrance.

(G) Bicycle Space Standards. Required bicycle spaces shall comply with the following:

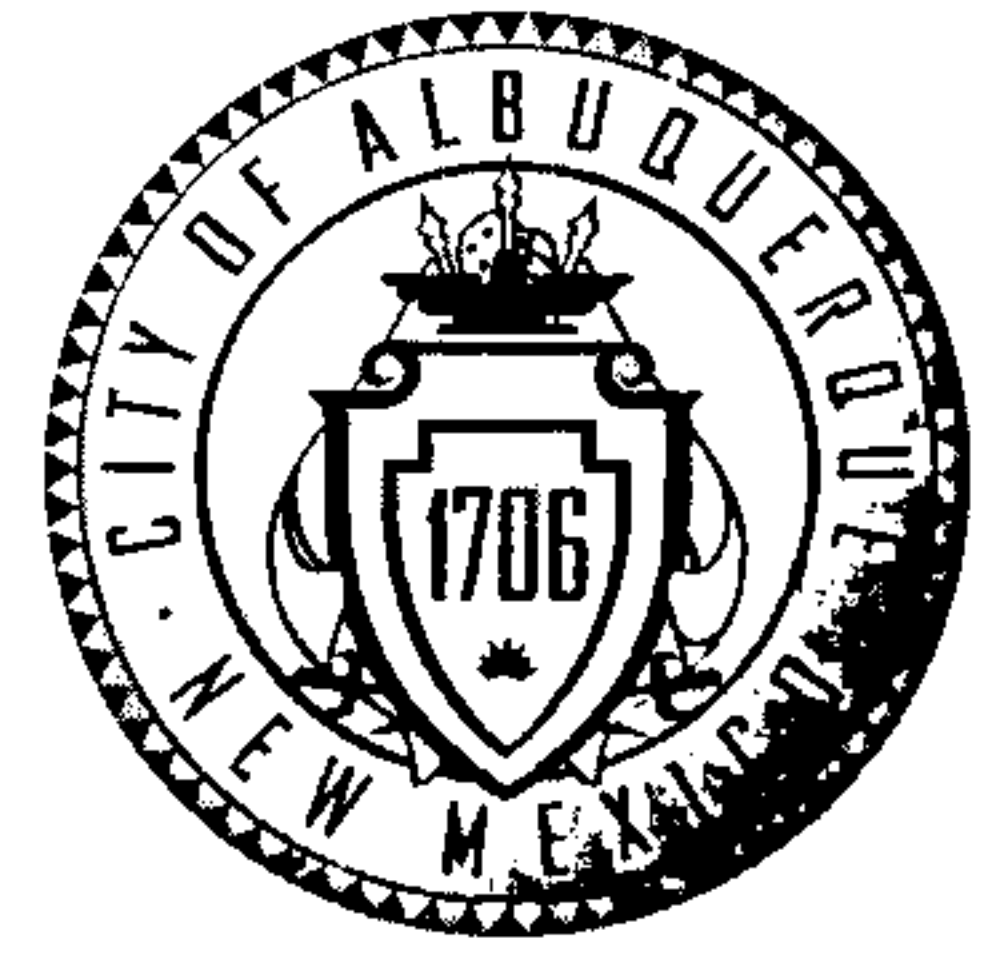
- (1) Paving is not required, but the outside ground surface shall be paved or planted in a way which avoids mud or dust.
- (2) Bicycle spaces shall be racks or lockers anchored so that they cannot be easily removed. Racks shall be so designed that both wheels and the frame of a bicycle can be locked securely to it with a heavy chain, cable, or padlock. Lockers shall be so designed that an unauthorized person cannot remove a bicycle from them.
- (3) Fixed objects which are intended to serve as bicycle racks but not obviously intended for such purposes shall be clearly labeled as available for bicycles.
- (4) If a room or common locker not divided into individual lockers or rack spaces is used, one bicycle per 12 square feet of floor area is assumed.

(H) Pedestrian Connections. Intent: The intent of the regulations in this subsection is to accommodate the inter-related movement of vehicles, bicycles, and pedestrians, safely and conveniently, both within the proposed development and to and from the street and the surrounding areas, and to contribute to the attractiveness of the development.

- (1) Pedestrian walkways within a site shall be a minimum of six feet in width, unobstructed, and clearly demarcated by the use of techniques such as special paving, grade separation, or pavement marking of a permanent nature, except that clear width may be reduced to 4 feet 6 inches at planting areas for a maximum distance of 10 feet. Pedestrian walkways shall also be lined with adjacent shade trees spaced approximately 25 feet on center and placed within defined planting areas that have a minimum interior dimension of 36 square feet and a minimum width of four feet.
- (2) Pedestrian walkways shall be provided from all street sidewalks to the principal customer entrance(s) of the nearest building(s) on a site.
- (3) All buildings within a site shall be connected to each other with pedestrian walkways. The connections shall be as direct as possible.
- (4) Where building facades abut parking areas, pedestrian sidewalks, no less than eight (8) feet in width, shall be provided adjacent to and along the full length of the building. A minimum width of six feet shall remain clear and unobstructed at all times for pedestrian use.
- (5) Parking areas shall be visually and functionally segmented into smaller subareas separated by landscaping and/or pedestrian walkways. No single subarea shall exceed 150 parking spaces.
- (6) Parking subareas shall be linked to the main pedestrian walkway(s) leading to the main entrance(s) of the building(s) by means of pedestrian walkways.

('74 Code, § 7-14-40A) (Am. Ord. 50-1993; Am. Ord. 36-2002; Am. Ord. 51-2003; Am. Ord. 2-2006; Am. Ord. 17-2007)

CITY OF ALBUQUERQUE



December 4, 2012

Diane Hoelzer, P.E.
Mark Goodwin & Associates, PA
P.O. Box 90606
Albuquerque, NM 87199

**Re: AMERICA'S PASSTIME, Grading and Drainage Plan
Engineer's Stamp Date 11/30/2012 (C18/D035)**

Dear Ms. Hoelzer,

Based upon the information provided in your submittal received 11/30/2012, the grading and drainage plan is approved for Building Permit and SO-19 Permit based on the following comment:

- Provide spot elevation and extend the curb along the parking space as shown on the attached sketch.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

A separate SO-19 permit is required for construction within City ROW. A copy of this approval letter must be on hand when applying for the excavation/barricading permit. The work in the City ROW must be inspected and accepted. Contractor must contact Jason Rodriguez at 235-8016 and Construction Coordination at 924-3416 to schedule an inspection.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

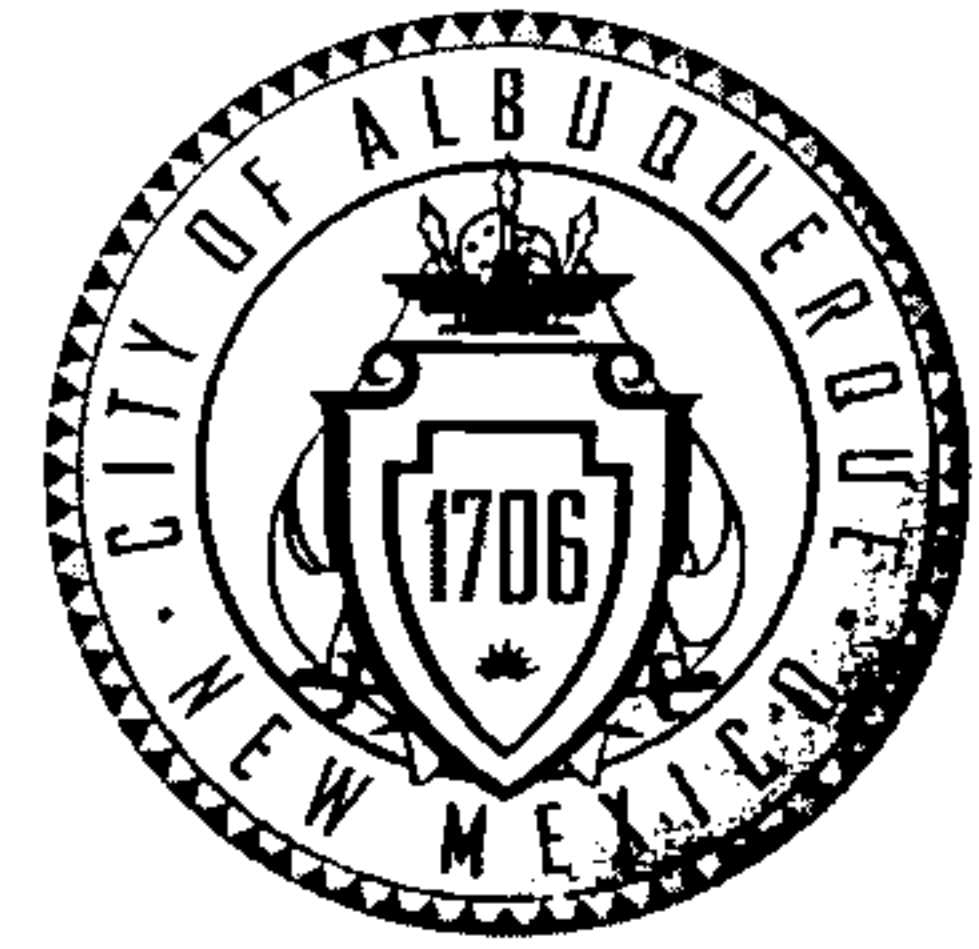
If you have any questions, you can contact me at 924-3695.

Sincerely,

Shahab Biazar, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: e-mail

CITY OF ALBUQUERQUE



December 28, 2012

Diane Hoelzer, P.E.
Mark Goodwin & Associates, PA
P.O. Box 90606
Albuquerque, NM 87199

**Re: AMERICA'S PASSTIME, Grading and Drainage Plan
Engineer's Stamp Date 12/04/2012 (C18/D035)**

Dear Ms. Hoelzer,

Based upon the information provided in your submittal received 12/10/2012, the grading and drainage plan is approved for Building Permit and SO-19 Permit.

A separate SO-19 permit is required for construction within City ROW. A copy of this approval letter must be on hand when applying for the excavation/barricading permit. The work in the City ROW must be inspected and accepted. Contractor must contact Jason Rodriquez at 235-8016 and Construction Coordination at 924-3416 to schedule an inspection.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Shahab Biazar, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: e-mail

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 12/05)

PROJECT TITLE: America's Pastime ZONE MAP/DRG. FILE # C-18/D035
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Lot 30A3, North Albuquerque Acres, NM
CITY ADDRESS: _____

ENGINEERING FIRM: Mark Goodwin & Associates, PA CONTACT: Diane Hoelzer, PE
ADDRESS: PO Box 90606 PHONE: 828-2200
CITY, STATE: Albuquerque, NM ZIP CODE: 87199

OWNER: Bill Davidson CONTACT: same
ADDRESS: 9500 Eagle Rock NE PHONE: 844-0667
CITY, STATE: Albuquerque, NM ZIP CODE: 87122

ARCHITECT: Rick Bennett Architects CONTACT: David McEachern
ADDRESS: 1104 Park Avenue SW PHONE: 242-1859
CITY, STATE: Albuquerque, NM ZIP CODE: 87102

SURVEYOR: NA CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: NA CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:
☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN (**REVISED**)
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER/ARCHITECT CERT (TCL)
☐ ENGINEER/ARCHITECT (DRB SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:
☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☒ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☒ OTHER (SPECIFY) SO.19

WAS A PRE-DESIGN CONFERENCE ATTENDED:
☐ YES
☐ NO
☐ COPY PROVIDED

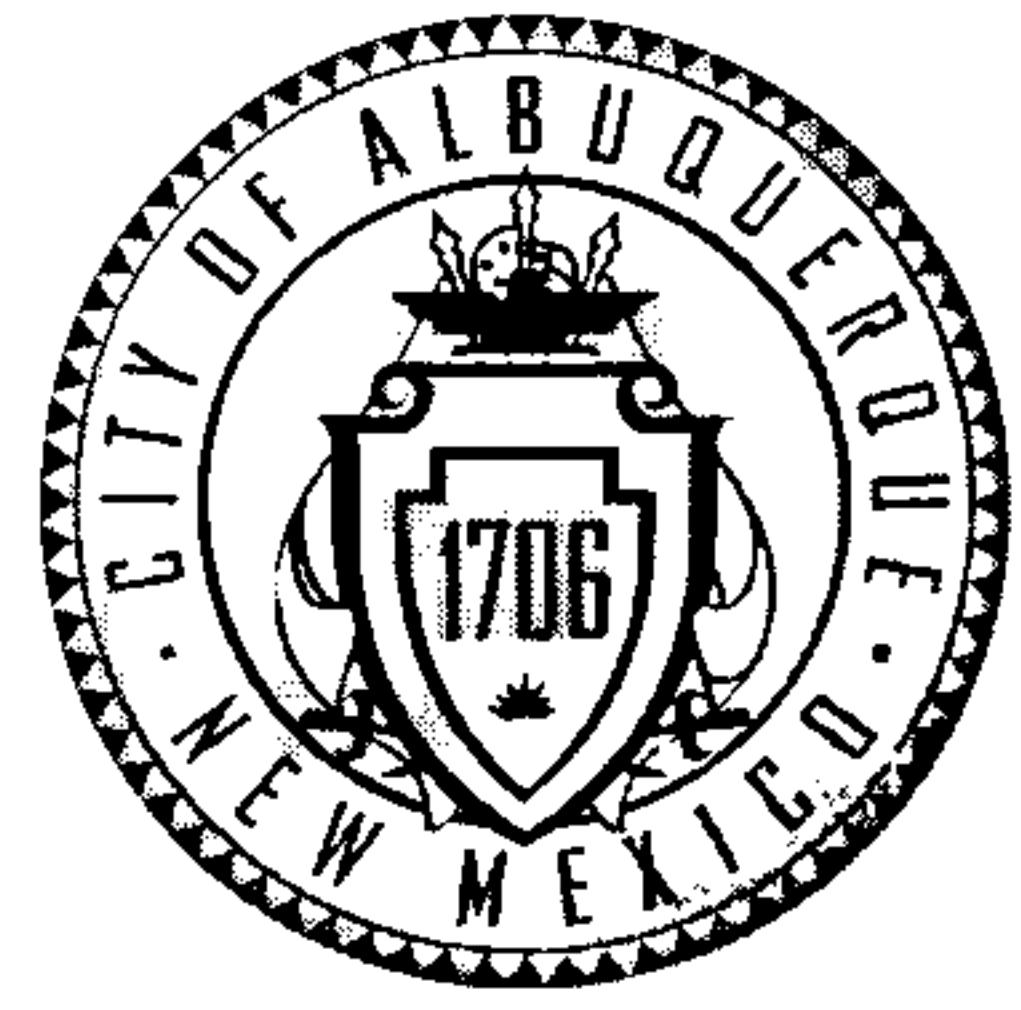


SUBMITTED BY: Diane Hoelzer, PE DATE: December 5, 2012

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



June 21, 2013

Diane Hoelzer, PE
Mark Goodwin & Associates, PA
PO Box 90606
Albuquerque, NM 87199

Re: America's Pasttime
Lot 30A3, North Albuquerque Acres
Request for Permanent C.O. – Rejected
Temporary C.O. – Accepted (30 Day)
Engineer's Stamp dated: 12-04-2012 (C-18/D035)
Certification dated: 06-19-2013

Dear Ms. Hoelzer,

Based upon the information provided in the Certification received 06-19-13, the above referenced Certification cannot be approved for Permanent Certificate of Occupancy by Hydrology. A temporary C.O. has been issued for 30 days from the date of this letter.

Prior to acceptance of Permanent C.O. by Hydrology the following comments will need to be addressed:

PO Box 1293

Albuquerque

New Mexico 87103


www.cabq.gov

- The emergency spillway on the detention pond is not 5 feet in width as approved on the grading and drainage plan. Provide detailed analysis on the operation of the detention pond with a smaller spillway opening. Clarify the size of the spillway opening.
- Provide as-built spot elevations at the pond inlet from the parking lot, at the invert of the orifice plate, at the opening of the emergency spillway, at the top-of-wall of the spillway and at the end of the speed hump along the entrance.
- Extend the speed hump in the parking lot to the face of curb to prevent these flows from exiting through the driveway.
- Construct the sidewalk culvert to the specifications that were discussed in field with the contractor on June 20, 2013.

Hydrology is asking for an electronic copy, in .pdf format, of this certification for our records. This certification can be e-mailed to me at: sbiazar@cabq.gov or cherrington@cabq.gov.

If you have any questions, you can contact me at 924-3695.

Sincerely,


Shahab Biazar, P.E.
Senior Engineer—Hydrology Section
Development Review Services

C: CO Clerk—Katrina Sigala
e-mail

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/05)

PROJECT TITLE: America's Pastime ZONE MAP/DRG. FILE # C-18/D035
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Lot 30A3, North Albuquerque Acres, NM
CITY ADDRESS: _____

ENGINEERING FIRM: Mark Goodwin & Associates, PA CONTACT: Diane Hoelzer, PE
ADDRESS: PO Box 90606 PHONE: 828-2200
CITY, STATE: Albuquerque, NM ZIP CODE: 87199

OWNER: Bill Davidson CONTACT: same
ADDRESS: 9500 Eagle Rock NE PHONE: 844-0667
CITY, STATE: Albuquerque, NM ZIP CODE: 87122

ARCHITECT: Rick Bennett Architects CONTACT: David McEachern
ADDRESS: 1104 Park Avenue SW PHONE: 242-1859
CITY, STATE: Albuquerque, NM ZIP CODE: 87102

SURVEYOR: NA CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: NA CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN (**REVISED**)
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER/ARCHITECT CERT (TCL)
☐ ENGINEER/ARCHITECT (DRB SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☐ NO
☐ COPY PROVIDED

RECEIVED
JUN 19 2013

SUBMITTED BY: Diane Hoelzer, PE DATE: June 19, 2013

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 12/05)

PROJECT TITLE: America's Pastime ZONE MAP/DRG. FILE # C-18/D035
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Lot 30A3, North Albuquerque Acres, NM
CITY ADDRESS: _____

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ADDRESS: PO Box 90606 PHONE: 828-2200
CITY, STATE: Albuquerque, NM ZIP CODE: 87199

OWNER: Bill Davidson CONTACT: same
ADDRESS: 9500 Eagle Rock NE PHONE: 844-0667
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ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

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ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

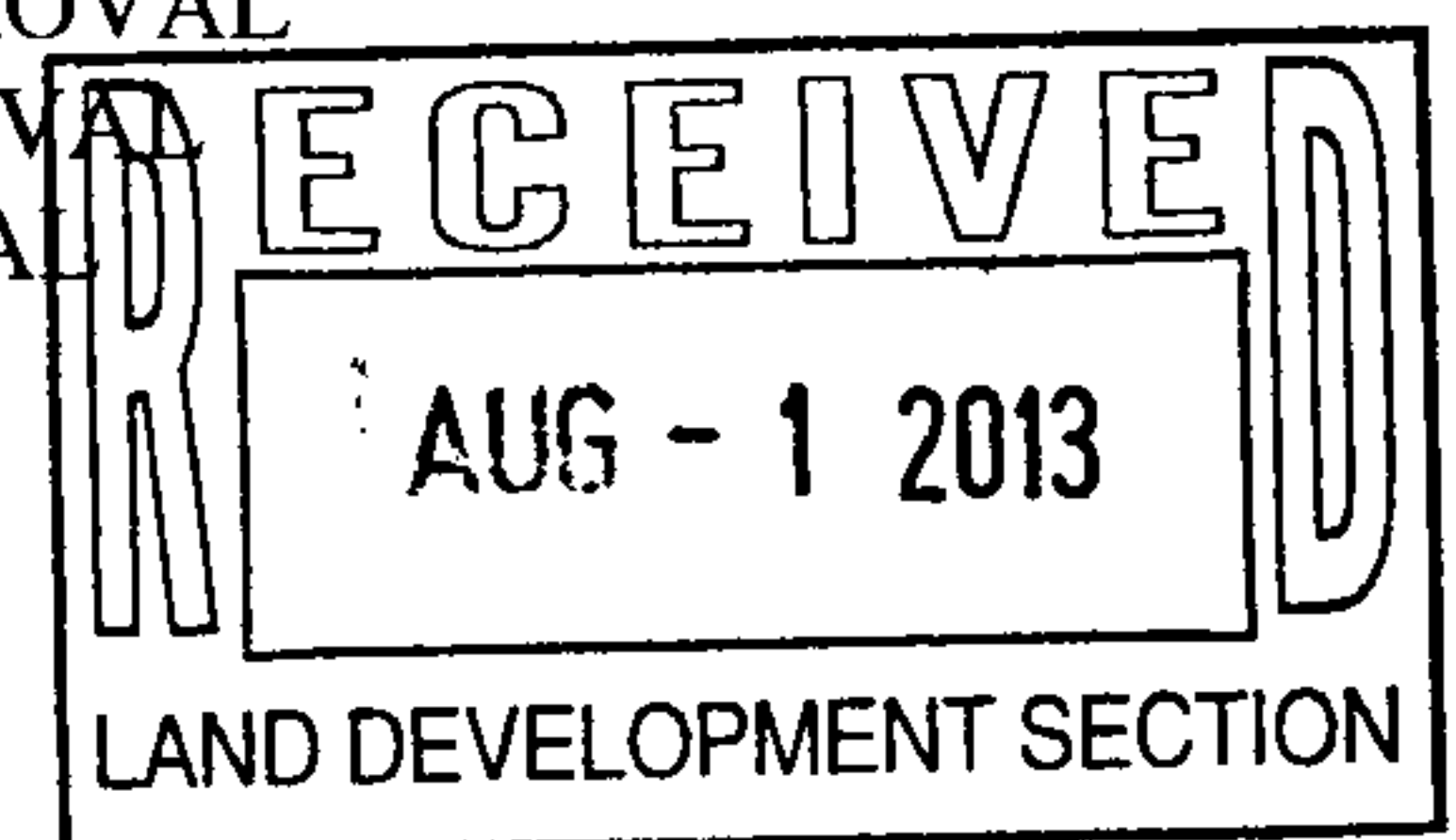
TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN 8-1-13
☒ GRADING PLAN (REVISED 7-11-13)(*)
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER/ARCHITECT CERT (TCL)
☐ ENGINEER/ARCHITECT (DRB SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE
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☐ S. DEV. FOR BLDG. PERMIT APPROVAL
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☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) SO.19

(*) revisions due to unexpected field as-built
WAS A PRE-DESIGN CONFERENCE ATTENDED:
☐ YES
☐ NO
☐ COPY PROVIDED



SUBMITTED BY: Diane Hoelzer, PE *DHA* DATE: August 1, 2013

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



D. Mark Goodwin & Associates, P.A.
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 828-2200 FAX 797-9539

~ 2012 ACEC/NM Award Winner for Engineering Excellence ~
~ 2008 ACEC/NM Award Winner for Engineering Excellence ~

August 1, 2013

Mr. Shahab Biazar, PE
Senior Engineer, Planning Dept.
Development and Building Services
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

**Re: America's Pastime Grading and Drainage Plan
Engineers Revised Stamp Date 8-1-13 (C-18/D035)**

Dear Mr. Biazar;

In response to unexpected construction changes to the approved pond design, as we discussed, you will find revisions to the original plan that will help improve the pond to function as a detention facility as originally designed. The orifice plate opening will be increased from 4"x3.33" to 5"x4" and the spillway elevation will be increased to 67.00' while maintaining the current width of 32". For the 100 year storm event the maximum (allowable) discharge will now be 1.10cfs. The maximum peak discharge from the site is 1.91 cfs so the pond will help attenuate this peak to a degree. As you will recall the original allowable peak discharge was 0.75 cfs. Thank you for assisting me in a workable solution for this situation.

Please call me if you have any questions.

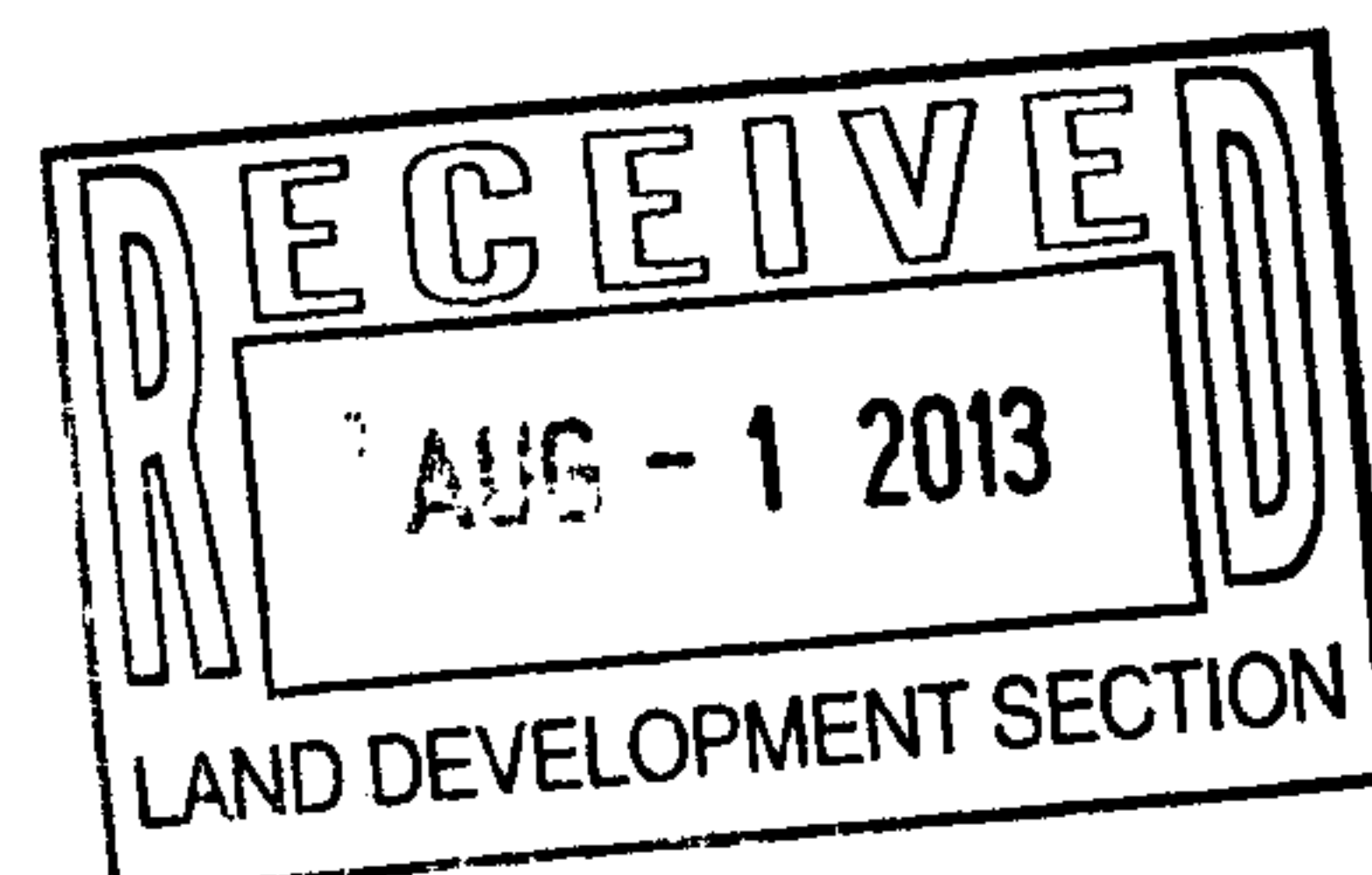
Sincerely,

MARK GOODWIN & ASSOCIATES, P.A.

Diane Hoelzer, PE
Senior Engineer

DLH/dlh

f:\12015 \ Americas pastime \ hydro_ltr3.docx



AMERICA's PASTIME - Orifice Calculations

Q (CFS)	H (FT)	ORIFICE PLATE SIZE	
		W (IN)	H (IN)
0.3861	64	5	4
0.6105	64.5	AREA (SF)	
0.6798	65	0.138889	
0.7722	65.2		
0.8677	65.5		
0.9055	65.85		
1.0215	66		
1.1257	66.5		
	67		

$Q=(0.6)*(.138889)*((64.4)*(\Delta H))^{0.5}$ ---Orifice Eqn

DLH 7-31-13



AHYMO PROGRAM (AHYMO_97) - - Version: 1997.02d
 RUN DATE (MON/DAY/YR) = 07/31/2013
 START TIME (HR:MIN:SEC) = 15:30:04 USER NO.= AHYMO-I-9702dGoodwinM-AH
 INPUT FILE = A_PASTR2.DAT

*S*****

*S

*S

AMERICAS PASTIME

*S

100 YEAR 6 HOUR STORM EVENT

*S

*S

FILE: A_PAST_R2.DAT

*S

LAST REVISED: 7-31-13

*S

NOAA ATLAS 2, VOL IV ZONE=K 13

START

TIME=0.0 HR PUNCH CODE=0 PRINT LINES=-6

LOCATION

NEW MEXICO

State of New Mexico soil infiltration values (LAND FACTORS) used for computations.

Land Treatment	Initial Abstr.(in)	Unif. Infilt.(in/hour)
A	0.65	1.67
B	0.50	1.25
C	0.35	0.83
D	0.10	0.04

RAINFALL

TYPE=1 RAIN QUARTER=0.0

RAIN ONE=2.10 IN RAIN SIX=2.45 IN

RAIN DAY=2.80 IN DT=0.0333 HRS

COMPUTED 6-HOUR RAINFALL DISTRIBUTION BASED ON NOAA ATLAS 2 - PEAK AT 1.40 HR.

DT = .033300 HOURS END TIME = 5.994000 HOURS

.0000	.0016	.0033	.0050	.0067	.0085	.0103
.0122	.0141	.0161	.0181	.0201	.0222	.0244
.0267	.0290	.0313	.0338	.0363	.0389	.0417
.0445	.0474	.0504	.0536	.0569	.0604	.0640
.0678	.0719	.0762	.0819	.0881	.0947	.1084
.1398	.1881	.2577	.3529	.4780	.6376	.8365
1.0794	1.3126	1.4083	1.4888	1.5603	1.6253	1.6851
1.7407	1.7925	1.8412	1.8869	1.9301	1.9709	2.0095
2.0461	2.0808	2.1137	2.1449	2.1746	2.1826	2.1889
2.1949	2.2006	2.2060	2.2112	2.2162	2.2210	2.2256
2.2301	2.2344	2.2386	2.2426	2.2466	2.2504	2.2541
2.2577	2.2612	2.2647	2.2680	2.2713	2.2745	2.2777
2.2808	2.2838	2.2867	2.2896	2.2925	2.2952	2.2980
2.3007	2.3033	2.3059	2.3085	2.3110	2.3135	2.3159
2.3183	2.3207	2.3230	2.3253	2.3276	2.3298	2.3320
2.3342	2.3363	2.3385	2.3406	2.3426	2.3447	2.3467
2.3487	2.3507	2.3526	2.3545	2.3565	2.3583	2.3602
2.3621	2.3639	2.3657	2.3675	2.3693	2.3710	2.3728
2.3745	2.3762	2.3779	2.3795	2.3812	2.3828	2.3845
2.3861	2.3877	2.3893	2.3909	2.3924	2.3940	2.3955
2.3970	2.3985	2.4000	2.4015	2.4030	2.4044	2.4059

2.4073	2.4088	2.4102	2.4116	2.4130	2.4144	2.4158
2.4171	2.4185	2.4199	2.4212	2.4225	2.4238	2.4252
2.4265	2.4278	2.4291	2.4303	2.4316	2.4329	2.4341
2.4354	2.4366	2.4379	2.4391	2.4403	2.4415	2.4427
2.4439	2.4451	2.4463	2.4475	2.4486	2.4498	

*S*****

*S DEVELOPED CONDITIONS

*** *****

*** SUB BASIN 101

*** ONSITE

*** AREA .42736 ACRES

*** *****

COMPUTE NM HYD ID=1 HYD NO=101 AREA= 0.00066775 SQ MI
 PER A=0 PER B=20 PER C=0 PER D=80
 TP=-.1333 HR MASS RAIN=-1

K = .072649HR TP = .133300HR K/TP RATIO = .545000 SHAPE CONSTANT, N = 7.106420
 UNIT PEAK = 2.1091 CFS UNIT VOLUME = .9941 B = 526.28 P60 = 2.1000
 AREA = .000534 SQ MI IA = .10000 INCHES INF = .04000 INCHES PER HOUR
 RUNOFF COMPUTED BY INITIAL ABSTRACTION/INFILTRATION NUMBER METHOD - DT = .033300

K = .133173HR TP = .133300HR K/TP RATIO = .999050 SHAPE CONSTANT, N = 3.533693
 UNIT PEAK = .32339 CFS UNIT VOLUME = .9561 B = 322.78 P60 = 2.1000
 AREA = .000134 SQ MI IA = .50000 INCHES INF = 1.25000 INCHES PER HOUR
 RUNOFF COMPUTED BY INITIAL ABSTRACTION/INFILTRATION NUMBER METHOD - DT = .033300

PRINT HYD ID=1 CODE=1

PARTIAL HYDROGRAPH 101.00

RUNOFF VOLUME = 1.94271 INCHES = .0692 ACRE-FEET
 PEAK DISCHARGE RATE = 1.91 CFS AT 1.499 HOURS BASIN AREA = .0007 SQ. MI.

*** *****

*** *****

*** ROUTE THRU DETENTION POND

*** OUTFALL ORIFICE 4" HEIGHT x 5" WIDE (@ 64.00)

*** 32" WIDE SPILLWAY (@ 67.00)

ROUTE RESERVOIR	ID=12	HYD=POND.12	INFLOW=1	CODE=5
	OUTFLOW (CFS)	STORAGE (ACFT)		ELEV (FT)

0	0	64.0
.386	.0030	64.5

.6105	.006	65.0
.6798	.0072	65.2
.7722	.0090	65.5
.8677	.0112	65.85
.9055	.0120	66.00
1.0215	.0150	66.50
1.1257	.0180	67.00
4.700	.0216	67.60

* * * * *

TIME (HRS)	INFLOW (CFS)	ELEV (FEET)	VOLUME (AC-FT)	OUTFLOW (CFS)
.00	.00	64.00	.000	.00
.17	.00	64.00	.000	.00
.33	.00	64.00	.000	.00
.50	.00	64.00	.000	.00
.67	.00	64.00	.000	.00
.83	.00	64.00	.000	.00
1.00	.00	64.00	.000	.00
1.17	.01	64.00	.000	.00
1.33	.52	64.28	.002	.22
1.50	1.91	65.85	.011	.87
1.67	.99	66.86	.017	1.10
1.83	.62	66.24	.013	.96
2.00	.44	65.47	.009	.76
2.16	.21	64.77	.005	.51
2.33	.09	64.27	.002	.21
2.50	.05	64.11	.001	.09
2.66	.03	64.06	.000	.05
2.83	.02	64.04	.000	.03
3.00	.02	64.03	.000	.02
3.16	.02	64.02	.000	.02
3.33	.01	64.02	.000	.01
3.50	.01	64.02	.000	.01
3.66	.01	64.02	.000	.01
3.83	.01	64.01	.000	.01
4.00	.01	64.01	.000	.01
4.16	.01	64.01	.000	.01
4.33	.01	64.01	.000	.01
4.50	.01	64.01	.000	.01
4.66	.01	64.01	.000	.01
4.83	.01	64.01	.000	.01
5.00	.01	64.01	.000	.01
5.16	.01	64.01	.000	.01
5.33	.01	64.01	.000	.01
5.49	.01	64.01	.000	.01
5.66	.01	64.01	.000	.01
5.83	.01	64.01	.000	.01

5.99	.01	64.01	.000	.01
6.16	.00	64.01	.000	.01
6.33	.00	64.00	.000	.00

PEAK DISCHARGE = 1.099 CFS - PEAK OCCURS AT HOUR 1.63
 MAXIMUM WATER SURFACE ELEVATION = 66.873
 MAXIMUM STORAGE = .0172 AC-FT INCREMENTAL TIME= .033300HRS

PRINT HYD ID=12 CODE=50

HYDROGRAPH FROM AREA POND.12

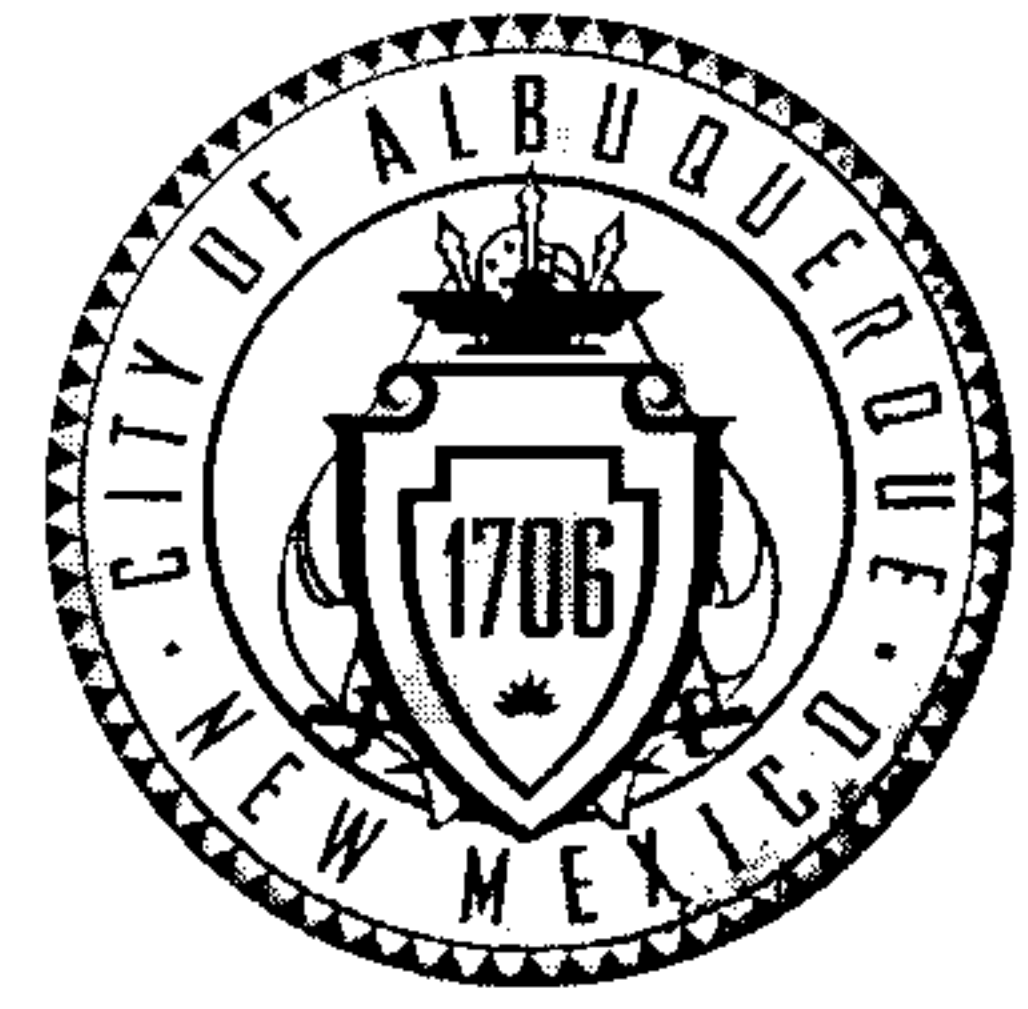
TIME	FLOW	TIME	FLOW	TIME	FLOW	TIME	FLOW	TIME	FLOW
HRS	CFS	HRS	CFS	HRS	CFS	HRS	CFS	HRS	CFS
.000	.0	1.332	.2	2.664	.0	3.996	.0	5.328	.0
.666	.0	1.998	.8	3.330	.0	4.662	.0	5.994	.0

RUNOFF VOLUME = 1.94230 INCHES = .0692 ACRE-FEET
 PEAK DISCHARGE RATE = 1.10 CFS AT 1.632 HOURS BASIN AREA = .0007 SQ. MI.

FINISH

NORMAL PROGRAM FINISH END TIME (HR:MIN:SEC) = 15:30:04

CITY OF ALBUQUERQUE



August 14, 2013

Diane Hoelzer, P.E.
Mark Goodwin & Associates, PA
P.O. Box 90606
Albuquerque, NM 87199

**Re: AMERICA'S PASSTIME, Revised Grading and Drainage Plan
Engineer's Stamp Date 8/01/2013 (C18/D035)**

Dear Ms. Hoelzer,

Based upon the information provided in your submittal received 8/01/2013, the revised grading and drainage plan is approved for Building Permit and SO-19 Permit.

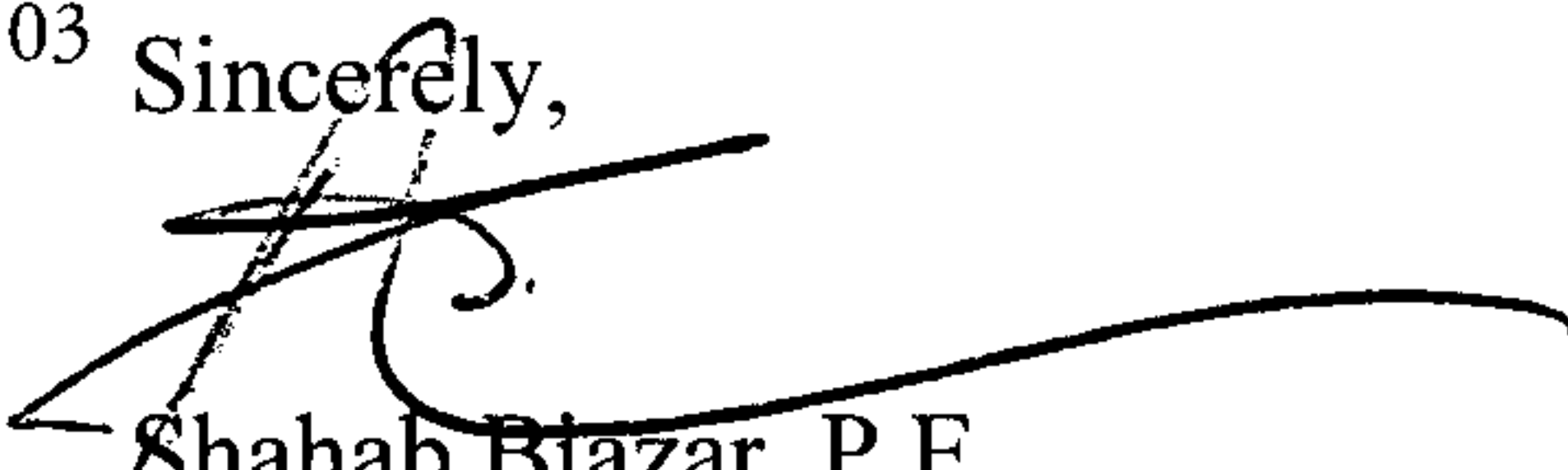
A separate SO-19 permit is required for construction within City ROW. A copy of this approval letter must be on hand when applying for the excavation/barricading permit. The work in the City ROW must be inspected and accepted. Contractor must contact Jason Rodriguez at 235-8016 and Construction Coordination at 924-3416 to schedule an inspection. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3695.

PO Box 1293
Albuquerque
New Mexico 87103

Sincerely,

www.cabq.gov


Shahab Blazar, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: e-mail

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 12/05)

PROJECT TITLE: America's Pastime ZONE MAP/DRG. FILE # C-18/D035
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Lot 30A3, North Albuquerque Acres, NM
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ENGINEERING FIRM: Mark Goodwin & Associates, PA CONTACT: Diane Hoelzer, PE
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CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: NA CONTACT: _____
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☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN (**REVISED 8-1-13**)(*)
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☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER/ARCHITECT CERT (TCL)
☐ ENGINEER/ARCHITECT (DRB SITE PLAN)
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☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) SO.19

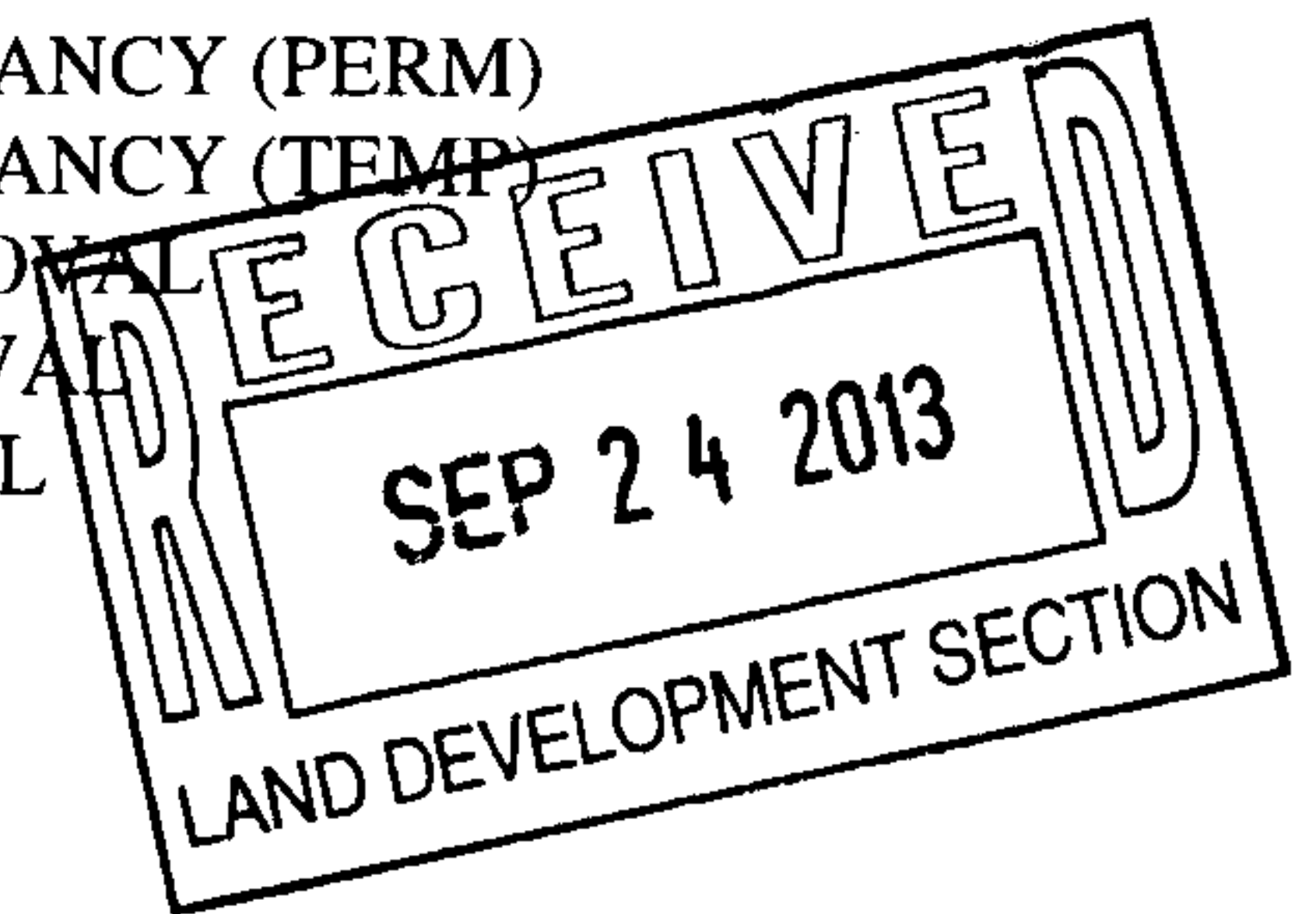
(*) revisions due to unexpected field as-built
WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☐ NO
☐ COPY PROVIDED

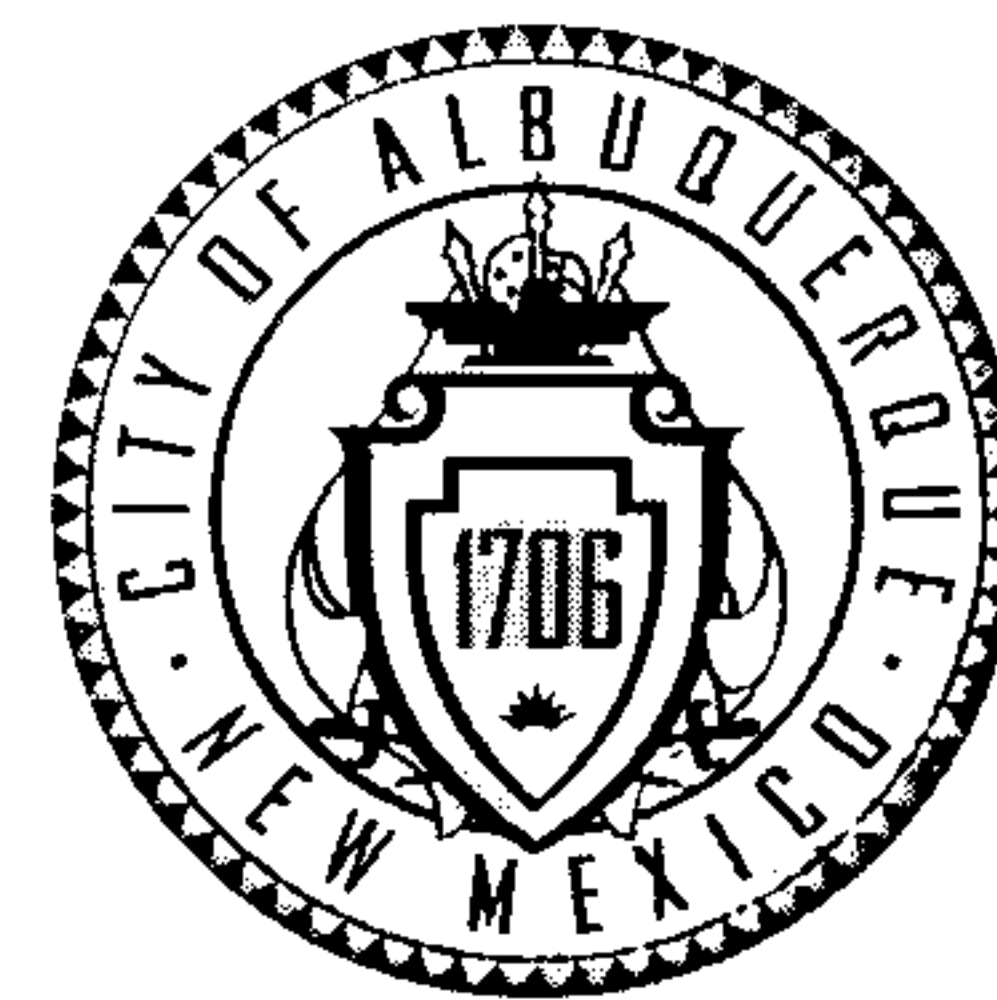
SUBMITTED BY: Diane Hoelzer, PE DATE: Sept. 24, 2013

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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CITY OF ALBUQUERQUE



October 8, 2013

Diane Hoelzer, PE
Mark Goodwin & Associates, PA
PO Box 90606
Albuquerque, NM 87199

Re: America's Pasttime
Lot 30A3, North Albuquerque Acres, 5310 Oakland Ave. NE
Request for Final C.O. – Accepted
Engineer's Stamp dated: 08-01-2013 (C-18/D035)
Certification dated: 09-23-2013

Dear Ms. Hoelzer,

Based on the Certification received 9/24/2013, the site is acceptable for a release of a Permanent Certificate of Occupancy by Hydrology.

PO Box 1293

Hydrology is asking for an electronic copy, in PDF format, of this certification for our records. This PDF file can be e-mailed to me at: sbiazar@cabq.gov.

Albuquerque

If you have any questions, you can contact me at 924-3695.

New Mexico 87103

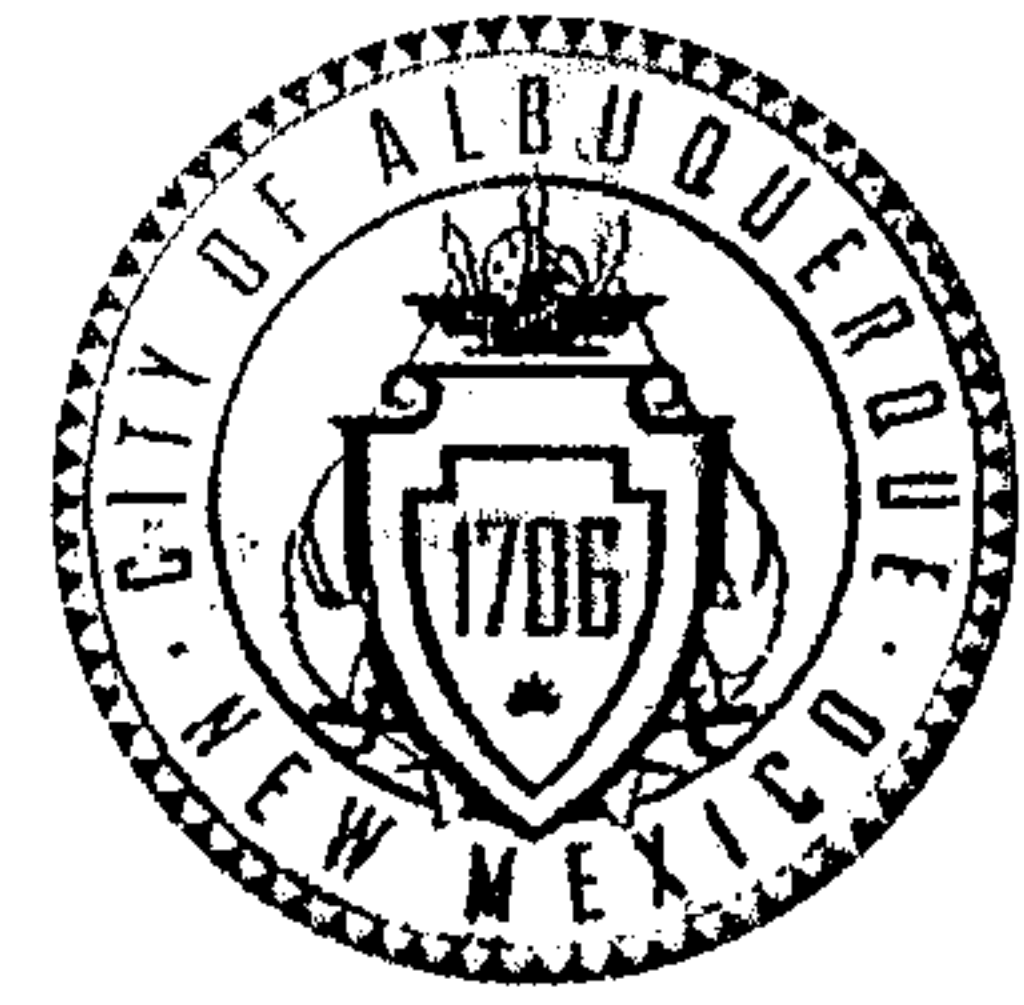
Sincerely,

www.cabq.gov

Shahab Biazar, P.E.
Senior Engineer, Planning Dept.
Development Review Services

C: CO Clerk—Katrina Sigala
E-mail

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

October 8 2013

Richard Bennett, Registered Architect
Rick Bennett Architects
1104 Park Avenue SW
Albuquerque, NM 87102

Re: Certification Submittal for Final Building Certificate of Occupancy for
America's Past Time, [C-18 / D035]
5310 Oakland Ave. NE
Architect's Stamp Dated 10/07/13

Dear Mr. Bennett:

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

Based upon the information provided in your submittal on 10/08/13, Transportation Development has no objection to the issuance of a **Permanent Certificate of Occupancy (C.O.)**. This letter serves as a "green tag" from Transportation Development for a **Permanent Certificate of Occupancy (C.O.)** to be issued by the Building and Safety Division.

If you have any question, please contact me at (505)924-3630.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: AMERICAS PASTINE Building Permit #: 201292390 City Drainage #: C18D035
DRB#: 12 DRB-70173 EPC#: _____ Work Order#: _____
Legal Description: LOT: 30-A-3 BLOCK 11, TRACT A, UNIT B SUBDIVISION: NORTH ALB. ACRES
City Address: 5310 OAKLAND AVE. NE ALBQ NM 87113

Engineering Firm: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Owner: BILL DAVIDSON Contact: BILL DAVIDSON
Address: 5310 OAKLAND AVE NE ALB. NM 87113
Phone#: _____ Fax#: _____ E-mail: gdavidson9@comcast.net

Architect: RBA INC. Contact: rick BENNETT
Address: 1104 PARK AVE SW ALBQ. NM 87102
Phone#: 505-242-1859 Fax#: 505-242-6630 E-mail: rick@RBA81.COM

Surveyor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

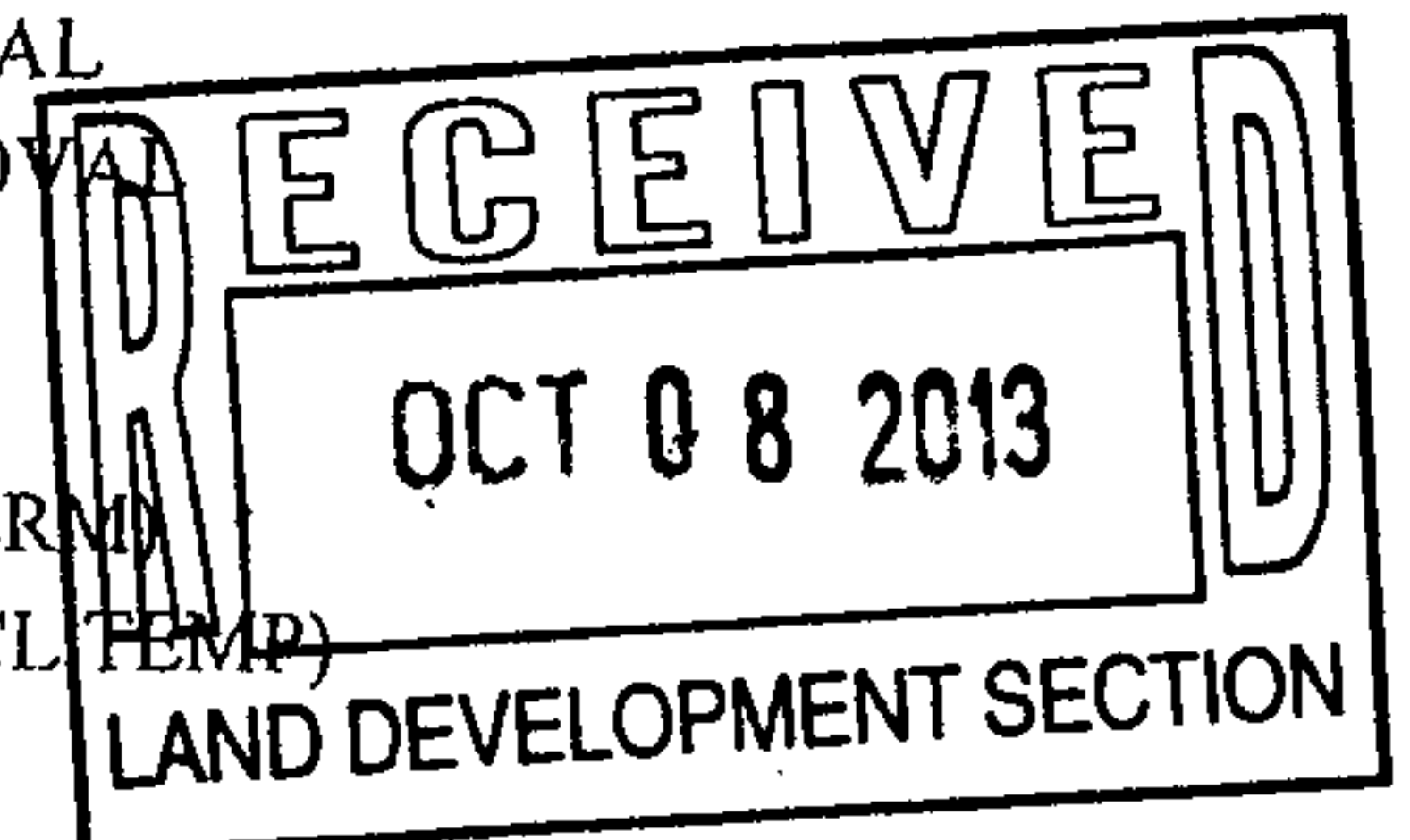
Contractor: VINEYARD COMMERCIAL Contact: DEB. SHORT
Address: 5820 FOURTH ST. NW ALBQ. NM 87107
Phone#: 235-5225 Fax#: 345-5307 E-mail: deb@vineyardhomesnm.com

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☒ OTHER (SPECIFY)



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____

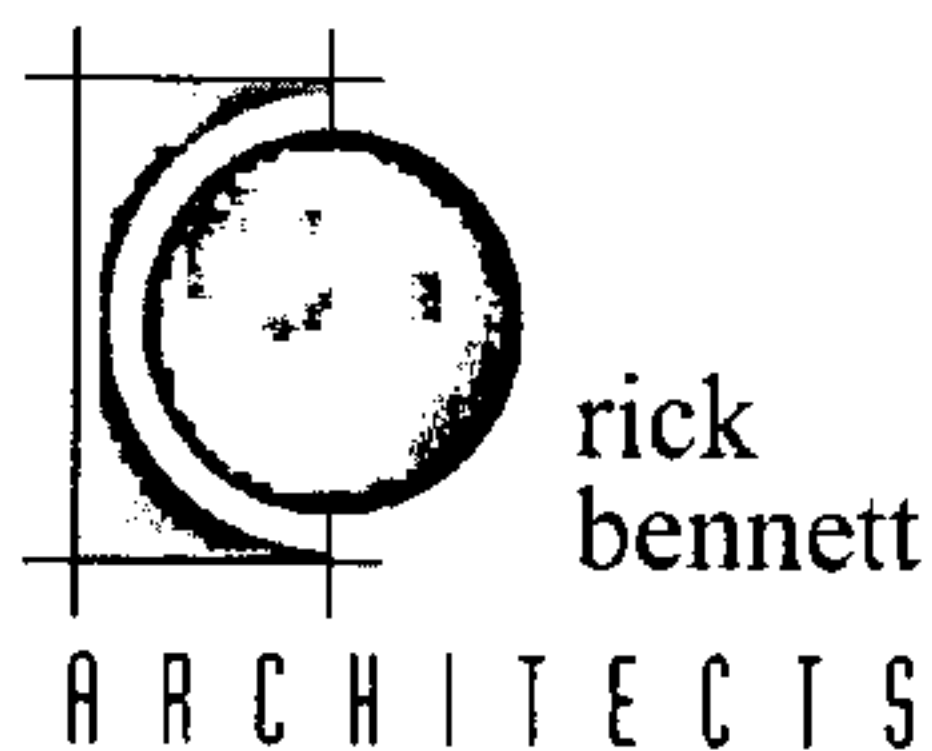
DATE SUBMITTED: 10/7/13

By: [Signature] Yes ☐ No ☒ Copy Provided

TRAFFIC FINAL CERT

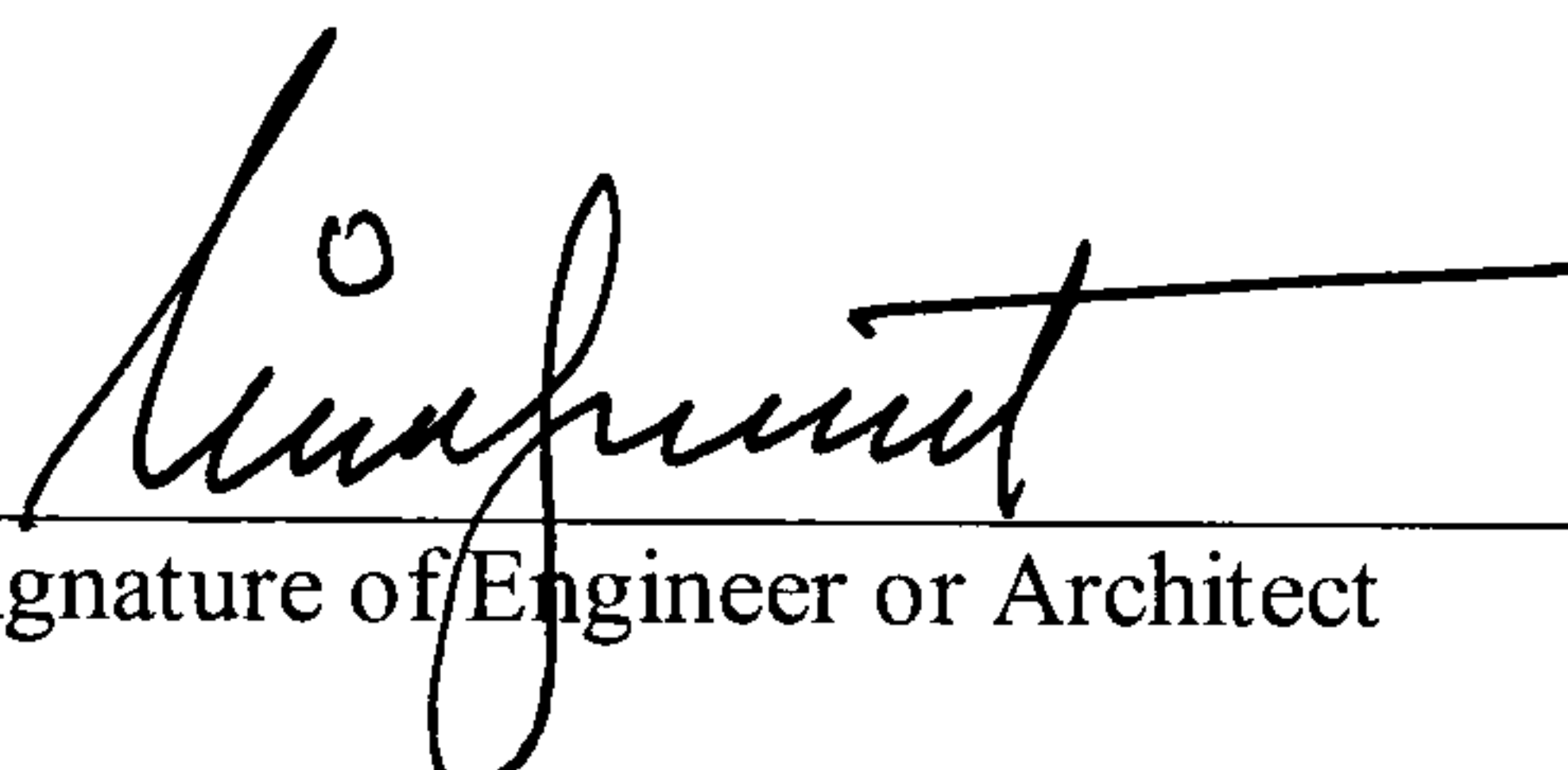
Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

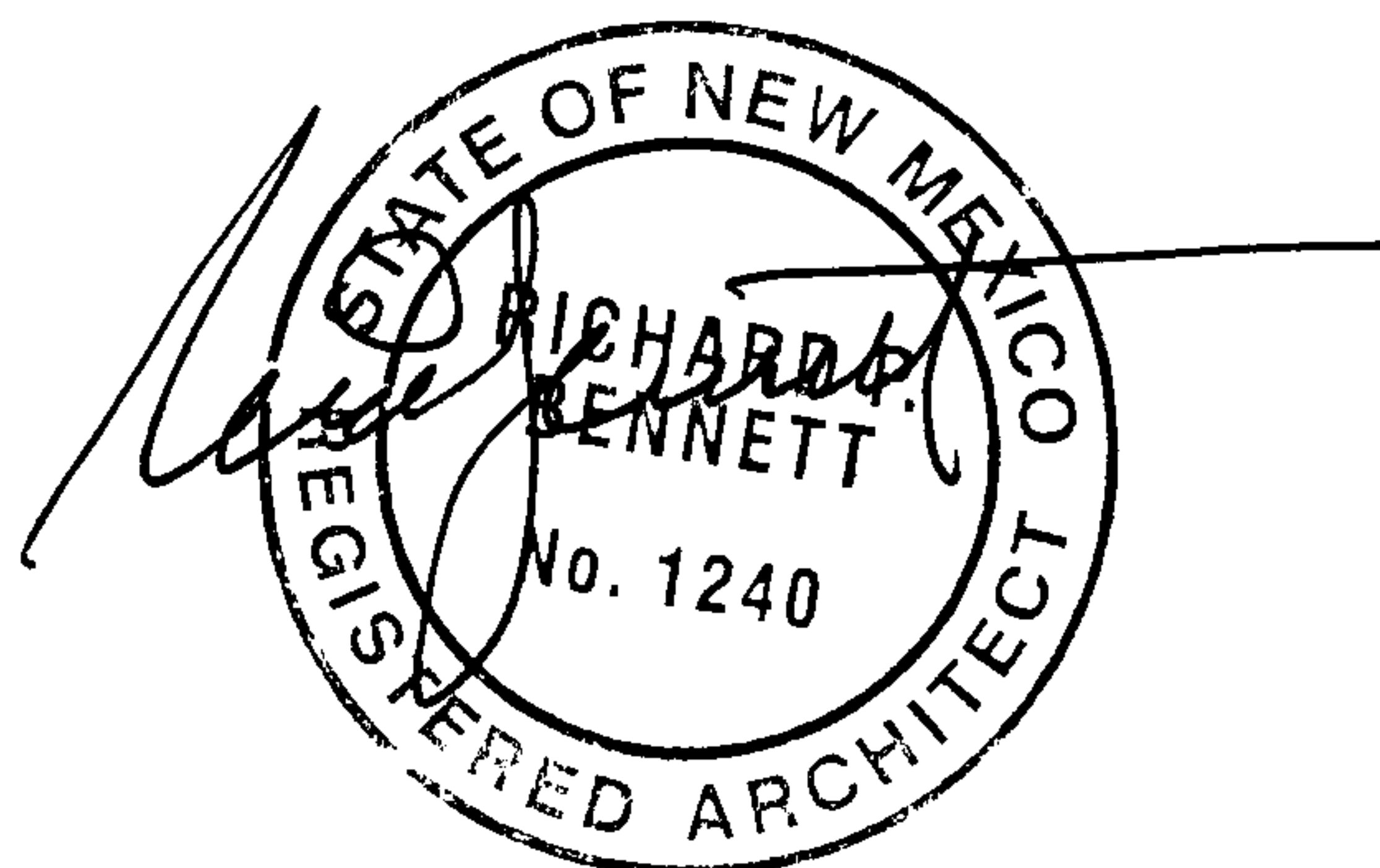


**AMERICA'S PASTIME
TRAFFIC CERTIFICATION
BP: 201292390**

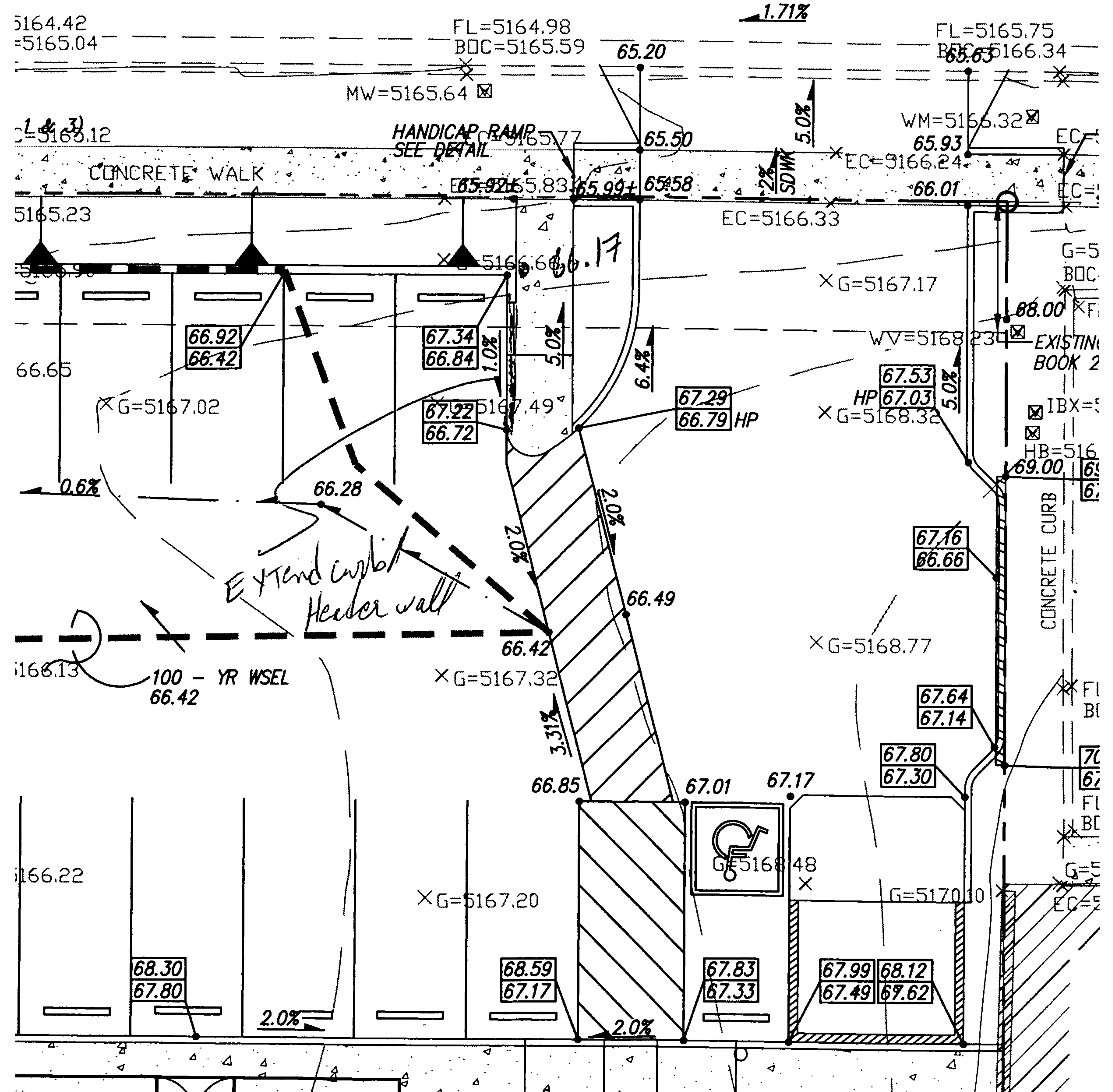
I, RICK BENNETT, NMPE OR NMRA 1240, OF THE FIRM RBA, INC., HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 07/16/2012. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY RICK BENNETT OF THE FIRM RBA, INC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 10/01/2013 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.


Signature of Engineer or Architect

10/7/13
Date



OAKLAND AVENUE N.E.



DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/05)

PROJECT TITLE: America's Pastime ZONE MAP/DRG. FILE #C-18/D035
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Lot 30A3, North Albuquerque Acres, NM
CITY ADDRESS: _____

ENGINEERING FIRM: Mark Goodwin & Associates, PA
ADDRESS: PO Box 90606
CITY, STATE: Albuquerque, NM

CONTACT: Diane Hoelzer, PE
PHONE: 828-2200
ZIP CODE: 87199

OWNER: Bill Davidson
ADDRESS: 9500 Eagle Rock NE
CITY, STATE: Albuquerque, NM

CONTACT: same
PHONE: 844-0667
ZIP CODE: 87122

ARCHITECT: Rick Bennett Architects
ADDRESS: 1104 Park Avenue SW
CITY, STATE: Albuquerque, NM

CONTACT: David McEachern
PHONE: 242-1859
ZIP CODE: 87102

SURVEYOR: NA
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: NA
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

TYPE OF SUBMITTAL:

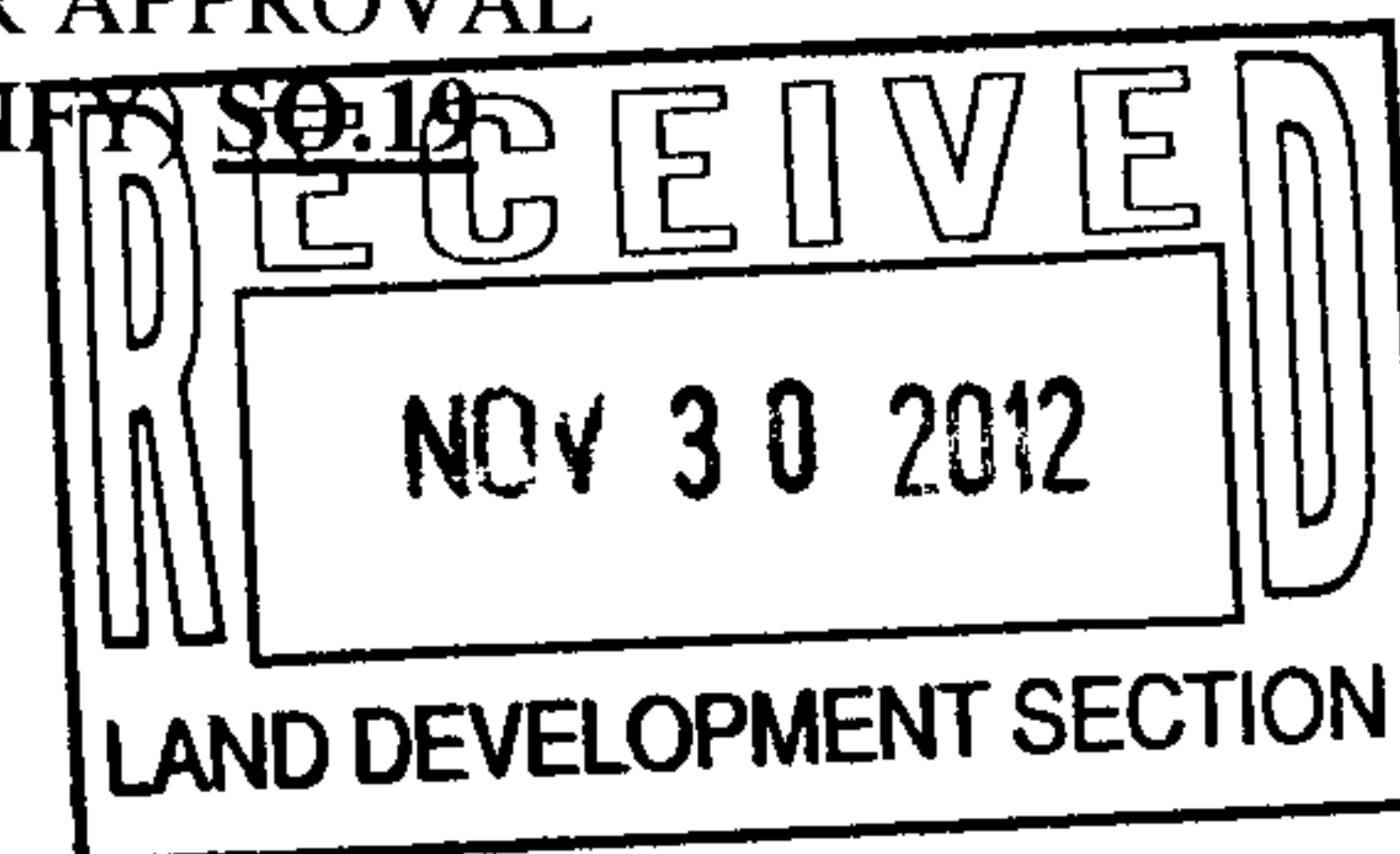
☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN (**REVISED**)
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER/ARCHITECT CERT (TCL)
☐ ENGINEER/ARCHITECT (DRB SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☒ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☒ OTHER (SPECIFY SO-18)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☐ NO
☐ COPY PROVIDED



SUBMITTED BY: Diane Hoelzer, PE DATE: November 30, 2012

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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