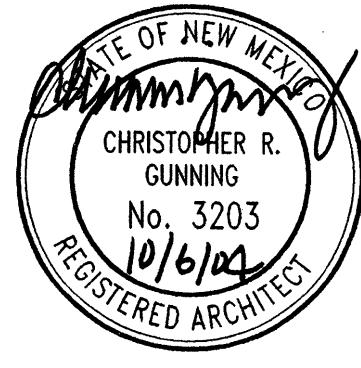
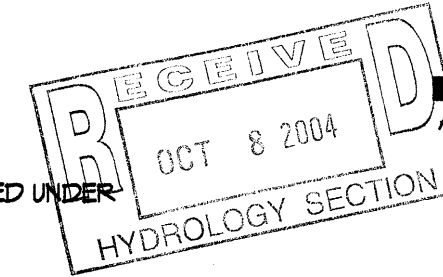


**Dekker  
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ENGINEER

PROJECT

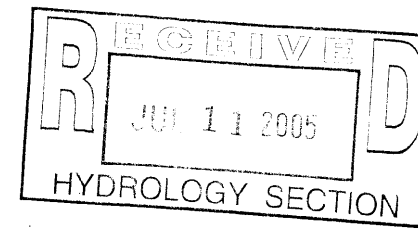
**Used Auto-Dealership**  
5301 Alameda Boulevard NE  
Albuquerque, New Mexico 87113

REVISIONS



DRAWN BY **KK**  
REVIEWED BY **CG**  
DATE **10/4/04**  
PROJECT NO. **04042**  
DRAWING NAME

**SITE PLAN-TCL**



SHEET NO.

**G102**

OF

**GENERAL NOTES**

- A. FUTURE DEVELOPMENT ON THE VACANT PORTION OF THIS LOT SHALL ADHERE TO THE SAME DESIGN CONCEPTS SET FORTH IN THIS SUBMITTAL.
- B. ALL SUBDIVIDED LOTS IN THIS SUBMITTAL SHALL NOT EXCEED 0.35 F.A.R. MAX.
- C. MAXIMUM BUILDING HEIGHT AND SETBACKS PER SU2 FOR M-1 ZONE, ALAMEDA DESIGN OVERLAY, AND NORTH I-25 SECTOR PLAN.

**KEYED NOTES**

1. PROPOSED PROPERTY LINE THROUGH EXISTING LOT 30-A
2. LANDSCAPED AREA
3. AUTOMOBILE DISPLAY AREA
4. NEW 6'-0" WIDE CONCRETE SIDEWALK
5. NOT USED
6. MONUMENT SIGN, 48 SF SURFACE AREA MAX.
7. ASPHALT PAVING
8. TRASH ENCLOSURE PER COA STANDARDS
9. EXISTING CONCRETE SIDEWALK TO REMAIN
10. EXISTING CONCRETE CURB TO REMAIN
11. UNSEED PORTION OF PROPERTY NOT BEING DEVELOPED UNDER THIS CONTRACT
12. REMOVE EXISTING CONCRETE CURB AND SIDEWALK
13. REMOVE EXISTING ASPHALT CURB
14. PROPOSED DECAL LANE FOR WEST BOUND TRAFFIC
15. NEW CONCRETE CURB
16. 6' WIDE CONCRETE WALKWAY
17. EXISTING STUCCO WALL
18. EXISTING FIRE HYDRANT
19. EXISTING UTILITY POLE
20. CONCRETE WHEEL STOP TYPICAL
21. LIGHT POLE TYP.; 4" ALUMINUM POLE, 22'-0" HIGH MAX.
22. CONCRETE RETAINING WALL, NOT TO EXCEED 3'-0" IN HEIGHT TYP.
23. RAISED PEDESTRIAN WALKWAY
24. BIKE RACK
25. EXISTING CONCRETE SIDEWALK RAMP
26. 6'-0" LANDSCAPE SETBACK
27. 10'-0" BUILDING SETBACK
28. NEW CONCRETE SIDEWALK RAMP, SLOPE 1:12 MIN.
29. NEW FIRE HYDRANT
30. ACCESSIBLE PARKING SIGN
31. 10'-0" PUBLIC UTILITY EASEMENT
32. CONCRETE PATIO
33. WATER DETENTION POND AREA

**SITE INFORMATION**

LEGAL DESCRIPTION:  
LOT 30-A, BLOCK 11, TRACT A, UNIT B, NORTH  
ALBUQUERQUE ACRES, CITY OF  
ALBUQUERQUE, BERNALILLO COUNTY, NM

ZONE: SU2 FOR M-1

GROSS BUILDING SQUARE FOOTAGE: 1,965 SF

TOTAL SITE AREA: 36,533 SF / 0.84 ACRES

F.A.R.: 0.053

BUILDING USE: CAR DEALERSHIP INCLUDING  
ADMINISTRATIVE OFFICE SPACE

**PARKING INFORMATION**

RETAIL: NET LEASABLE SF / 200

: 1,965 SF / 200 = 10

TOTAL SPACES REQUIRED: 10  
(INCLUDING 1 ACCESSIBLE SPACE)

TOTAL SPACES PROVIDED: 11  
(INCLUDING 1 ACCESSIBLE SPACE)

COMPACT SPACES: NONE PROVIDED

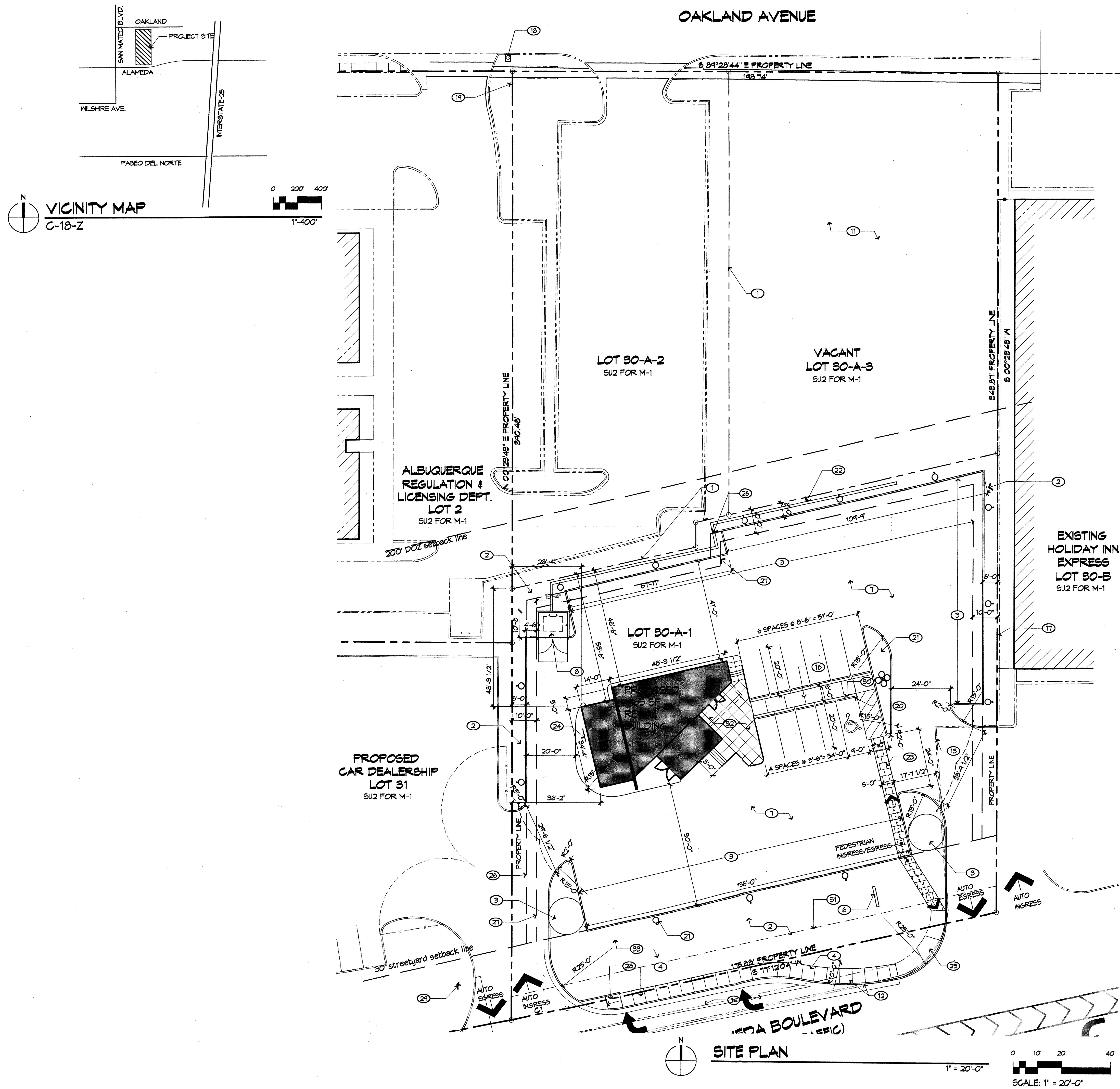
BICYCLE REQUIREMENTS: 1/20 = 1

BICYCLE SPACES PROVIDED = 1

**TRAFFIC CIRCULATION LAYOUT  
APPROVED**

*[Signature]* **Signed** **10/14/04** **Date**

Public Infrastructure shown  
on these plans for information  
only and not part of approval.  
Separate DRC/Permit approval  
and Work Order required.

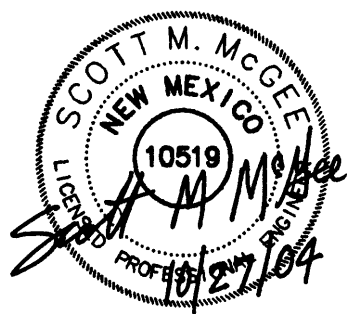


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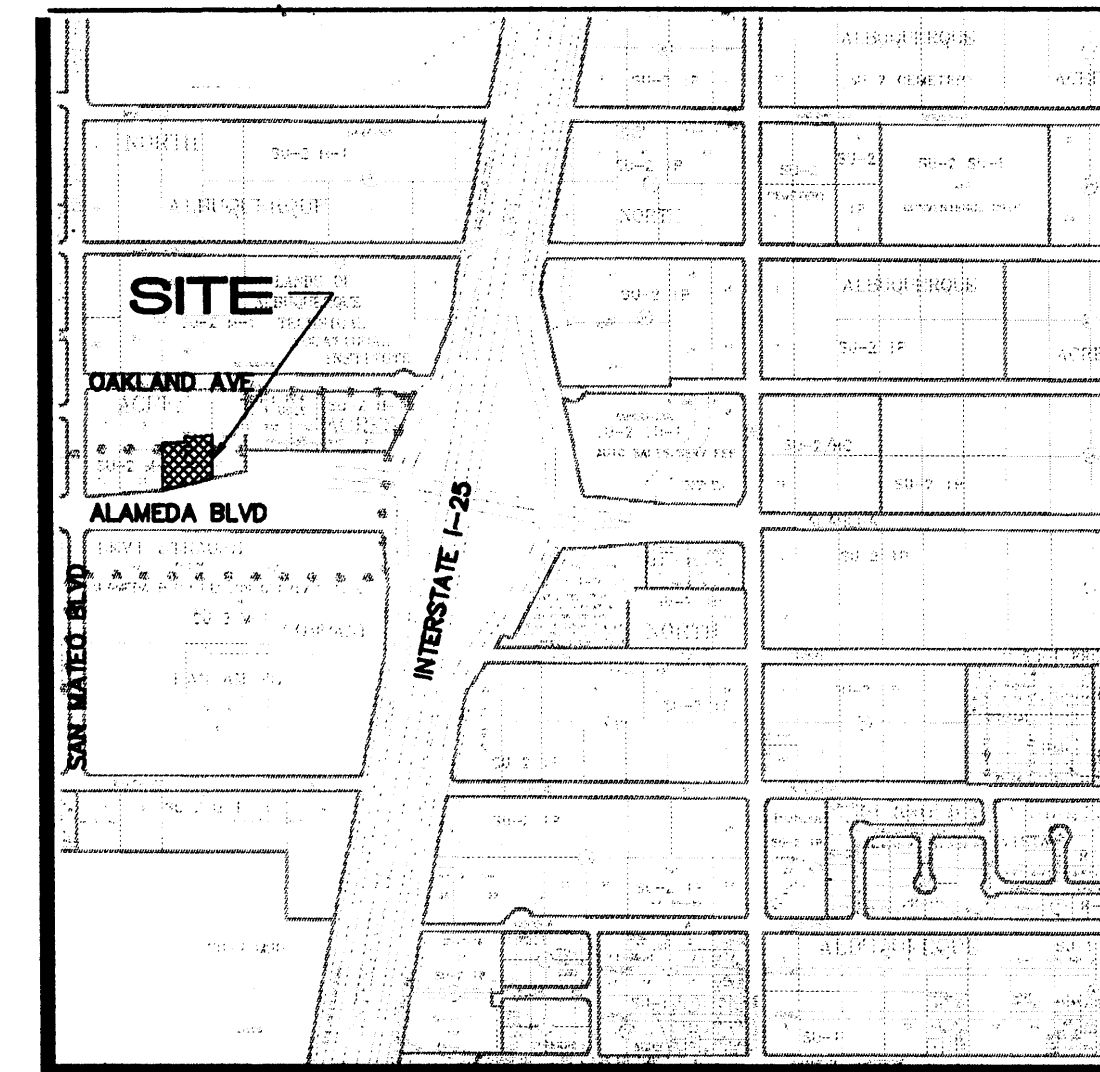
ARCHITECT

ENGINEER



PROJECT

**Used Auto-Dealership**  
**5301 Alameda Boulevard NE**  
**Albuquerque, New Mexico 87113**



**VICINITY MAP**

**LEGAL:** LOT 30-A-1, BLOCK 11, TRACT A, UNIT B  
NORTH ALBUQUERQUE ACRES.

**SURVEYOR:** FORSTBAUER SURVEYING (JULY 2004)

**BENCHMARK:** COA BM "10-117", AN ALUMINUM CAP IN THE TOP OF CONCRETE  
INLET AT THE ENE QUADRANT OF ALAMEDA/JEFFERSON NE.  
ELEVATION: 5127.05

**IBM:** SE PROPERTY CORNER (NAIL & DISK)  
ELEVATION: 5166.53

**OFFSITE FLOW:** NO OFFSITE FLOW TO ENTER THIS SITE.

**AREA:** 0.84 Acres = 36,533 sf

**EXISTING CONDITIONS:** THE UNDEVELOPED SITE SLOPES TO THE NORTHWEST AT  
3-4 PERCENT. WITH LAND TREATMENT OF 95% A & 5% D (ZONE 3)  
RUNOFF IS AS FOLLOWS:  
 $Q = (0.84)(2.03 \text{ cfs/Ac}) = 1.7 \text{ cfs}$

**PROPOSED CONDITIONS:** THE PROPOSED BUILDING AND ASSOCIATED PAVED  
PARKING WILL DRAIN TO A DETENTION POND LOCATED IN A LANDSCAPED  
AREA ALONG ALAMEDA NE. RUNOFF IS THE:  
22% C & 78% D  
 $Q = (0.84)(4.67 \text{ cfs/Ac}) = 3.9 \text{ cfs}$

THE APPROVED RELEASE RATE WITHIN THIS BASIN (C-18/D35), IS 1.75  
cfs/Acre. THIS SITE IS ALLOWED THE FOLLOWING DISCHARGE RATE:  
ALLOWABLE  $Q = 1.47 \text{ cfs}$

POND VOLUME REQ'D = 3,320 cf  
POND VOLUME PROVIDED = 3,400 cf  
(FOR HIGH WATER ELEVATION OF 5164)

**OUTFALL DESIGN:** A PRESSURE PIPE ANALYSIS GIVES THE FOLLOWING FOR AN  
8-INCH PIPE (450FT LENGTH, 6.5FT FALL, AND C=130)  
 $Q = 1.96 \text{ cfs} > 1.47$  (LIMIT DISCHARGE WITH ORIFICE)

**ORIFICE EQUATION:**  $Q = CA(2gH)^{1/2}$   
 $A = 2.42/13.90 = 0.174$   
 $R = (.174/3.14)^{1/2}$   
 $R = 0.235 \text{ ft}$   
 $D = 0.47 \text{ ft}$   
USE 6" ORIFICE PLATE AT INLET.

**KEYED NOTES**

- CONSTRUCT SITE ENTRANCE (C.O.A. STD. DWG. 2426), SIDEWALK (DWG. 2430), HANDICAP RAMPS (DWG. 2426), STANDARD CURB AND GUTTER (DWG. 2415A) AND VALLEY GUTTER (DWG. 2420) WITHIN R.O.W. MATCH EXISTING FL AND TC ELEVATIONS TO PROVIDE A SMOOTH TRANSITION. TRANSITION CURB HEIGHT FROM 8" TO 6" THROUGH RETURNS.
- CONSTRUCT ASPHALT PAVED CIRCULATION LANDS AND PARKING. SEE ARCHITECTURAL FOR INFORMATION REGARDING PARKING LAYOUT, DIMENSIONS, STRIPING, ETC.
- CONSTRUCT 6" HIGH CURB AT ALL ON-SITE CURB LOCATIONS. SEE ARCHITECTURAL FOR DETAIL.
- ALL SPOT ELEVATIONS WITHIN PAVED AREA REFERENCE TOP OF PAVING UNLESS NOTED OTHERWISE. ADD 0.5' FOR TOP OF CURB / TOP OF WALK DATA. (TYPICAL)
- SEE STRUCTURAL & ARCHITECTURAL SHEETS FOR RETAINING WALL DETAILS & LAYOUT.
- CONSTRUCT CONCRETE WALK THIS AREA. SEE ARCHITECTURAL DETAILS, RAMP LOCATIONS / DIMENSIONS AND ADDITIONAL INFORMATION.
- ROOF FLOWS TO BE RELEASED TO SIDEWALK / PAVING THIS AREA. PROVIDE POSITIVE DRAINAGE (MIN. SLOPE 0.0100'/') AWAY FROM BUILDING.
- CONSTRUCT HANDICAP PARKING THIS AREA AT ELEVATIONS SHOWN (MAX. SLOPE = 0.0200'/'). SEE ARCHITECTURAL FOR ACCESSIBLE RAMP DETAILS.

REVISIONS



DRAWN BY thor  
REVIEWED BY SMM  
DATE 07/30/04  
PROJECT NO.  
DRAWING NAME

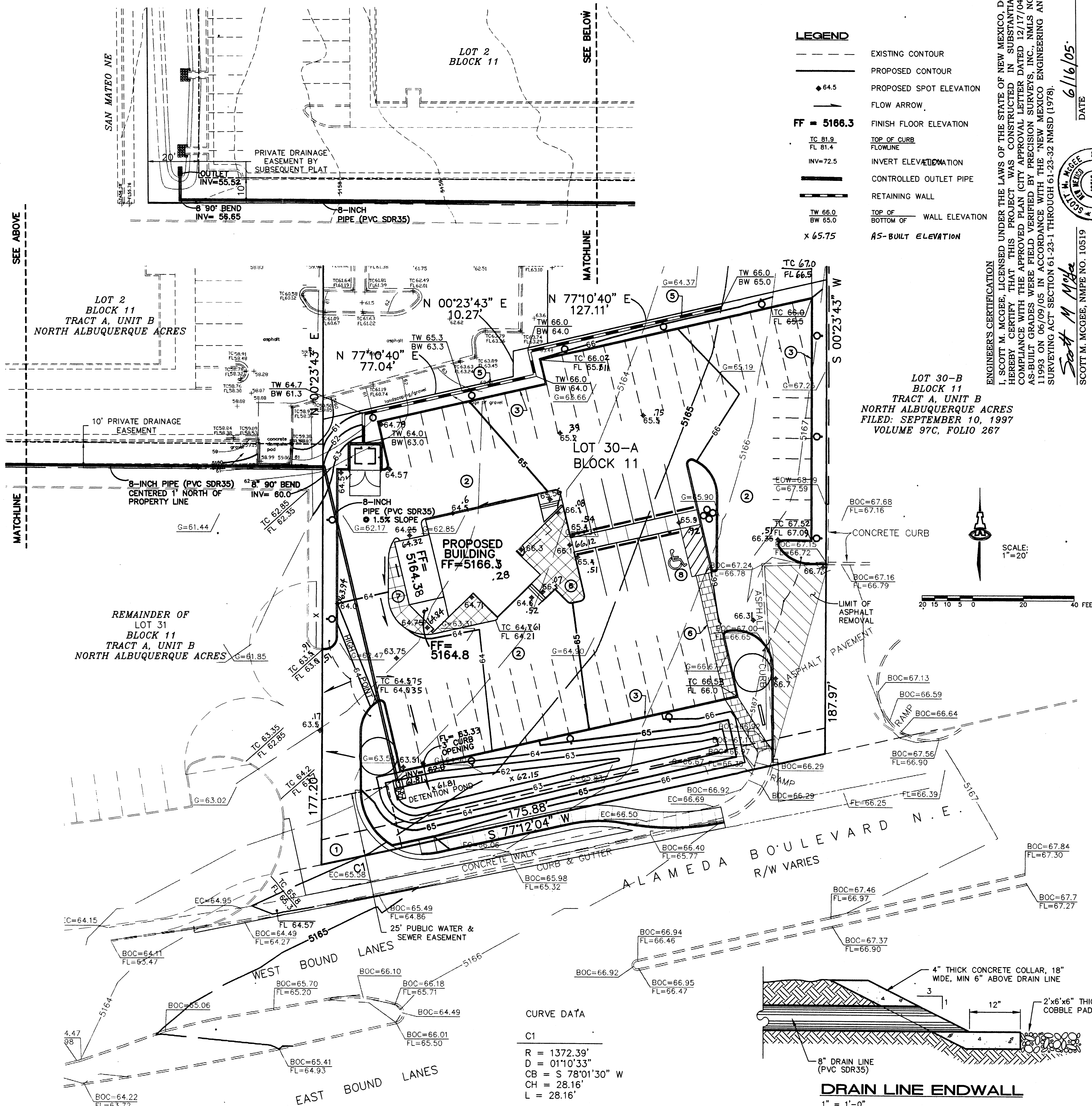
**GRADING &  
DRAINAGE PLAN**

JUN 16 2005  
HYDROLOGY SECTION

SHEET NO.

**C101**

OF



**ISAACSON & ARFMAN, P.A.**  
Consulting Engineering Associates  
128 Monroe Street N.E.  
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1356GRD.DWG 10.27.04