

# CITY OF ALBUQUERQUE



February 24, 2012

Devin Cannady, R.A.  
Devin Cannady Architect Studio  
332 Adams St. SE  
Albuquerque, NM 87108-2837

**Re: Office / Warehouse, 5301 Oakland Ave NE,  
Permanent Certificate of Occupancy – Transportation Development  
Architect's Stamp dated 01-18-12 (C18-D037B)  
Certification dated 02-09-12**

Dear Mr. Cannady,

Based upon the information provided in your submittal received 02-10-12, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.  
Traffic Engineer, Planning Dept.  
Development and Building Services

C: CO Clerk  
File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**  
(REV 02/2012)

PROJECT TITLE: OAKLAND OFFICE/WAREHOUSE ZONE MAP: C18/DD37B  
 DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: LOTS 30A/30B BLOCK 10 TRACT A UNIT B  
 CITY ADDRESS: 5301 OAKLAND AVE. N.E.

ENGINEERING FIRM: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_  
 EMAIL: \_\_\_\_\_

OWNER: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

ARCHITECT: CANNADY ARCHITECT STUDIO CONTACT: DEVIN CANNADY  
 ADDRESS: 300 ADAMS ST SE PHONE: 299-1111  
 CITY, STATE: ALB NM ~~8770~~ ZIP CODE: 87108  
 EMAIL: devin@cannadyarchitectstudio.com

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

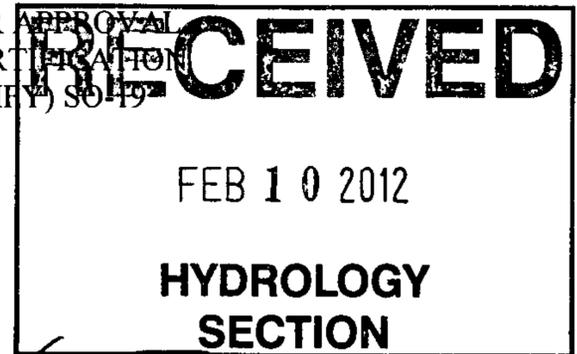
CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

- TYPE OF SUBMITTAL:**
- DRAINAGE REPORT
  - DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL
  - DRAINAGE PLAN RESUBMITTAL
  - CONCEPTUAL G & D PLAN
  - GRADING PLAN
  - EROSION CONTROL PLAN
  - ENGINEER'S CERT (HYDROLOGY)
  - CLOMR/LOMR
  - TRAFFIC CIRCULATION LAYOUT
  - ENGINEER'S CERT (TCL)
  - ENGINEER'S CERT (DRB SITE PLAN)
  - OTHER (SPECIFY) \_\_\_\_\_

- CHECK TYPE OF APPROVAL SOUGHT:**
- SIA/FINANCIAL GUARANTEE RELEASE
  - PRELIMINARY PLAT APPROVAL
  - S. DEV. PLAN FOR SUB'D APPROVAL
  - S. DEV. FOR BLDG. PERMIT APPROVAL
  - SECTOR PLAN APPROVAL
  - FINAL PLAT APPROVAL
  - FOUNDATION PERMIT APPROVAL
  - BUILDING PERMIT APPROVAL
  - CERTIFICATE OF OCCUPANCY (PERM)
  - CERTIFICATE OF OCCUPANCY (TEMP)
  - GRADING PERMIT APPROVAL
  - PAVING PERMIT APPROVAL
  - WORK ORDER APPROVAL
  - GRADING CERTIFICATION
  - OTHER (SPECIFY) \_\_\_\_\_

WAS A PRE-DESIGN CONFERENCE ATTENDED:  
 YES  
 NO  
 COPY PROVIDED

DATE SUBMITTED: 02-09-12 BY: [Signature]



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

# CITY OF ALBUQUERQUE



January 18, 2012

Devin Cannady, R.A.  
Devin Cannady Architect Studio  
332 Adams St. SE  
Albuquerque, NM 87108-2837

Re: Office / Warehouse, 5301 Oakland Ave NE, Traffic Circulation/Layout  
Architect's Stamp dated 01-18-12 (C18-D037B)

Dear Mr. Cannady,

The TCL submittal received 01-18-12 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.  
Traffic Engineer, Planning Dept.  
Development and Building Services

C: File

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 12/2005)

PROJECT TITLE: OFFICE WAREHOUSE ON OAKLAND ZONE MAP: DRB#: EPC#: WORK ORDER#:

LEGAL DESCRIPTION: LOTS 30-A+30-B BLK 10 TRACK A UNIT B NORTH ALBUQUERQUE ACRES CITY ADDRESS: 5301 OAKLAND AVE NE

ENGINEERING FIRM: ADDRESS: CITY, STATE: CONTACT: PHONE: ZIP CODE:

OWNER: ADDRESS: CITY, STATE: CONTACT: PHONE: ZIP CODE:

ARCHITECT: DC ARCHITECT STUDIO ADDRESS: 300 ADAMS STREET SE CITY, STATE: ALBUQUERQUE, NM CONTACT: DEVIN CANNADY PHONE: 299-1111 ZIP CODE: 87108

SURVEYOR: ADDRESS: CITY, STATE: CONTACT: PHONE: ZIP CODE:

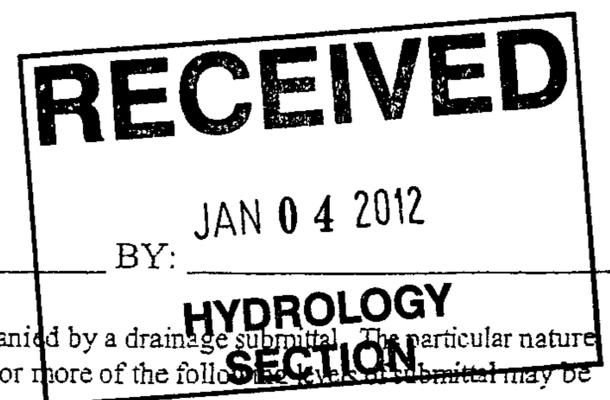
CONTRACTOR: ADDRESS: CITY, STATE: CONTACT: PHONE: ZIP CODE:

- TYPE OF SUBMITTAL: DRAINAGE REPORT, DRAINAGE PLAN 1st SUBMITTAL, DRAINAGE PLAN RESUBMITTAL, CONCEPTUAL G & D PLAN, GRADING PLAN, EROSION CONTROL PLAN, ENGINEER'S CERT (HYDROLOGY), CLOMR/LOMR, TRAFFIC CIRCULATION LAYOUT, ENGINEER'S CERT (TCL), ENGINEER'S CERT (DRB SITE PLAN), OTHER (SPECIFY)

- CHECK TYPE OF APPROVAL SOUGHT: SLA/FINANCIAL GUARANTEE RELEASE, PRELIMINARY PLAT APPROVAL, S. DEV. PLAN FOR SUB'D APPROVAL, S. DEV. FOR BLDG. PERMIT APPROVAL, SECTOR PLAN APPROVAL, FINAL PLAT APPROVAL, FOUNDATION PERMIT APPROVAL, BUILDING PERMIT APPROVAL, CERTIFICATE OF OCCUPANCY (PERM), CERTIFICATE OF OCCUPANCY (TEMP), GRADING PERMIT APPROVAL, PAVING PERMIT APPROVAL, WORK ORDER APPROVAL, OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED: YES, NO, COPY PROVIDED

DATE SUBMITTED:



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

01-13-12 Verbal No - Need stamp date to be revised - currently dated 12-04-12

# CITY OF ALBUQUERQUE



## CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

### DEVELOPMENT REVIEW BOARD MEMO

**DRB PROJECT NO: 1008799**

**AGENDA ITEM NO: 5**

**SUBJECT:**

Vacation of Public Easement  
Sidewalk Waiver  
Subd Design Variance  
Temp Defr-Sidewalk Constr  
Site Plan for Subdivision

**ENGINEERING COMMENTS:**

Hydrology has no objection to these actions.

Preliminary Plat Approval

The applicant has submitted an updated Grading Plan and Drainage report based on Hydrology's comments, but they has not been reviewed yet.

PO Box 1293

Albuquerque **RESOLUTION/COMMENTS:**

NM 87103

[www.cabq.gov](http://www.cabq.gov)

**SIGNED:**

Hydrology Section  
City Engineer Designee  
AMAFCA Designee  
924-3986

**DATE:** 6-29-11

7-5-11

Spoke with Roger, an architect, told him it would be better to submit a new GED ~~re~~ with his BP set ~~not~~ rather than using this one.

~~They~~ Building Safety is having them resubmit for each lot separately, since the owner split the lots after the bldgs were built

cc

LOTS 30-A & 30-B, BLK 10, TRACT A  
NORTH ALBION ACRES, UNIT B  
DRB # 1005247

OAKLAND AVE, NE

5301 & 5311 67' (TCL SIGNED BY)  
TES

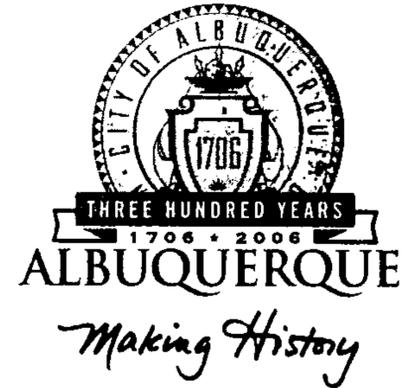
C-18/D037B (K-RAM OAKLAND  
FACILITY)

RICK BENNETT R.A.

{06/14/11}  
NSF

NEW ARCHITECT WILL RESUBMIT ANOTHER  
TCL TO REFLECT THE AS-BUILTS (DIFF. FROM APPROVED)  
& RE-PLAT (1/07) WITH LOT LINES  
TO DIVIDE 30A & 30B (5301 & 5311 OAKLAND NE)  
(TCL date 1/13/06)

# CITY OF ALBUQUERQUE



December 1, 2005

Wallace L. Bingham, PE  
Bingham Engineering  
6344 Belcher Ave NE  
Albuquerque, NM 87109

\*DRB 100 5247

**Re: K-Ram Oakland Facility, 5301 Oakland Ave. NE**  
**Grading and Drainage Plan**  
**Engineer's Stamp dated 11-30-05 (C18-D37B)**

Dear Mr. Bingham,

Based upon the information provided in your submittal received 10-30-05, the above referenced site is approved for Building Permit and SO19 Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

A separate permit is required for construction within City R/W. A copy of this approval letter must be on hand when applying for this permit. Also, prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

P.O. Box 1293

If you have any questions, you can contact me at 924-3695

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

C: Liz Sanchez, Excavation and Barricading  
File

Sincerely,

Rudy E. Rael Associate Engineer  
Planning Department.  
Development and Building Services

DRAINAGE INFORMATION SHEET

PROJECT TITLE K-RAM OAKLAND FACILITY

ONE MAP/DRN FILE C-18 /D37B

DRB#

TPC#

WORK ORDER#

LEGAL DESCRIPTION: L30,B10,NAA TR-A, UN-B

CITY ADDRESS -- 5301 OAKLAND AVE. NE ., Alb., NM

ENGINEERING FIRM: BINGHAM ENGINEERING
ADDRESS STREET: 6344 Belcher Ave, NE
CITY, STATE, ZIP: Alb. NM 87109

CONTACT: Wallace Bingham
PHONE: 797 4699

OWNER: K-RAM
ADDRESS STREET: 3738 Arno St. NE
CITY, STATE, ZIP: Alb. NM 87107

CONTACT: Gilbert Lovato
PHONE: 345 7663

ARCHITECT: Rick Bennett
ADDRESS STREET: 1104 Pk Ave. SW
CITY, STATE, ZIP: Alb. NM 87102

CONTACT: Rick
PHONE: 242 1859

SURVEYOR:
ADDRESS STREET:
CITY, STATE, ZIP:

CONTACT:
PHONE:

CONTRACTOR: K-RAM
ADDRESS STREET: 3738 Arno St. NE
CITY, STATE, ZIP: Alb. NM 87107

CONTACT: Gilbert Lovato
PHONE: 345 7663

TYPE OF SUBMITTAL

CHECK TYPE OF APPROVAL REQUESTED

- DRAINAGE REPORT
X DRAINAGE PLAN resubmitted
CONCEPTUAL GRADING AND DRAINAGE PLAN
X GRADING PLAN
EROSION CONTROL PLAN
ENGINEER'S CERTIFICATION
CLOMR/LOMR
OTHER

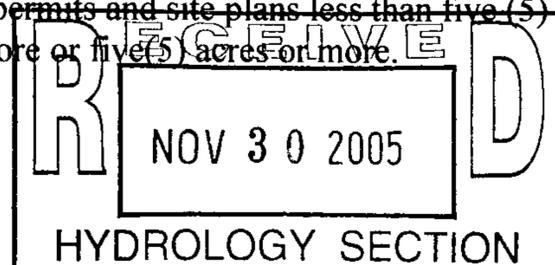
- SIA/FINANCIAL GUARANTEE RELEASE
PRELIMINARY PLAT
SITE DEV. PLAN FOR BLDG PERMIT
SITE DEV PLAN FOR BLDG. PERMIT
SECTOR PLAN
FINAL PLAT
FOUNDATION PERMIT
X BUILDING PERMIT
CERTIFICATE OF OCCUPANCY
GRADING PERMIT
PAVING PERMIT
WORK ORDER
X OTHER (SPECIFY) 50-19

WAS A PRE-DESIGN CONFERENCE ATTENDED ?
YES
NO
COPY PROVIDED

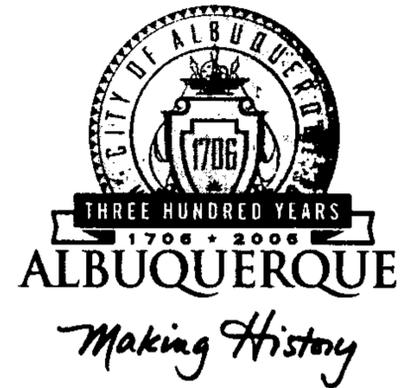
DATE SUBMITTED: 11/30/05 BY: Wallace L. Bingham

Request for approvals for Site Development Plans and/or Subdivision plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five(5) acres and Sector Plans
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. Drainage Report: Required for subdivisions containing ten(10) lots or more or five(5) acres or more.



# CITY OF ALBUQUERQUE



November 23, 2005

Wallace Bingham, P.E.  
Bingham Engineering  
6344 Belcher Ave. NE  
Albuquerque, NM 87109

**Re: K-Ram Oakland Facility, 5301 Oakland Ave. NE-Grading & Drainage Plan  
Engineer's Stamp dated 11-7-05 (C18-D37B)**

Dear Mr. Bingham,

Based upon the information provided in your submittal dated 11-9-05, the above referenced plan is approved for Site Development Plan for Building Permit action by the DRB. Prior to Building Permit approval, please address the following comments:

- Use Zone 2 rainfall depths in your AHYMO run.
- Provide calculations for orifice outflow and detention pond volume.
- Provide inverts at inlets of spillway pipe and sidewalk culvert.
- Call out size and type for pond outlet pipe.
- Provide reference in narrative to master plan restricted outflow requirement.
- Verify that the graphic scale is correct.

P.O. Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

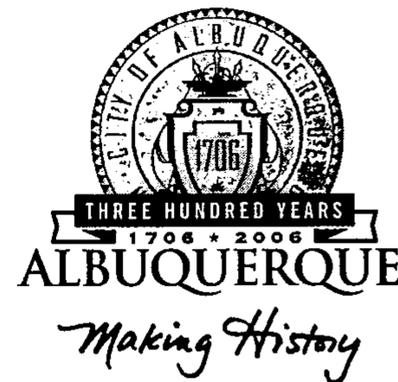
If you have any other questions, you can contact me at 924-3990.

Sincerely,

Phillip J. Lovato, E.I., C.F.M.  
Engineering Associate, Hydrology,  
Development and Building Services,  
Planning Department

cc: file

# CITY OF ALBUQUERQUE



November 15, 2005

Mr. Wallace Bingham, P.E.  
Bingham Engineering  
6344 Belcher Ave. NE  
Albuquerque, NM 87109

**Re: K—Ram Oakland Facilities, 5301 Oakland Ave. Traffic Circulation  
Layout- Engineer's Stamp 11-17-2005 (C-18-D37B)**

Dear Mr. Bingham:

Based upon the information provided in your submittal, received 11-08-05, the above referenced TCL plan cannot be approved for Building Permit until the following comments are addressed:

1. Provide width of sidewalk on Oakland, also, is the sidewalk proposed or existing?
2. Include COA Standard Specification Drawing Number for the Wheelchair Ramps at the entrance.
3. Provide information on 6' sidewalk (pavement markings or concrete sidewalk) in the entrance of the East Parking Lot.
4. Provide key-way at the east end of the East Parking Lot.
5. Identify parking stalls width, length, and handicap parking dimensions.
6. Identify all drive isle widths.
7. Provide radius for the interior curb by the east building.
8. Provide key-way for the West Parking Lot.
9. Include information on 4' sidewalk between building (pavement markings or sidewalk).
10. Provide Solid Waste's approval.
11. Consolidate required T.C.L. information onto one sheet.

If you have any questions, you can contact me at 924-3991.

Sincerely,

Wilfred A. Gallegos, P.E.  
Traffic Engineer, Planning Dept.  
Development and Building Services

C: file

P.O. Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)



# City of Albuquerque

December 28, 1999

Levi J. Valdez, P.E.  
George T. Rodrigues Dev, Consultant  
12800 San Juan NE  
Albuquerque, NM 87123

**RE: ENCHANTED MARBLE FACILITIES - OAKLAND AVE NE (C18-D37B).  
GRADING AND DRAINAGE PLAN FOR BUILDING PERMIT APPROVAL.  
ENGINEER'S STAMP DATED AUGUST 20, 1999.**

Dear Ms. Valdez:

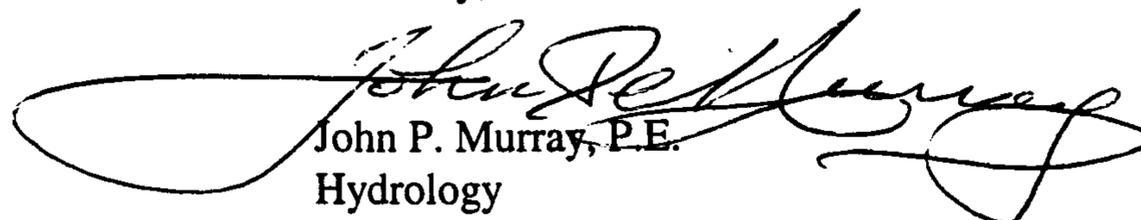
Based on the information provided on your December 20, 1999 submittal (replacement file), the above referenced project is approved for Building Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to Certificate of Occupancy approval, an Engineer's Certification per the DPM will be required.

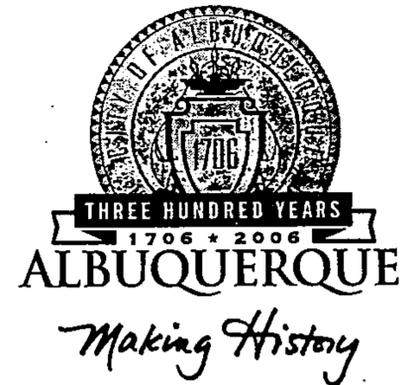
If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,

  
John P. Murray, P.E.  
Hydrology

c: WR  
✓ File

# CITY OF ALBUQUERQUE



December 29, 2005

Rick Bennett R.A.  
**Rick Bennett Architects, Inc.**  
1104 Park Ave. SW  
Albuquerque, NM 87102

Re: K—Ram Oakland Facility, 5301 Oakland NE, Traffic Circulation Layout,  
Architect's Stamp dated: 01-05-06 (C18-D37B)

Dear Mr. Bennett,

The TCL submittal received 01-06-06 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

P.O. Box 1293

Albuquerque

New Mexico 87103

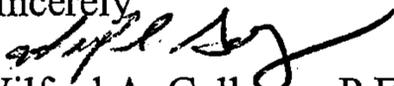
www.cabq.gov

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

  
Wilfred A. Gallegos, P.E.  
Traffic Engineer, Planning Dept.  
Development and Building Services

WAG: tes  
cc: file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

K-Ram Oakland Facility

PROJECT TITLE: OAKWOOD OFFICE/WAREHOUSE ZONE MAP/DRG. FILE #: C-18-2/D37B  
DRB #: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: LOT 30 BLOCK 10 NAA TR. A UNIT 5  
CITY ADDRESS: 5501 OAKLAND AVE NE. ABQ. NM 87109

ENGINEERING FIRM: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

OWNER: GILBERT LOVATO  
ADDRESS: 3730 ARNO NE  
CITY, STATE: ALBUQUERQUE NM

CONTACT: GILBERT LOVATO  
PHONE: 395-7603  
ZIP CODE: 87107

ARCHITECT: RICK BENNETT ARCHITECT INC.  
ADDRESS: 1109 PARK AVE SW  
CITY, STATE: ALBUQUERQUE N.M.

CONTACT: \_\_\_\_\_  
PHONE: 292-~~6444~~ 1059  
ZIP CODE: 87102

SURVEYOR: MONTE BINGHAM  
ADDRESS: 8399 BELCHER AVE NE  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: 797-9699  
ZIP CODE: 87109

CONTRACTOR: K-RAM INC.  
ADDRESS: 3730 ARNO NE  
CITY, STATE: ALBUQUERQUE, NM.

CONTACT: GILBERT LOVATO  
PHONE: 395-7603  
ZIP CODE: 87107

CHECK TYPE OF SUBMITTAL:

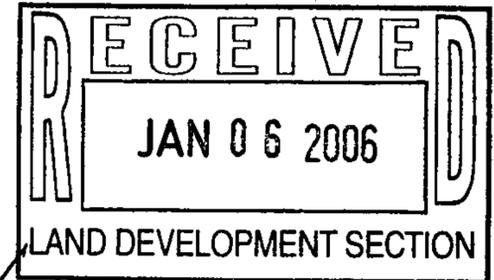
- DRAINAGE REPORT
- DRAINAGE PLAN
- CONCEPTUAL GRADING & DRAINAGE PLAN
- GRADING PLAN
- EROSION CONTROL PLAN
- ENGINEER'S CERTIFICATION (HYDROLOGY)
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL) RESUB.
- ENGINEERS CERTIFICATION (TCL)
- ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- SIA / FINANCIAL GUARANTEE RELEASE
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D. APPROVAL
- S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY (PERM.)
- CERTIFICATE OF OCCUPANCY (TEMP.)
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- WORK ORDER APPROVAL
- OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- YES
- NO
- COPY PROVIDED



DATE SUBMITTED: 01/04/05 BY: [Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

ALL INFO. NEEDS TO BE ON PLAN / NOT ATTACHED.

# IBC 2003 CODE ANALYSIS

OCCUPANCY AND USE CLASSIFICATION: = S-2, WAREHOUSE (TABLE 503)  
 TYPE OF CONSTRUCTION: = V-B (TABLE 503)  
 ALLOWABLE HEIGHT AND BUILDING AREA: = 2 STORY, 13,500 S.F. (TABLE 503)

ACTUAL BUILDING "A" AREA: = 6,500 S.F.  
 ACTUAL BUILDING "B" AREA: = 6,500 S.F.

OCCUPANT LOAD (TABLE 1004.1.2):  
 BUILDING "A" = 6,500 S.F./500 = 13 OCC.  
 BUILDING "B" = 6,500 S.F./500 = 13 OCC.

ROOF LIVE LOAD = 20 PSF (NON-REDUCABLE)  
 WIND LOAD = 75 MPH  
 EXPOSURE = C  
 SEISMIC ZONE = 2B

ZONING = SU-2 M-1

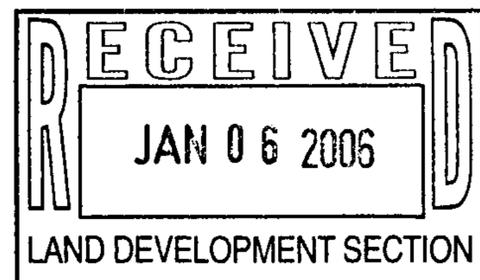
PARKING REQUIRED  
 BUILDING "A" AREA = 1 PER 2,000 S.F. = 3 SPACES  
 BUILDING "B" AREA = 1 PER 2,000 S.F. = 3 SPACES  
 TOTAL PARKING REQUIRED = 6 SPACES  
 TOTAL PARKING PROVIDED = 22 SPACES (2 H.C.)

## MINIMUM NUMBER OF REQUIRED PLUMBING FACILITIES

PER IBC 2003, TABLE 2902.1  
 BUILDING "A", GROUP S-2, 6,500 S.F./500 = 13 OCC.  
 BUILDING "B", GROUP S-2, 6,500 S.F./500 = 13 OCC.

PLUMBING FIXTURES REQUIRED			
GROUP S-2. 13 OCC.			
WATER CLOSET		LAVATORIES	
MALE	FEMALE	MALE	FEMALE
1 PER 100		1 PER 100	
DRINKING FOUNTAINS		1 PER 1000	
OTHER		1 SERVICE SINK	

PLUMBING FIXTURES PROVIDED
GROUP S-1, 13 OCC.
1 UNI-SEX (EACH BLDG.)
PER I.B.C. SECTION 2902.2
EXCEPTIONS: 1,2,3, AND 4
1 DRINKING FOUNTAIN (EACH BLDG.)
1 SERVICE SINK (EACH BLDG.)

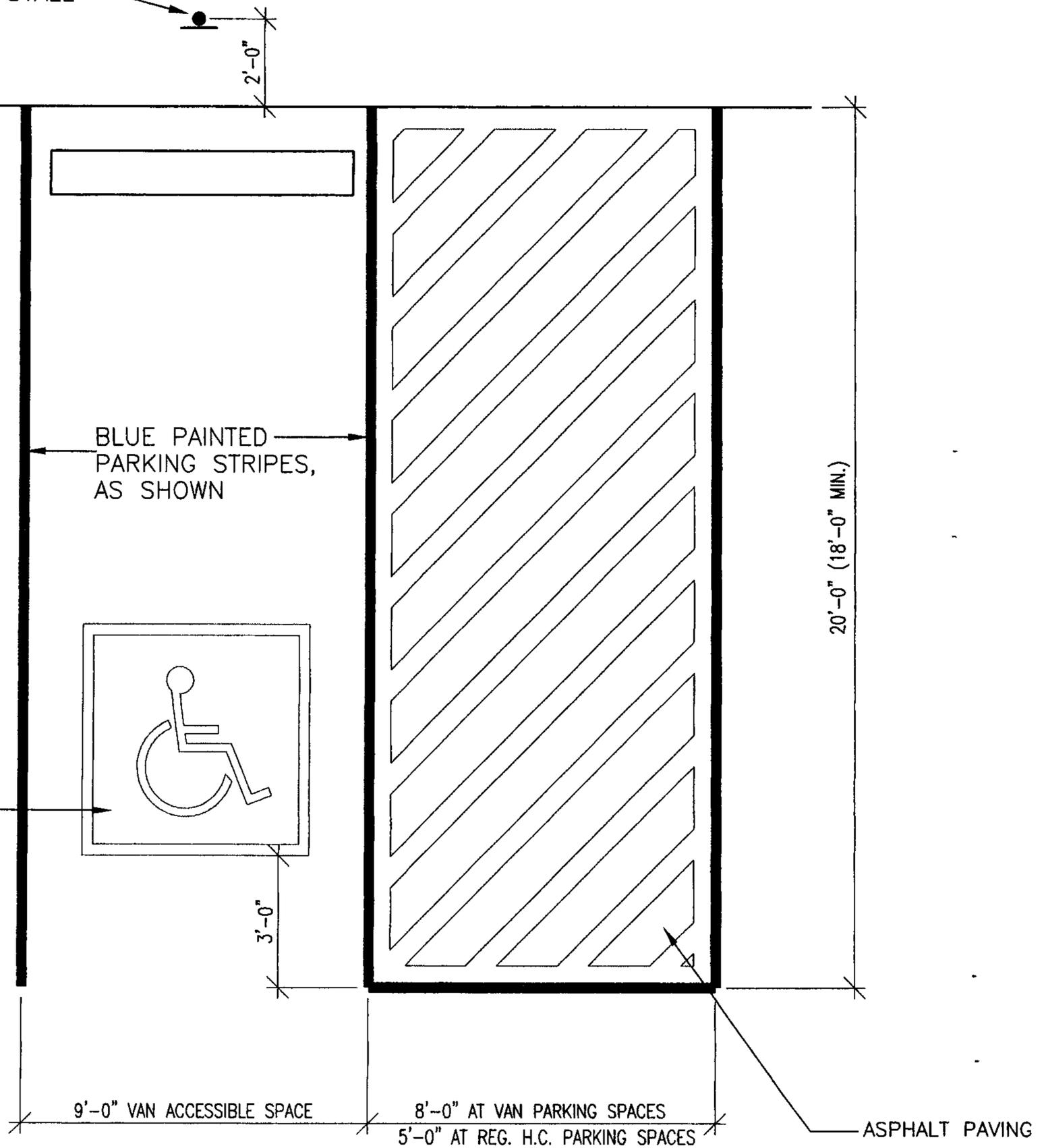


ACCESSIBLE PARKING SIGN PER DET. 3/C-1.1  
CENTER WITH STALL

DENOTES EDGE OF  
PARKING SPACE

BLUE PAINTED  
PARKING STRIPES,  
AS SHOWN

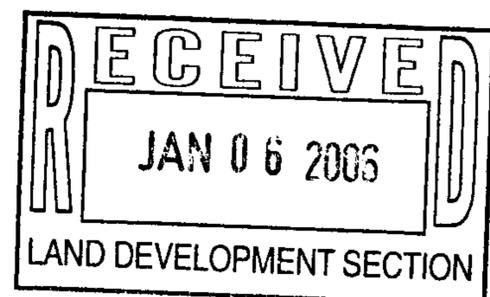
INTERNATIONAL SYMBOL  
OF ACCESSIBILITY  
CENTER IN STALL



# TYPICAL VAN ACCESSIBLE PARKING SPACE

1

1/4" = 1'-0"

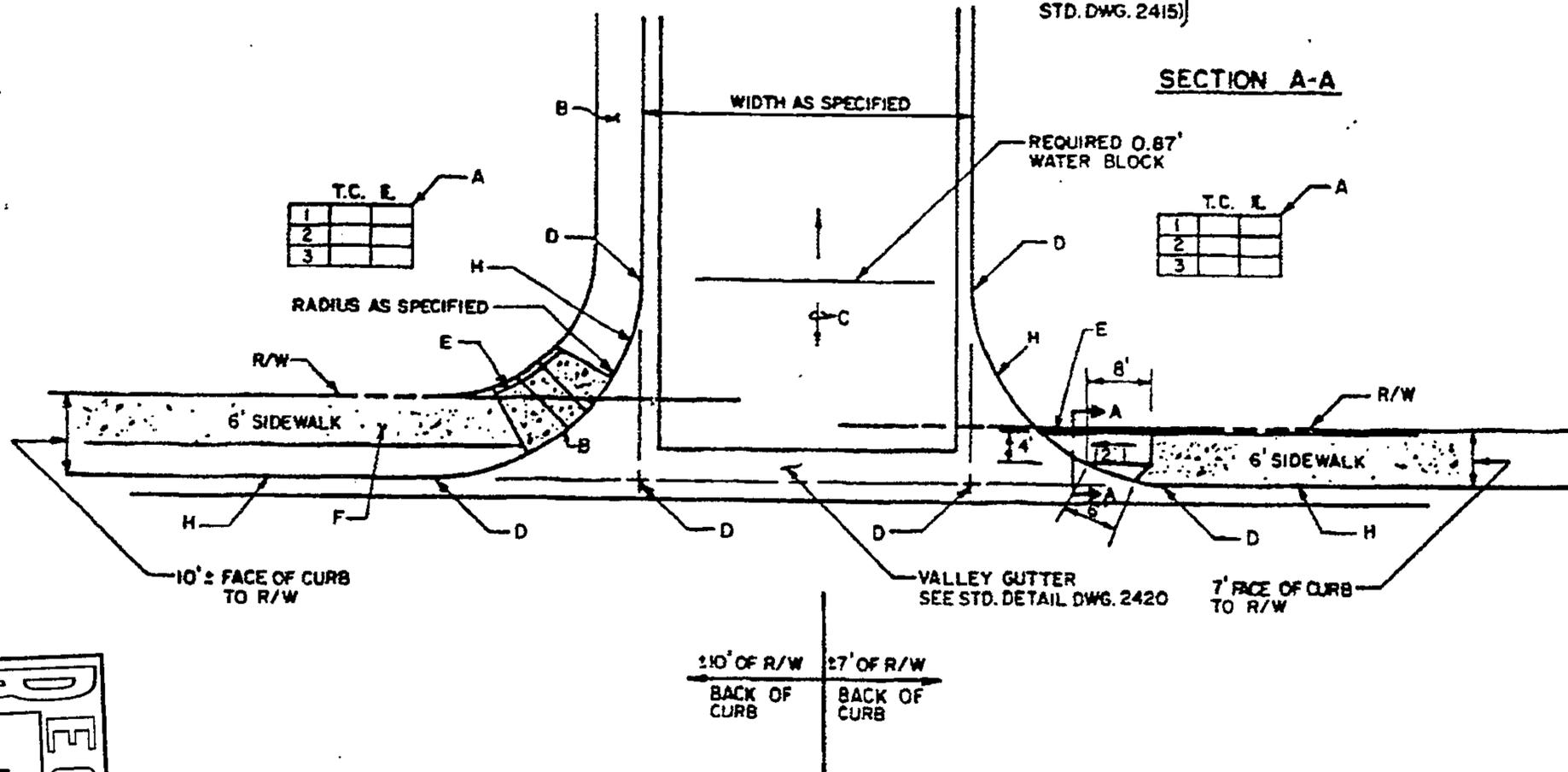
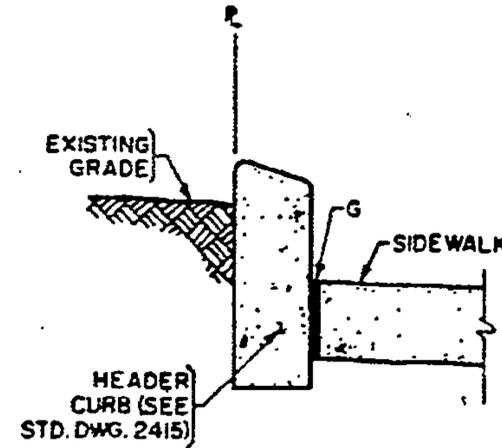


**GENERAL NOTES:**

1. THESE DETAILS ARE PROVIDED FOR HIGH TRAFFIC VOLUME PRIVATE ENTRANCES TO COMMERCIAL SITES AND THE LIKE, IN LIEU OF STANDARD DRIVEPADS.

**CONSTRUCTION NOTES:**

- A. INCLUDE QUARTER POINT ELEVATIONS. SEE STD. DETAIL DWG. 2420.
- B. WHERE INTERIOR SIDEWALK CONNECTION IS TO BE PROVIDED - CONSTRUCT CURB ACCESS RAMPS AS PER STD. DETAIL DWGS 2418 & 2441.
- C. INITIAL GRADE TO BE 4% OR LESS WHEN CONNECTING TO COLLECTOR OR ARTERIAL STREETS. 5% OR LESS WHEN CONNECTING TO LOCAL STREETS
- D. INCLUDE ELEVATIONS AT EACH END OF CURB RETURN AND INTERSECTIONS OF PROJECTED FLOWLINES. SEE STD. DWG. 2420.
- E. AT PROPERTY LINE, CONSTRUCT HEADER CURB. SEE STD. DWG 2415
- F. IF SIDEWALK IS AGAINST CURB, THE SIDEWALK SHOULD BE TRANSITIONED TO KEEP THE CURB ACCESS RAMP IN THE LOCATION SHOWN
- G. 1/2" EXPANSION JOINT MATERIAL.
- H. THEORETICAL FACE OF CURB OR FLOWLINE



**RECEIVED**  
 JAN 06 2006  
 LAND DEVELOPMENT SECTION

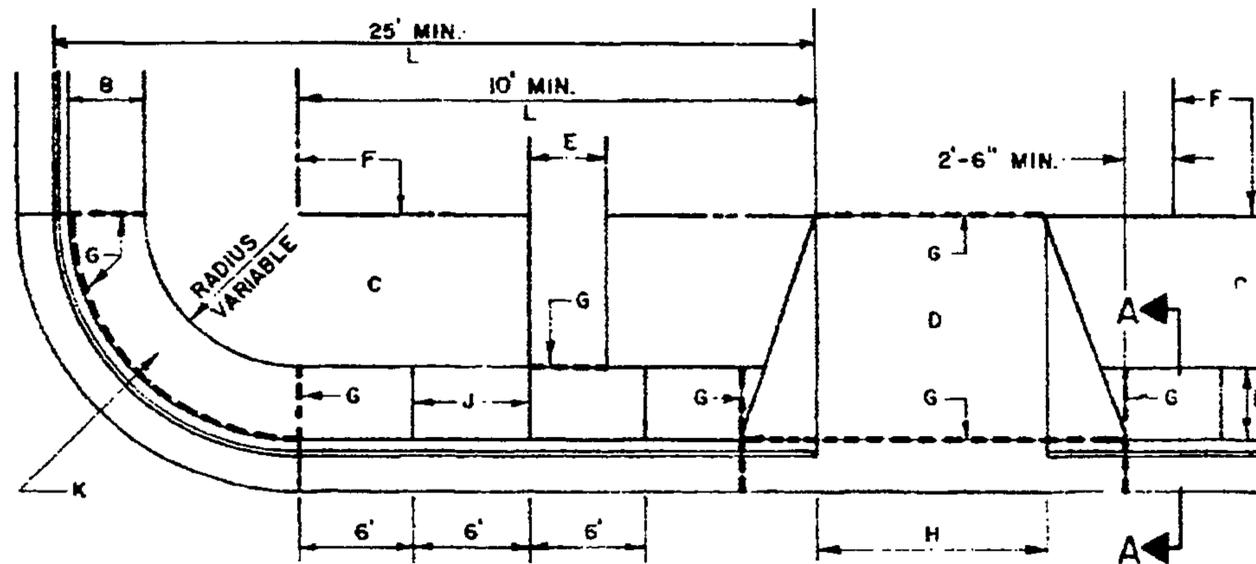
**PRIVATE ENTRANCE**

REVISIONS
1/91
11/14/91
4/4/94

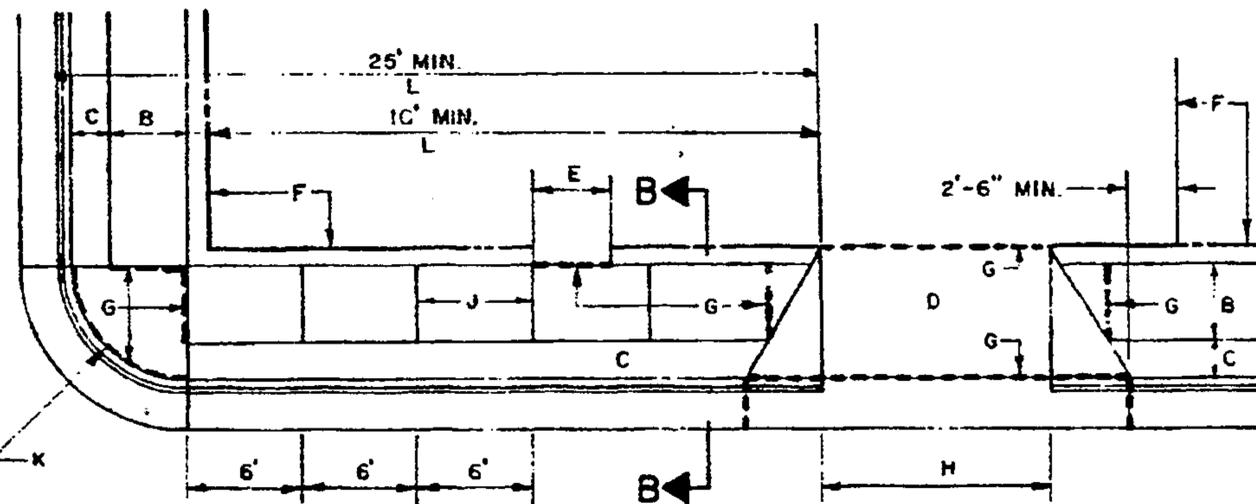
**CITY OF ALBUQUERQUE**

**PAVING  
PRIVATE ENTRANCE DETAILS -  
ILLUSTRATING TWO SEPRATE R/W  
CONDITIONS.  
DWG. 2426**

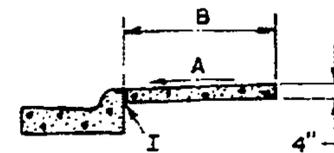
AUG. 1986



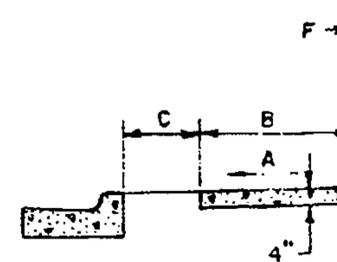
PLAN  
CURB TYPE SIDEWALK



PLAN  
OFFSET TYPE SIDEWALK



SECTION A-A



SECTION B-B

**GENERAL NOTES**

1. DEVIATIONS FROM THESE STANDARDS SHALL BE SUBMITTED TO THE CITY ENGINEER AND/OR CITY TRAFFIC ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
2. SUBGRADE UNDER SIDEWALKS AND DRIVEPADS SHALL BE COMPACTED IN ACCORDANCE WITH SECTION 301.

**CONSTRUCTION NOTES**

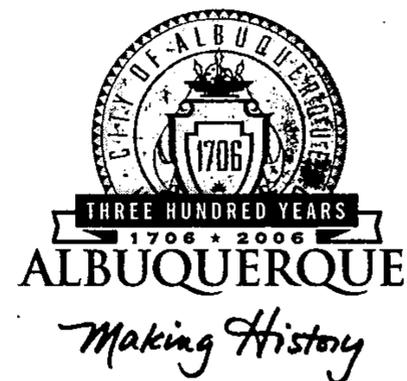
- A. SLOPE 1(VERTICAL) TO 50(HORIZONTAL).
- B. SIDEWALK WIDTHS SHALL BE IN ACCORDANCE WITH CHAPTER 23 OF THE DEVELOPMENT PROCESS MANUAL.
- C. SETBACK TO BE DETERMINED BY AVAILABLE RIGHT-OF-WAY. SEE CHAPTER 23 OF DEVELOPMENT PROCESS MANUAL.
- D. SEE DRIVEPAD DETAIL, DWG 2425.
- E. WALKWAY VARIABLE.
- F. PROPERTY LINE.
- G. X" EXPANSION JOINTS WHERE SIDEWALK OR DRIVEPAD ABUTS BUILDINGS, FENCES, WALLS OR OTHER IMMOVABLE OBJECTS.
- H. 12 FT. MIN., 22 FT. MAX. - RESIDENTIAL.  
12 FT. MIN., 25 FT. MAX. - LIGHT COMMERCIAL.  
20 FT. MIN., 35 FT. MAX. - HEAVY COMMERCIAL.
- J. CONTRACTION JOINTS.
- K. FOR CURB ACCESS RAMPS, SEE DWGS 2440 & 2441.
- L. CHECK DIMENSION FROM BOTH PROPERTY LINE AND FLOW LINE. USE IN AREAS WHERE DRIVEPAD IS FARTHEST FROM INTERSECTION.

RECEIVED  
 JAN 06 2005  
 LAND DEVELOPMENT SECTION

REVISIONS
1/12/01
4/12/94

CITY OF ALBUQUERQUE	
PAVING	
SIDEWALK DETAILS	
DWG. 2430	AUG. 1986

# CITY OF ALBUQUERQUE



December 29, 2005

Rick Bennett R.A.  
**Rick Bennett Architects, Inc.**  
1104 Park Ave. SW  
Albuquerque, NM 87102

Re: K—Ram Oakland Facility, 5301 Oakland NE, Traffic Circulation Layout,  
Architect's Stamp dated: XX-XX-05 (C18-D37B)

Dear Mr. Bennett,

Based upon the information provided in your submittal received 12-28-05,  
the above referenced plan cannot be approved for Building Permit until the  
following comments are addressed:

1. Provide a registered architect stamp, signed.
2. Include the parking calculations.
3. Provide Solid Waste approval.
4. Stripe the key ways.
5. Provide standard drawing numbers for the sidewalks.
6. Identify the material used for all stripping.
7. All information will need to be resubmitted on one plan.

P.O. Box 1293

Albuquerque

New Mexico 87103

If you have any questions, you can contact me at 924-3991.

Sincerely,

Wilfred A. Gallegos, P.E.  
Traffic Engineer, Planning Dept.  
Development and Building Services

C: file

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

PROJECT TITLE: OAKWOOD WAREHOUSE / AKA K-Ram Oakland Facility ZONE MAP/DRG. FILE #: C-18 / D37B  
DRB #: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: \_\_\_\_\_  
CITY ADDRESS: 5301 OAKLAND NE

ENGINEERING FIRM: BINGHAM ENGINEERING  
ADDRESS: 6334 BELCHER AVE NE  
CITY, STATE: ALBUQUERQUE, NM

CONTACT: MONTE BINGHAM  
PHONE: 797-9699  
ZIP CODE: 87109

OWNER: KRAM  
ADDRESS: 3738 ARNO NE  
CITY, STATE: ALBUQUERQUE, NM

CONTACT: GILBERT LOVATO  
PHONE: 259-8094  
ZIP CODE: 87107

\* ARCHITECT: RICK BENNETT ARCHITECTS, INC.  
ADDRESS: 1104 PARK AVE. SW  
CITY, STATE: ALBUQUERQUE, NM

CONTACT: RICK BENNETT  
PHONE: 292-1859  
ZIP CODE: 87102

SURVEYOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

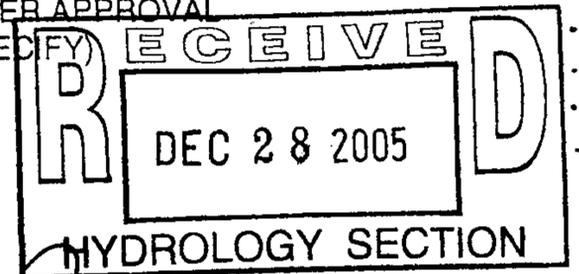
CONTRACTOR: K-RAM UC# 84110  
ADDRESS: 3738 ARNO NE  
CITY, STATE: ALBUQUERQUE, NM

CONTACT: GILBERT LOVATO  
PHONE: 259-8094  
ZIP CODE: 87107

- CHECK TYPE OF SUBMITTAL:
- DRAINAGE REPORT
  - DRAINAGE PLAN
  - CONCEPTUAL GRADING & DRAINAGE PLAN
  - GRADING PLAN
  - EROSION CONTROL PLAN
  - ENGINEER'S CERTIFICATION (HYDROLOGY)
  - CLOMR/LOMR
  - TRAFFIC CIRCULATION LAYOUT (TCL)
  - ENGINEERS CERTIFICATION (TCL)
  - ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
  - OTHER

- CHECK TYPE OF APPROVAL SOUGHT:
- SIA / FINANCIAL GUARANTEE RELEASE
  - PRELIMINARY PLAT APPROVAL
  - S. DEV. PLAN FOR SUB'D. APPROVAL
  - S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
  - SECTOR PLAN APPROVAL
  - FINAL PLAT APPROVAL
  - FOUNDATION PERMIT APPROVAL
  - BUILDING PERMIT APPROVAL
  - CERTIFICATE OF OCCUPANCY (PERM.)
  - CERTIFICATE OF OCCUPANCY (TEMP.)
  - GRADING PERMIT APPROVAL
  - PAVING PERMIT APPROVAL
  - WORK ORDER APPROVAL
  - OTHER (SPECIFY)

Result



WAS A PRE-DESIGN CONFERENCE ATTENDED:  
 YES  
 NO  
 COPY PROVIDED

DATE SUBMITTED: 12/28/05 BY: [Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

Engineers / Architect Stamp SIGNED

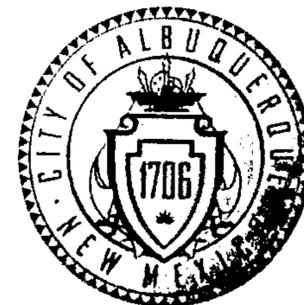
PARKING CALCULATIONS

KEYWAYS? STRIPE

SOLIDWASTE APPROVAL

DRWTH ON SDWK

# CITY OF ALBUQUERQUE



October 10, 2011

Timothy K. Hightower, P.E.  
**Thames Engineering & Design**  
10212 Arroyo Bend NW  
Albuquerque, NM 87114

**Re: Oakland Office/ Warehouse, 5301 & 5311 Oakland Ave NE,  
Request for Certificate of Occupancy - Not Approved  
Engineer's Stamp dated 11/30/05 (C-18/D037B)  
Certification dated 10-01-10**

Dear Mr. Hightower,

Based upon the information provided in the Certification received 10-07-11 and a site visit on 10-14-11, the above referenced Certification cannot be approved for Certificate of Occupancy.

PO Box 1293

The following comments are to be addressed before resubmitting for any Certificate of Occupancy:

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

- It appears the spillway pipe is not constructed per detail provided; the 12" CMP pipe was replaced by a 4"-6" PVC pipe. Will the new smaller pipe be adequate? Please provide the calculations for the smaller pipe or replace with the 12". How does this outfall pipe connect to the sidewalk culvert? A detail would be appreciated.
- The sidewalk culvert, in the right-of-way, will need inspection by Martin Pacheco 235-8016. The plate which covers the trench will need to extend to the face of curb per CoA Standard Specification Drawing Number 2236.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Curtis Cherne, P.E.  
Principal Engineer, Planning Dept.  
Development and Building Services

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

C-18/2037B

PROJECT TITLE: OAKLAND OFFICE/ WAREHOUSE ZONE MAP: C-18
DRB#: EPC#: WORK ORDER#:

LEGAL DESCRIPTION: LOT 30, TRACT A, UNIT B, NORTH ADD ACRES
CITY ADDRESS: 5301 OAKLAND AVE. NE / 5311

ENGINEERING FIRM: THAMES ENGINEERING & DESIGN CONTACT: TIM HIGHTOWER
ADDRESS: 10212 ARROYO BEND NW PHONE: 944-6216
CITY, STATE: ALB. NM ZIP CODE: 87114

OWNER: CONTACT:
ADDRESS: PHONE:
CITY, STATE: ZIP CODE:

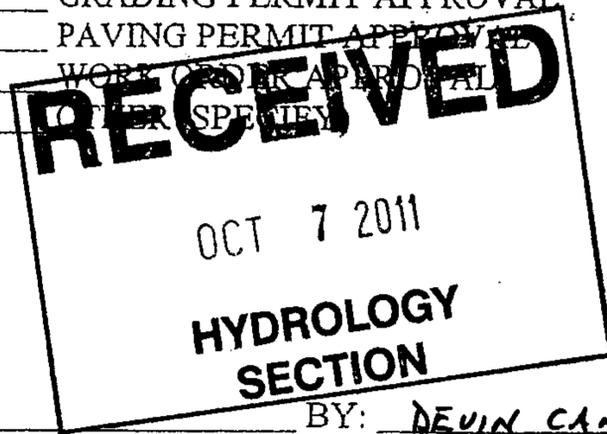
ARCHITECT: D C ARCHITECT STUDIO CONTACT: DEVIN CANNADY
ADDRESS: 300 ADAMS ST SE PHONE: 299-1111
CITY, STATE: ALB. NM ZIP CODE: 87108

SURVEYOR: CONTACT:
ADDRESS: PHONE:
CITY, STATE: ZIP CODE:

CONTRACTOR: CONTACT:
ADDRESS: PHONE:
CITY, STATE: ZIP CODE:

- TYPE OF SUBMITTAL:
DRAINAGE REPORT
DRAINAGE PLAN 1st SUBMITTAL
DRAINAGE PLAN RESUBMITTAL
CONCEPTUAL G & D PLAN
GRADING PLAN
EROSION CONTROL PLAN
[X] ENGINEER'S CERT (HYDROLOGY)
CLOMR/LOMR
TRAFFIC CIRCULATION LAYOUT
ENGINEER'S CERT (TCL)
ENGINEER'S CERT (DRB SITE PLAN)
OTHER (SPECIFY)

- CHECK TYPE OF APPROVAL SOUGHT:
SIA/FINANCIAL GUARANTEE RELEASE
PRELIMINARY PLAT APPROVAL
S. DEV. PLAN FOR SUB'D APPROVAL
S. DEV. FOR BLDG. PERMIT APPROVAL
SECTOR PLAN APPROVAL
FINAL PLAT APPROVAL
FOUNDATION PERMIT APPROVAL
[X] BUILDING PERMIT APPROVAL
[X] CERTIFICATE OF OCCUPANCY (PERM)
CERTIFICATE OF OCCUPANCY (TEMP)
GRADING PERMIT APPROVAL
PAVING PERMIT APPROVAL
WORK ORDER APPROVAL
OTHER SPECIFY



WAS A PRE-DESIGN CONFERENCE ATTENDED:
YES
NO
COPY PROVIDED

DATE SUBMITTED: 11-07-11 BY: DEVIN CANNADY

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

# CITY OF ALBUQUERQUE



September 7, 2011

Devin B. Cannady, R.A.  
**Devin Cannady Architect Studio**  
3332 Adams St. SE  
Albuquerque, NM 87193

**Re: Oakland Office/ Warehouse, 5301 Oakland Ave NE,  
Traffic Circulation Layout  
Architect's Stamp dated 08-24-11 (C-18/D037B)**

Dear Mr. Cannady,

Based upon the information provided in your submittal received 08-24-11, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

1. Please provide the parking calculations of each lot. List the number of parking spaces required by the zoning code as well as the proposed number of parking spaces.
2. Provide a copy of the recorded plat.
3. A six-foot wide, ADA accessible pedestrian pathway from the roadway to the building is required for each lot.
4. Provide the recording information for the cross lot access easement. Clearly define the limits of the cross access easement on the plan.
5. Define width of the existing sidewalk.
6. Please ensure all ramps are ADA compliant.

If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.  
Traffic Engineer, Planning Dept.  
Development and Building Services

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

C-18/D037B

PROJECT TITLE: OAKLAND OFFICE / WAREHOUSE ZONE MAP: C18
DRB#: EPC#: WORK ORDER#:

LEGAL DESCRIPTION: LT. 30A BLK 10 PART OF LOTS 30-A+30-D BLK 10 TRACT A UNIT B
CITY ADDRESS: 5301 OAKLAND AVE NE

ENGINEERING FIRM: CONTACT:
ADDRESS: PHONE:
CITY, STATE: ZIP CODE:

OWNER: CONTACT:
ADDRESS: PHONE:
CITY, STATE: ZIP CODE:

ARCHITECT: DC ARCHITECT STUDIO CONTACT: DEVIN CANNADY
ADDRESS: 300 ADAMS ST. SE PHONE: 299-1111
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87108

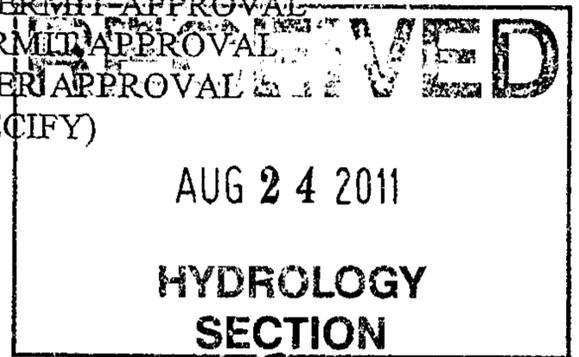
SURVEYOR: CONTACT:
ADDRESS: PHONE:
CITY, STATE: ZIP CODE:

CONTRACTOR: CONTACT:
ADDRESS: PHONE:
CITY, STATE: ZIP CODE:

- TYPE OF SUBMITTAL:
DRAINAGE REPORT
DRAINAGE PLAN 1st SUBMITTAL
DRAINAGE PLAN RESUBMITTAL
CONCEPTUAL G & D PLAN
GRADING PLAN
EROSION CONTROL PLAN
ENGINEER'S CERT (HYDROLOGY)
CLOMR/LOMR
TRAFFIC CIRCULATION LAYOUT
ENGINEER'S CERT (TCL)
ENGINEER'S CERT (DRB SITE PLAN)
OTHER (SPECIFY)

- CHECK TYPE OF APPROVAL SOUGHT:
SIA/FINANCIAL GUARANTEE RELEASE
PRELIMINARY PLAT APPROVAL
S. DEV. PLAN FOR SUB'D APPROVAL
S. DEV. FOR BLDG. PERMIT APPROVAL
SECTOR PLAN APPROVAL
FINAL PLAT APPROVAL
FOUNDATION PERMIT APPROVAL
BUILDING PERMIT APPROVAL
CERTIFICATE OF OCCUPANCY (PERM)
CERTIFICATE OF OCCUPANCY (TEMP)
GRADING PERMIT APPROVAL
PAVING PERMIT APPROVAL
WORK ORDER APPROVAL
OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:
YES
NO
COPY PROVIDED



DATE SUBMITTED: 8.24.11 BY: John Sedillo

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

- PED. CONNECTION 6'
- X-LOT ACCESS AGREEMENT.
- PARKING REQ. PER LOT.
- PROVIDE COPY OF PLAT.
- Will this TCL ~~BE~~ BE FOR BOTH BUILDINGS.

# CITY OF ALBUQUERQUE



January 9, 2012

Timothy K. Hightower, P.E.  
**Thames Engineering & Design**  
10212 Arroyo Bend NW  
Albuquerque, NM 87114

[timh@streamlineswimstore.com](mailto:timh@streamlineswimstore.com)

**Re: K-Ram Oakland Facilities, 5301 Oakland Ave. NE,  
Request for Permanent C.O. - Approved  
Engineer's Stamp dated: 11-30-2005, (C-18/D037B)  
Certification dated: 12-01-11**

Dear Mr. Hightower,

Based upon the information provided in the Certification received 01-09-12, the above referenced Certification is approved for a release of a Permanent Certificate of Occupancy by Hydrology.

Hydrology is asking for an electronic copy, in .pdf format, of this certification for our records. This certification can be e-mailed to me at: [tsims@cabq.gov](mailto:tsims@cabq.gov).

If you have any questions, you can contact me at 924-3982.

Sincerely,

Timothy E. Sims,  
Plan Checker—Hydrology Section  
Development and Building Services

C: CO Clerk—Katrina Sigala  
File

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**  
(REV 12/2005)

PROJECT TITLE: GRADING & DRAINAGE CERTIFICATION ZONE MAP: C-18/0037B  
 DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: LOT 30, BLOCK 10, TRACT A, UNIT B, NAA  
 CITY ADDRESS: 5301 GAILLARD AVE NE

ENGINEERING FIRM: THARLES ENGR. CONTACT: TIM HIGHTOWER  
 ADDRESS: 10212 ARIZONA BLVD NW PHONE: 944-6216  
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87114  
TIMHESTREAMLINESWIMSTORE.COM

OWNER: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

ARCHITECT: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

- TYPE OF SUBMITTAL:
- \_\_\_\_\_ DRAINAGE REPORT
  - \_\_\_\_\_ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL
  - \_\_\_\_\_ DRAINAGE PLAN RESUBMITTAL
  - \_\_\_\_\_ CONCEPTUAL G & D PLAN
  - \_\_\_\_\_ GRADING PLAN
  - \_\_\_\_\_ EROSION CONTROL PLAN
  - ENGINEER'S CERT (HYDROLOGY)
  - \_\_\_\_\_ CLOMR/LOMR
  - \_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT
  - \_\_\_\_\_ ENGINEER'S CERT (TCL)
  - \_\_\_\_\_ ENGINEER'S CERT (DRB SITE PLAN)
  - \_\_\_\_\_ OTHER (SPECIFY)

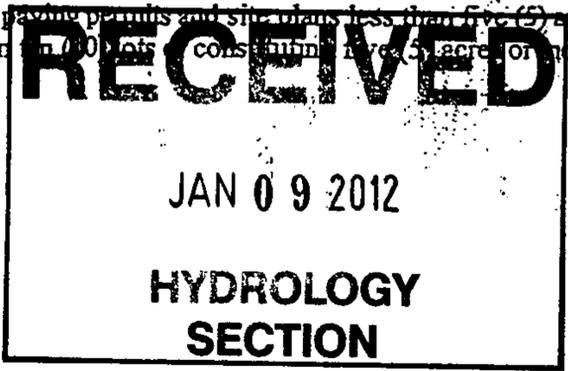
- CHECK TYPE OF APPROVAL SOUGHT:
- \_\_\_\_\_ SIA/FINANCIAL GUARANTEE RELEASE
  - \_\_\_\_\_ PRELIMINARY PLAT APPROVAL
  - \_\_\_\_\_ S. DEV. PLAN FOR SUB'D APPROVAL
  - \_\_\_\_\_ S. DEV. FOR BLDG. PERMIT APPROVAL
  - \_\_\_\_\_ SECTOR PLAN APPROVAL
  - \_\_\_\_\_ FINAL PLAT APPROVAL
  - \_\_\_\_\_ FOUNDATION PERMIT APPROVAL
  - \_\_\_\_\_ BUILDING PERMIT APPROVAL
  - CERTIFICATE OF OCCUPANCY (PERM)
  - \_\_\_\_\_ CERTIFICATE OF OCCUPANCY (TEMP)
  - \_\_\_\_\_ GRADING PERMIT APPROVAL
  - \_\_\_\_\_ PAVING PERMIT APPROVAL
  - \_\_\_\_\_ WORK ORDER APPROVAL
  - \_\_\_\_\_ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:  
 \_\_\_\_\_ YES  
 \_\_\_\_\_ NO  
 \_\_\_\_\_ COPY PROVIDED

DATE SUBMITTED: ~~12/11/11~~ 1/9/12 BY: Tim Hightower

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivision containing more than 100 lots, consuming five (5) acres or more.



# CITY OF ALBUQUERQUE



December 23, 2011

Devin B. Cannady, R.A.  
Devin Cannady Architect Studio  
3332 Adams St. SE  
Albuquerque, NM 87193

**Re: Oakland Office/Warehouse, 5301 Oakland Ave NE,  
Traffic Circulation Layout  
Architect's Stamp dated 11-16-11 (C-18/D037B)**

Dear Mr. Cannady,

Based upon the information provided in your submittal received 12-12-11, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Remove all previous lots lines and easement locations that were modified with the replat recorded 12/09/2011. Please note that the 50-foot wide access easement was vacated with the platting action.
2. The existing reciprocal access and parking easement must be noted on the plan. Provide recording information (Recorded 12/09/2011, Bk 2011C, Pg 0132).
3. Is the application meant to cover lots 30A1 and 30B1? Previous building permit sets have been for an individual lot only.

The City of Albuquerque Zoning Code (General Regulations, Section 14-16-3-1, Part 3(E)(b)) requires that shared parking spaces meet the following criteria:

- Those wishing to use shared parking as a means of satisfying off-street parking requirements must submit shared parking calculations to the Planning Director that clearly demonstrate the feasibility of shared parking. The maximum reduction in the number of parking spaces required for all uses sharing the parking area shall be 20 percent.
- The sharing of the required parking shall be guaranteed by a legally binding Shared Parking Agreement duly executed and acknowledged among all owners of record. Such agreement shall address the issue of how parking will be shared if the parties change their operating hours and peak business periods. Such written agreement shall be recorded by the applicant with the Bernalillo County Recorder's Office prior to the issuance of a building permit or certificate of occupancy, and a copy filed in the project review file.
- The total maximum reduction for transit and shared parking shall not exceed 25%.

Please clarify how the site meets these criteria. Provide a copy of the shared parking agreement, as approved by the Planning Director.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

*Plat has  
parking  
easement  
OK  
per 12/30/11  
RD 3:40pm*

*on plan*

# CITY OF ALBUQUERQUE



*Checked  
OK*

- 5. Please check the parking calculations provided with Zoning.
- 6. The proposed sign at the entrance may interfere with the sight distance of the intersection. Please provide a sight distance exhibit.

If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.  
Traffic Engineer, Planning Dept.  
Development and Building Services

File

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

C-18/0037B

PROJECT TITLE: OAKLAND OFFICE / WAREHOUSE ZONE MAP:
DRB#: EPC#: WORK ORDER#:

LEGAL DESCRIPTION: LT 30A BLK 10 PLAT OF LOTS 30-A+30-B BLK 10
CITY ADDRESS: 5301 OAKLAND AVE, NE

ENGINEERING FIRM: CONTACT:
ADDRESS: PHONE:
CITY, STATE: ZIP CODE:

OWNER: CONTACT:
ADDRESS: PHONE:
CITY, STATE: ZIP CODE:

ARCHITECT: DEVIN CANNADY ARCHITECT STUDIO CONTACT: DEVIN CANNADY
ADDRESS: 300 ADAMS STREET, SE PHONE: 299-1111
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87108

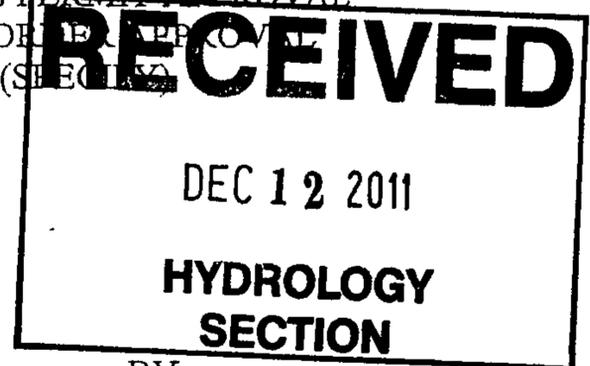
SURVEYOR: CONTACT:
ADDRESS: PHONE:
CITY, STATE: ZIP CODE:

CONTRACTOR: CONTACT:
ADDRESS: PHONE:
CITY, STATE: ZIP CODE:

- TYPE OF SUBMITTAL:
DRAINAGE REPORT
DRAINAGE PLAN 1st SUBMITTAL
DRAINAGE PLAN RESUBMITTAL
CONCEPTUAL G & D PLAN
GRADING PLAN
EROSION CONTROL PLAN
ENGINEER'S CERT (HYDROLOGY)
CLOMR/LOMR
TRAFFIC CIRCULATION LAYOUT
ENGINEER'S CERT (TCL)
ENGINEER'S CERT (DRB SITE PLAN)
OTHER (SPECIFY)

- CHECK TYPE OF APPROVAL SOUGHT:
SIA/FINANCIAL GUARANTEE RELEASE
PRELIMINARY PLAT APPROVAL
S. DEV. PLAN FOR SUB'D APPROVAL
S. DEV. FOR BLDG. PERMIT APPROVAL
SECTOR PLAN APPROVAL
FINAL PLAT APPROVAL
FOUNDATION PERMIT APPROVAL
BUILDING PERMIT APPROVAL
CERTIFICATE OF OCCUPANCY (PERM)
CERTIFICATE OF OCCUPANCY (TEMP)
GRADING PERMIT APPROVAL
PAVING PERMIT APPROVAL
WORK ORDER APPROVAL
OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:
YES
NO
COPY PROVIDED



DATE SUBMITTED: BY:

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3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

C-18/D037B

**Metro, Kristal D.**

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**From:** Turner, Jonathan C.  
**Sent:** Wednesday, September 14, 2011 4:59 PM  
**To:** Metro, Kristal D.  
**Subject:** Re: 5301 Oakland NE

Hi Kristal,

The above referenced property has been approved by Zoning in spite of the lack of a pedestrian connection on the Southwestern side of the parking lot. Contact me if you have any questions.

Thanks,

Jonathan

Jonathan Turner  
Senior Zoning Enforcement Inspector  
600 2nd St NW Ground Flr  
Albuquerque, NM 87102  
(505)924-3457  
(505)924-3967 fax