

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

March 17, 2022

John Schiffer  
Jeebs & zuzu  
11030 Menaul, NE Suite C  
Albuquerque, NM 87112

**Re: Eagle Rock Commons, Building E**  
**5501 Eagle Rock Ave. NE**  
**30-Day Temporary Certificate of Occupancy**  
**Transportation Development Final Inspection**  
Engineer's Stamp dated 9-23-09 (C18-D037H)  
Certification dated 3-11-22

Dear Mr. John,

Based upon the information provided in your submittal received 03-16-22, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- Provide ADA parking signs.
- The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please call out detail and location of signs.
- The ADA access aisles shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
- Motorcycle parking spaces shall be designated by its own conspicuously posted upright sign, either free-standing or wall mounted per the zoning code. And provide "MC" pavement marking for each space.

Once these corrections are complete, email pictures to [malnajira@cabq.gov](mailto:malnajira@cabq.gov) for release of Final CO.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

# CITY OF ALBUQUERQUE

*Planning Department*  
Brennon Williams, Director



*Mayor Timothy M. Keller*

Marwa Al-najjar  
Associate Engineer, Planning Dept.  
Development Review Services

ma via: email  
C: CO Clerk, File

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Building E

Project Title: Eagle Rock Commons Building Permit #: \_\_\_\_\_ Hydrology File #: \_\_\_\_\_

DRB#: 07 DRB 70351 EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: LOT 27 A; BLOCK 9; UNIT B; TRACT A NAA

City Address: 5501 EAGLE ROCK AVE NE; ALBUQUERQUE, NM

Applicant: JOHN SCHIFFER Contact: \_\_\_\_\_

Address: 5924 ANAHEIM AVE NE; ALBUQUERQUE, NM 87113

Phone#: 505 507-1921 Fax#: \_\_\_\_\_ E-mail: Masterhomecrafter.NM@gmail.com

Other Contact: John Schiffer Contact: \_\_\_\_\_

Address: Masterhomecrafter.NM@gmail.com

Phone#: 505-507-1921 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

TYPE OF DEVELOPMENT: \_\_\_\_\_ PLAT (# of lots) \_\_\_\_\_ RESIDENCE ☒ DRB SITE \_\_\_\_\_ ADMIN SITE \_\_\_\_\_

IS THIS A RESUBMITTAL? ☒ Yes \_\_\_\_\_ No \_\_\_\_\_

DEPARTMENT ☒ TRANSPORTATION \_\_\_\_\_ HYDROLOGY/DRAINAGE \_\_\_\_\_

Check all that Apply:

### TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) \_\_\_\_\_
- ☐ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) \_\_\_\_\_

DATE SUBMITTED: 3/16/2022 By: JOHN SCHIFFER

505-507-1921

COA STAFF:

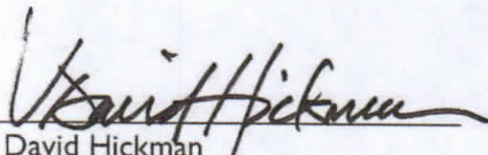
ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_





I, J. DAVID HICKMAN, A REGISTERED ARCHITECT IN THE STATE OF NEW MEXICO, OF THE FIRM JEEBS & ZUZU, LLC., HEREBY CERTIFY THAT THIS PROJECT, EAGLE ROCK COMMONS, IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE AMENDED DRB, AA OR TCL APPROVED PLAN DATED 11/20/07. THE RECORD INFORMATION EDITED ON THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY PHIL CLARK, A REGISTERED PROFESSIONAL ENGINEER WITH THE STATE OF NEW MEXICO. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON MARCH 10, 2022 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATION OF OCCUPANCY.

  
J. David Hickman  
Architect

3/11/22  
Date:





March 11, 2022

Jeanne Wolfenbarger, PE  
Transportation Development  
Planning Department  
City of Albuquerque  
P.O. Box 1293  
Albuquerque, NM 87103

RE: Request for Certificate of Shell Occupancy – Building E  
Application Number: 07 DRB 70351  
Eagle Rock Commons [1006922]  
Eagle Rock, NE, Albuquerque  
DRB Chairman signature date 11/20/07  
Plan dated 10/22/07  
Administrative Amendment

Dear Ms. Wolfenbarger,

I am pleased to report to you that the work required by the approved DRB Site Development Plan, and the approved administrative amendment, has been completed for the above referenced project.

On March 10, 2021, I reviewed the project site to again verify that the work completed is in accordance with the DRB Site Development Plan as noted on the recent Administrative Amendment. I have found the work completed to be in full compliance with the DRB Site Development Plan as reflected on the included amended site plan.

I do hereby certify that the project meets and conforms to these requirements and the design provided in the approved DRB Site Development Plan. I am including with this package the previous letter of approval recommending Certificate of Occupancy for Building A dated October 09, 2009, the approved DRB Site Plan, and a copy of the Drainage Information Sheet.

We appreciate your assistance in the completion of this project, and formally request that a Shell Certificate of Occupancy be issued for Building E at this time.

Thank you,

  
J. David Hickman,  
Architect



# PARKING SPACES:

NET LEASABLE BUILDING AREA: 26,658 SF  
 REQUIREMENT: 1 OFF STREET PARKING SPACE PER 200 SF NET  
 26,658 / 200 = 134 SPACES  
 SPACES PROVIDED = 131  
 HC SPACES REQUIRED = 8  
 HC SPACES PROVIDED = 8  
 MC SPACES REQUIRED = 4  
 MC SPACES PROVIDED = 4  
 BICYCLE PARKING REQUIRED = 1 SPACE PER 20 CAR SPACES  
 131 / 20 = 7 SPACES  
 PROVIDED = (4) 6'-0" RACKS (SPACES) = 24 SPACES

# BUILDING AREAS:

ACTUAL GROSS PROPOSED BUILDING AREA: 28,220 SF  
 NON-LEASABLE AREA =  
 834 SF (PERIMETER WALL)  
 128 SF (RESTROOMS)  
 1562 SF  
 NET LEASABLE BUILDING AREA: 26,658 SF

# KEYED NOTES

- POWER POLE
- PAD MOUNTED ELECTRICAL TRANSFORMER
- WATER METER / SERVICE BOX - MINIMUM 1" WATER SERVICE LINE
- TELEPHONE PEDESTAL
- ELECTRICAL SERVICE PANEL
- EXISTING 6' HIGH CHAIN LINK FENCE
- WALL PAK SITE LIGHT WITH DIRECTIONAL SHROUD
- BICYCLE PARKING
- MOTORCYCLE PARKING
- DESIGNATED ACCESSIBLE ROUTE
- REFUSE ENCLOSURE - SEE A/3.0 FOR ELEVATIONS
- EXISTING SIDEWALK
- EXISTING FIRE HYDRANT
- PROPERTY MONUMENT SIGN - SEE A/3.0 FOR ELEVATIONS/COLORS/AND LETTERING
- EXISTING LANDSCAPE ZONE
- EXISTING CURB EDGE
- PAINTED ACCESS AISLE W/ STRIPING
- UTVB PER ATTACHED DRAWING
- UNDERECTIONAL ACCESSIBLE RAMP PER STANDARD DRAWING 2440
- BUILD PRIVATE ENTRANCE PER STANDARD DRAWING 2430
- ACCESSIBLE RAMP PER ADA STANDARDS - CURB RAMP: MAX SLOPE 1:12. MAX CROSS SLOPE 1:48. CURB RAMP SHALL BE CONSTRUCTED TO CONFIRM WITH ANSI A117.1 1998 AND IBC CHAPTER 11 REQUIREMENTS
- PARKING BUMPER TYPICAL
- PEDESTRIAN PATH

The Subject Property is Located near an Existing/Former Landfill. Due to the Subject Property being near an Existing/Former Landfill, certain Precautionary Measures May Need to be Taken To Ensure the Health & Safety of the Public. Recommendations Made by a Professional Engineer with Landfills and Landfill Gas Issues, (As required by "Interim Guidelines for Development Within City Designated Landfill Buffer Zones") Shall be Constructed Prior to 180'-0" Development of the Site.

PROJECT NUMBER: 1006922

APPLICATION NUMBER: 07 DRB-70351

# DRB SITE DEVELOPMENT PLAN APPROVAL:

11/14/07  
 Traffic Engineering, Transportation Division date

11-14-07  
 ABCWA date

11/14/07  
 Christine Sandoval  
 Parks and Recreation Department date

Is an Infrastructure List Required ( ) Yes ( X ) No. If yes, then a set of approved DRC plans with a work order is required for any construction within the Public Right-of-Way

11/14/07  
 Bradley S. Bingham  
 City Engineer date

11/14/07  
 Rhonda Mether  
 Environmental Health Department (conditional) date

11/14/07  
 Michael Holton  
 Solid Waste Management date

11/20/07  
 Andrew Garcia  
 DRB Chairperson, Planning Department date



CORE, LTD

5924 ANAHEIM AVE. NE  
 SUITE A  
 ALBUQUERQUE, NM 87113

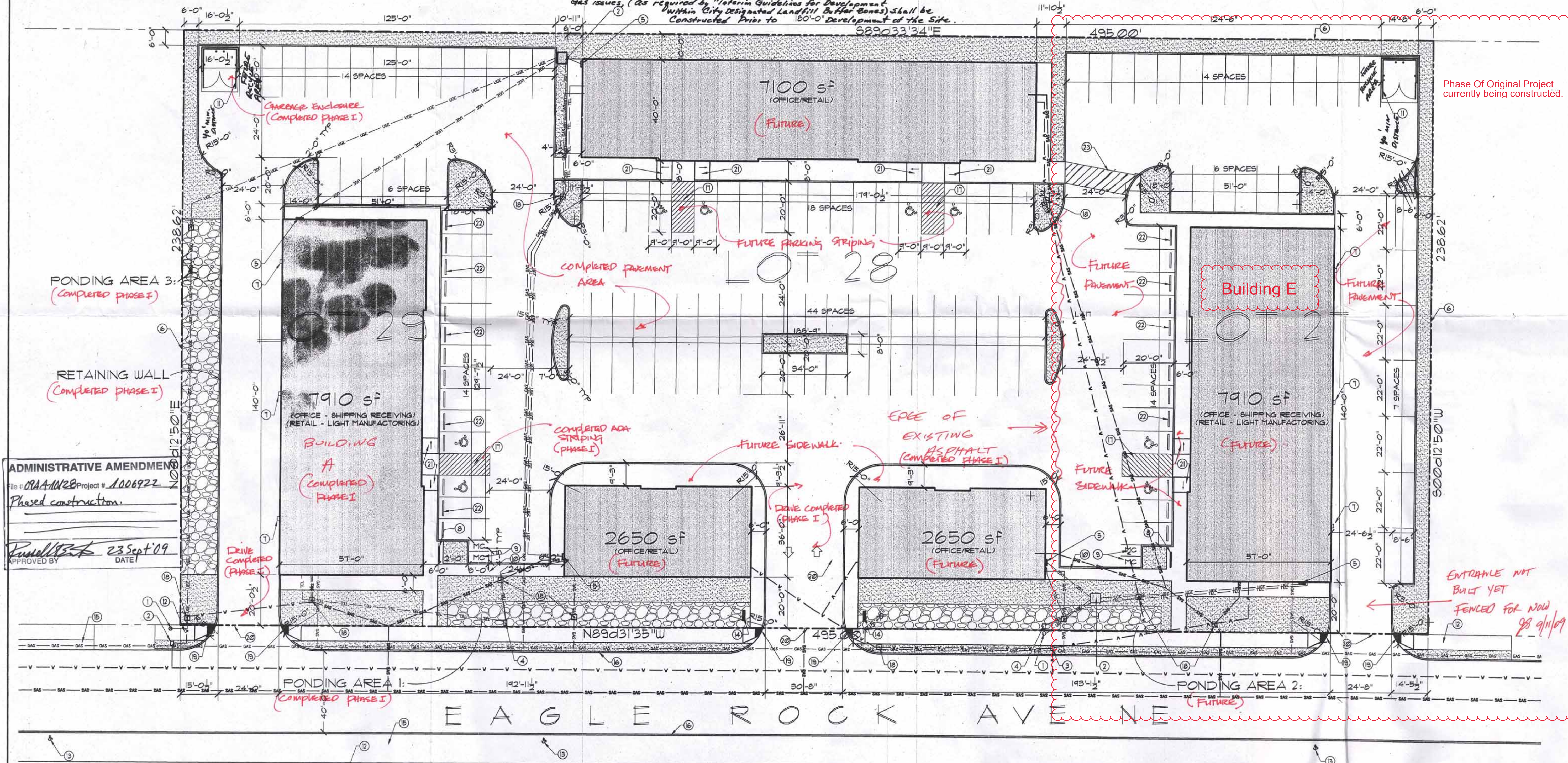
P: 505-796-0894  
 F: 505-796-0896

Job no:  
 acad file:  
 drawn by: CORE, LTD  
 checked: JDH/EB  
 date: 10/22/07

revisions:

THE COMMONS AT EAGLE ROCK  
 EAGLE ROCK NE,  
 ALBUQUERQUE, NM 87113

sheet no:  
 S-1.0



# ADMINISTRATIVE AMENDMENTS

File: 07A-1028 Project # 1006922  
 Phased construction.

APPROVED BY: [Signature] 23 Sep 09  
 DATE

# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

SCALE: 1" = 20'-0"



# GENERAL NOTES

ALL STRUCTURES ARE PROPOSED NEW. NO STRUCTURES EXIST ON THE PROPERTY.

ALL SITE LIGHTING TO BE MOUNTED ON BUILDINGS. LIGHTS NOT INDICATED AS WALL SURFACE MOUNTED SHALL BE CEILING MOUNTED IN BUILDING OVERHANGS OR COVERED WALKS.

SITE LIGHTING SHALL CONFORM TO NIGHT SKY ORDINANCE.

North Interstate 25 Sector Development Plan...

Zoning "E. Industrial Uses"  
 "4. The SU-2/M-1 zone allowing uses permissive in the M-1 zone as regulated by the M-1 zone with the exception that all new industrial development zoned SU-2/M-1 shall require a landscape plan incorporating the design standards contained in Section VI."