

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

March 14, 2022

Phillip W. Clark, PE
Clark Consulting Engineers
19 Ryan Rd
Edgewood, NM 87015

RE: 5501 Eagle Rock Ave. NE - Bldg. E
Permanent C.O. – Approved
Engineer's Certification Date: 3/8/22
Engineer's Stamp Date: 12/26/07
Hydrology File: C18D037H

Dear Mr. Clark:

PO Box 1293

Based on the certification received 3/9/22 and a site visit on 3/18/22, this certification is approved for Permanent Certificate of Occupancy by Hydrology.

Albuquerque

If you have any questions, please contact me at 924-3986 or earmijo@cabq.gov.

NM 87103

Sincerely,

www.cabq.gov

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

BUILDING 'E'

Project Title: THE COMMONS @ Eagle Rock Building Permit #: BP2021-39052 Hydrology File #: C-18/D

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: 5501 EAGLE ROCK NE
City Address: _____

Applicant: CLARK CONSULTING ENGINEERS Contact: PHIL

Address: _____

Phone#: 281-2444 ~~xxxx~~ cell / txt 264.6042 E-mail: CCEalbq@aol.com

Other Contact: OWNER John Schiffer Contact: 507-1921

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF DEVELOPMENT: _____ PLAT _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

Check all that Apply:

DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE
_____ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:

☒ ENGINEER/ ~~ARCHITECT~~ CERTIFICATION
_____ PAD CERTIFICATION
_____ CONCEPTUAL G & D PLAN
_____ GRADING PLAN
_____ DRAINAGE REPORT
_____ DRAINAGE MASTER PLAN
_____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
_____ ELEVATION CERTIFICATE
_____ CLOMR/LOMR
_____ TRAFFIC CIRCULATION LAYOUT (TCL)
_____ TRAFFIC IMPACT STUDY (TIS)
_____ STREET LIGHT LAYOUT
_____ OTHER (SPECIFY) _____
_____ PRE-DESIGN MEETING?

IS THIS A RESUBMITTAL?: _____ Yes ☒ No

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

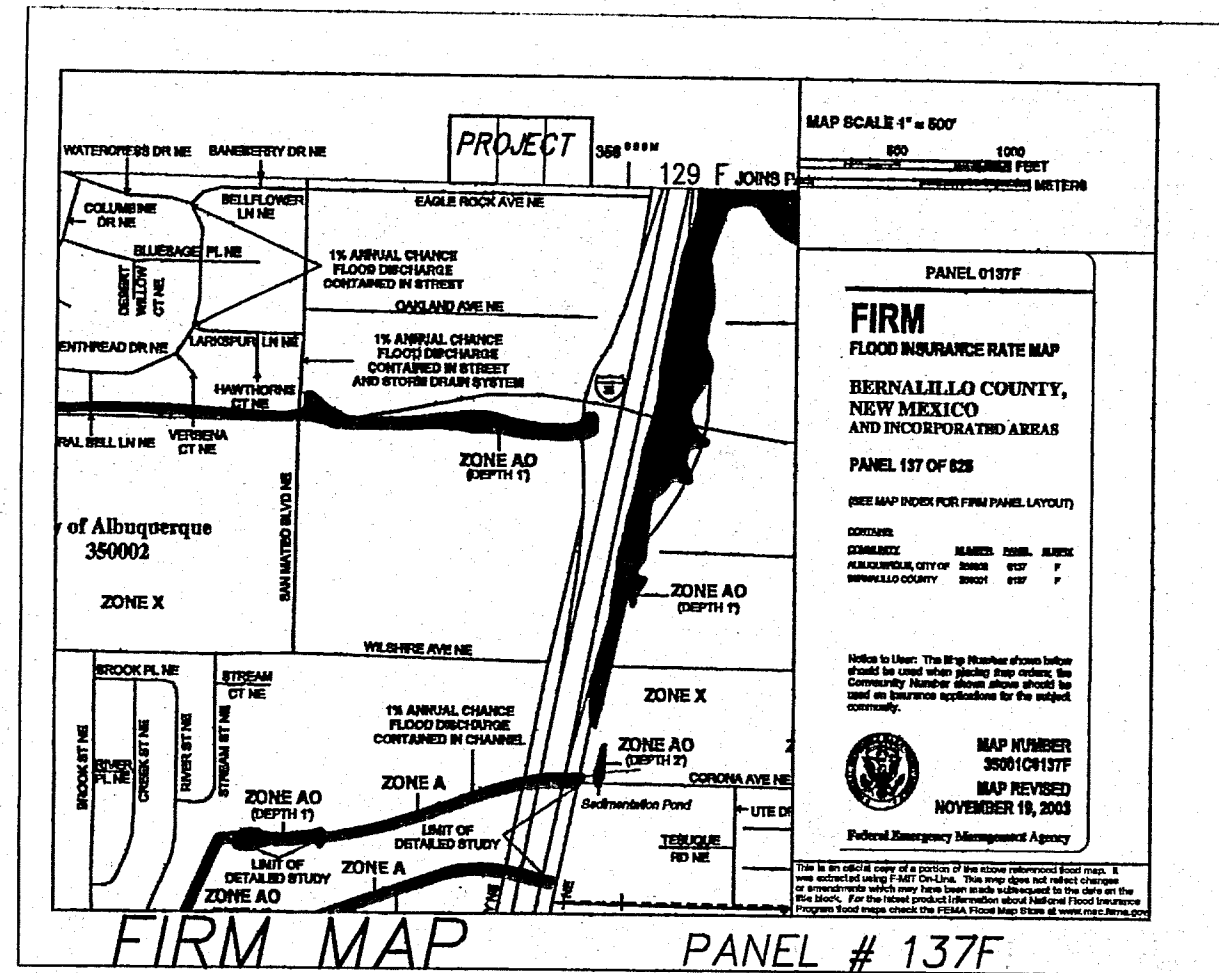
☒ BUILDING PERMIT APPROVAL
_____ CERTIFICATE OF OCCUPANCY
_____ PRELIMINARY PLAT APPROVAL
_____ SITE PLAN FOR SUB'D APPROVAL
_____ SITE PLAN FOR BLDG. PERMIT APPROVAL
_____ FINAL PLAT APPROVAL
_____ SIA/ RELEASE OF FINANCIAL GUARANTEE
_____ FOUNDATION PERMIT APPROVAL
_____ GRADING PERMIT APPROVAL
_____ SO-19 APPROVAL
_____ PAVING PERMIT APPROVAL
_____ GRADING/ PAD CERTIFICATION
_____ WORK ORDER APPROVAL
_____ CLOMR/LOMR
_____ FLOODPLAIN DEVELOPMENT PERMIT
_____ OTHER (SPECIFY) _____

DATE SUBMITTED: 5/14/20 3/9/22 By: OWNER - JOHN SCHIFFER / Phil

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



GRADING & DRAINAGE PLAN

THE PROPOSED COMMERCIAL RETAIL PROJECT IS LOCATED IN THE NORTH ALBU. ACRES AREA OF ALBUQUERQUE ON EAGLE ROCK AVENUE IMMEDIATELY WEST OF I-25. THE GRADING AND DRAINAGE SCHEME HEREON IS IN COMPLIANCE WITH THE BERNALILLO COUNTY FLOOD HAZARD ORDINANCE, NO.88-46, AND THE CITY STORM DRAINAGE ORDINANCE. THE PLAN IS REQUIRED IN ORDER TO FACILITATE THE OWNER'S REQUEST FOR SITE DEVELOPMENT PLAN & BUILDING PERMIT. THE PLAN SHOWS:

1. EXISTING CONTOURS, AND SPOT ELEVATIONS AND EXISTING DRAINAGE PATTERNS AND IMPROVEMENTS.
2. PROPOSED IMPROVEMENTS: 28220 SF OF OFFICE BUILDING, ASPHALT DRIVE/PARKING, CONCRETE FLAT WORK, NEW GRADE ELEVATIONS, REFUSE LOCATIONS, AND LANDSCAPING.
3. CONTINUITY BETWEEN EXISTING AND PROPOSED ELEVATIONS.
4. QUANTIFICATION OF DEVELOPED FLOWS GENERATED BY THE IMPROVEMENTS WHICH EXISTING FLOWS.

PRESENTLY, THE SITE IS A DIRT-VEGETATED SURFACE. THE SITE IS BOUNDED BY DEVELOPED COMMERCIAL/INDUSTRY ZONED FACILITIES. THE SITE FALLS APPROXIMATELY 3% FROM EAST TO WEST.

EAGLE ROCK AVENUE IS A MAJOR LOCAL STREET WITH 2 LANES, WITH CURB, GUTTER AND DETACHED AGE). SITE RUNOFF WILL BE ALLOWED TO DRAIN THROUGH THE SITE, AND CAPE AREAS. THE SITE HAS HISTORICALLY DRAINED TO THE WEST VIA A HEET AND GULLIED FLOW.

ALL LOCATIONS WILL REMAIN UNCHANGED WITH DEVELOPMENT. FREE DISCHARGE 1/24/20 F IS ACCEPTABLE SINCE PARTIAL DOWNSTREAM CAPACITY EXISTS. A PORTION OF 5/14/20 HIGH PROPOSED LANDSCAPING.

BLDG. C CERTIFIED, 5/14/20, Rev. 7/24/20 (Renamed Bldgs)
BUILDING 'B' CERTIFIED 7/24/20

Scale: 1" = 20'

I, PHILIP W. CLARK, A PROFESSIONAL ENGINEER LICENSED IN ACCORDANCE WITH THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT I HAVE VISITED THE SITE SHOWN HEREON, AND THAT THE CONTOURS SHOWN REPRESENT THE EXISTING GROUND CONDITIONS, AND DO FURTHER CERTIFY THAT NO EARTHWORK OF ANY KIND, NOR ANY DISTURBANCE OF THE EXISTING GROUND HAS OCCURRED ON THIS SITE SINCE THE CONTOURS WERE DETERMINED.

VICINITY MAP ZONE C-18 Scale: 1" = 780'

NOTES

1. ALL WORK WITHIN THE RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECS. FOR PUBLIC WORKS CONSTRUCTION, 7TH EDITION W/UPDATES.
2. AN EXCAVATION/CONSTRUCTION PERMIT IS REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY R.O.W. AN APPROVED COPY OF THIS PLAN MUST BE SUBMITTED AT THE TIME OF APPLICATION.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. ALL LANDSCAPING AREA SHALL BE SOFT-LINED WITH NATIVE VEGETATION AND/OR GRAVEL. ASPHALT PARKING AREA SHALL DRAIN DIRECTLY TO EXISTING CURB CUT.
5. LANDSCAPING IRRIGATION SYSTEM SHALL BE DRIP-TYPE. CONTRACTOR SHALL INSTALL SYSTEM PRIOR TO PLACEMENT OF PAVING.
6. CONTRACTOR SHALL ENSURE THAT NO SITE SOILS/SEDIMENT OR SILT ENTER THE RIGHT-OF-WAYS DURING CONSTRUCTION.
7. REVEGETATE ALL AREAS DISTURBED DUE TO CONSTRUCTION PER CITY OF ALBUQ. SPEC. 1011, NATIVE SEED MIX.
8. MAXIMUM SITE GRADING WITHOUT EROSION PROTECTION: 3 HORIZONTAL TO 1 VERTICAL, 3:1. ALL DIMENSIONS TO FACE OF CURB, UNLESS NOTED OTHERWISE.
9. REMOVE/REPLACE EXISTING CURB WITH STD. 8" COA CURB/GUTTER. PER DWG. 2415A.

LEGEND

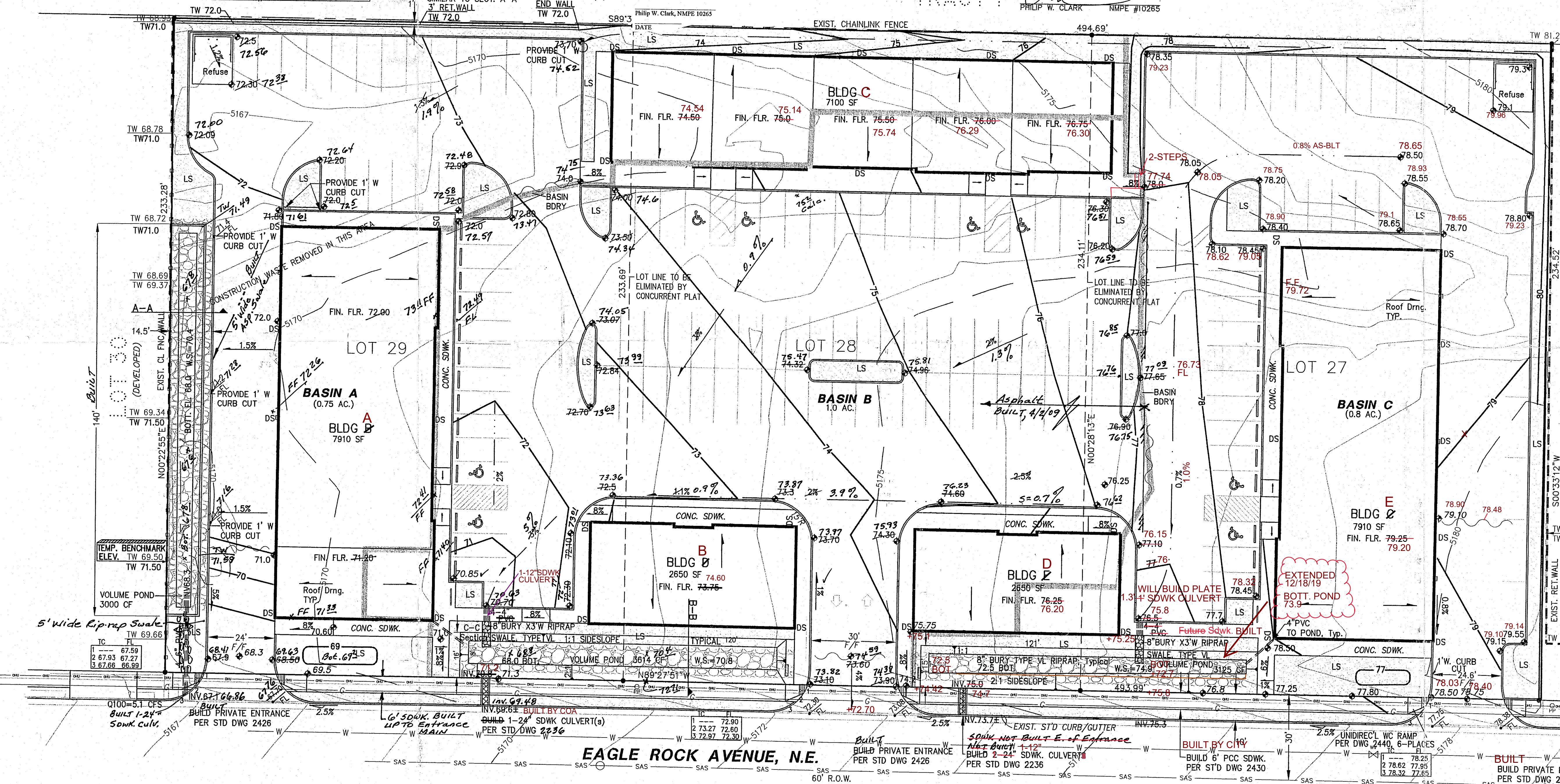
As-Built Elev.	+75.1
EXIST. SPOT ELEVATION	+77.2
EXIST. CONTOUR	-10
NEW SPOT ELEVATION	+24.0
NEW CONTOUR	-12
NEW SWALE	
DRAINAGE DIRECTION, EXISTING	
NEW CONCRETE CURB (0.5' HEIGHT)	
NEW P.C.C., CONCRETE	
TOP OF CURB, EXISTING	TBC
FLOWLINE	FL
FACE OF CURB/FACE OF CURB	F-F
EXISTING TOP OF ASPHALT CURB	TAC
EXIST. TOP OF ASPHALT	TA
EXIST. GROUND	G
EXIST. EDGE OF CONCRETE	EC
DOWNSPOUT	DS
LANDSCAPING	LS

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STD. SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 7TH EDITION, AND AMENDMENT #1.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT THE LINE LOCATING SERVICE, NM ONE CALL 260-1890, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL DESTRUCTORS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL CONSTRUCTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.

APPROVAL	NAME	DATE

EAGLE ROCK AVENUE, N.E.



SWALE SECTION C-C

N.T.S.

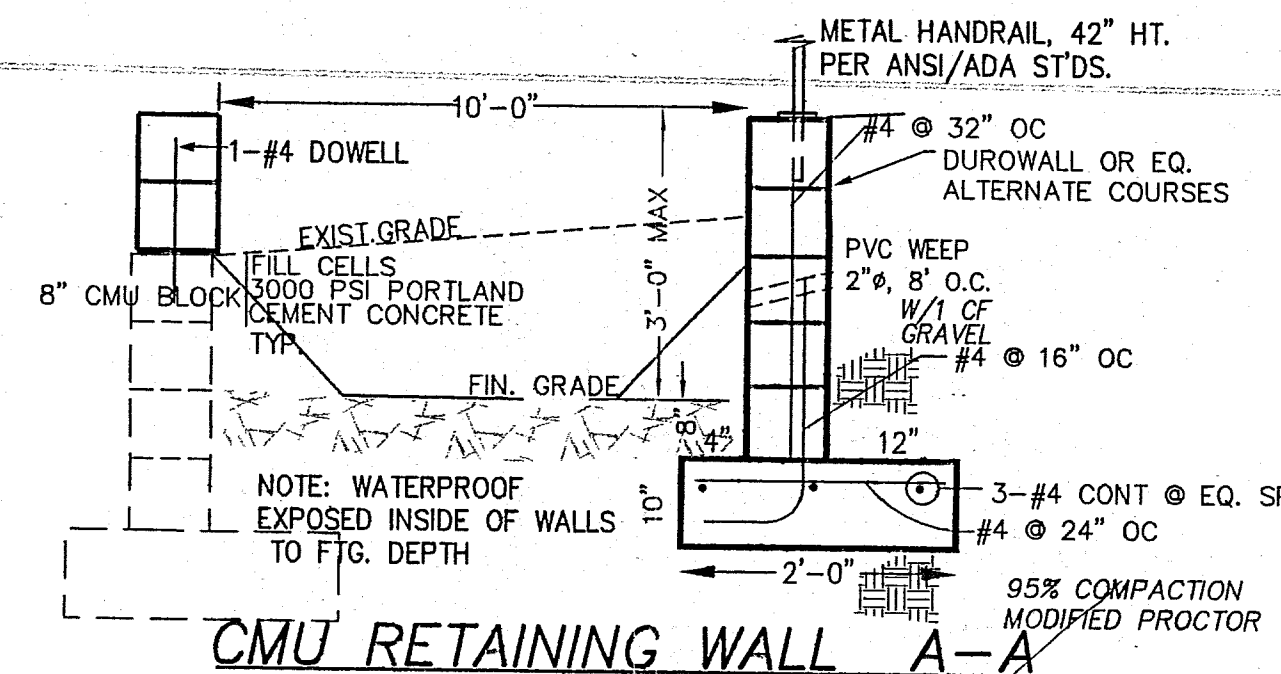
CLASSIFICATION AND GRADATION OF RIPRAP

RIAPRAP DESIGNATION	% SMALLER THAN GIVEN SIZE BY WEIGHT	INTERMEDIATE ROCK DIMENSION (IN.)	MEAN PARTICLE SIZE (IN.)
TYPE VL	70-100	12	6
	50-70	9	
	35-50	6	
	2-10	2	

POND SECTION B-B

SEE PLAN 15/16'

8" THICK RIPRAP, Type VL	95% COMPACTION ASTM D-1557
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PROJECT DATA

LEGAL DESCRIPTION (Existing Platting)

LOTS 27-29, BLOCK 9, UNIT B, TRACT A, NORTH ALBUQUERQUE ACRES, Albuquerque, Bernalillo County, New Mexico

PROJECT BENCHMARK

GPS, TO ACS, NAVD 88 DATUM

TOPOGRAPHIC DESIGN SURVEY

Compiled by Clark Consulting Engineers From Design Survey Performed BY TERRAMETRICS (PHIL TURNER, PS), 10/07

 Clark Consulting Engineers 19 Ryan Road Edgewood, New Mexico 87015 Tel: (505) 281-2444 Fax: (505) 281-2444		
DATE 12-21-07 REVISION 4-2-09 12/13/19 5/14/20 7/12/20	ADDR. COAHDR. AS-BUILT 12-21-07 4-2-09 12-13-19 5-14-20 7-12-20 AS-BUILT BLDG E AS-BUILT N.BLDG RENAMED BLDGS	LOTS 27-29, BLOCK 9, UNIT B, TRACT NORTH ALBUQUERQUE ACRES THE COMMONS AT EAGLE ROCK 5501 EAGLE ROCK AVENUE NE Grading & Drainage Plan JOB #: Schiffer_Off FILE #: G/D
DESIGNED BY: PWC CHECKED BY: PWC	DRAWN BY: CCE DATE: 9/3/07	C1 OF