

GRADING & DRAINAGE PLAN

THE PROPOSED COMMERCIAL RETAIL PROJECT IS LOCATED IN THE NORTH ALBUQUERQUE AREA OF ALBUQUERQUE ON EAGLE ROCK AVENUE IMMEDIATELY WEST OF I-25. THE GRADING AND DRAINAGE SCHEME HEREON IS IN COMPLIANCE WITH THE BERNALILLO COUNTY FLOOD HAZARD ORDINANCE, NO.88-46, AND THE CITY STORM DRAINAGE ORDINANCE. THE PLAN IS REQUIRED IN ORDER TO FACILITATE THE OWNER'S REQUEST FOR SITE DEVELOPMENT PLAN & BUILDING PERMIT. THE PLAN SHOWS:

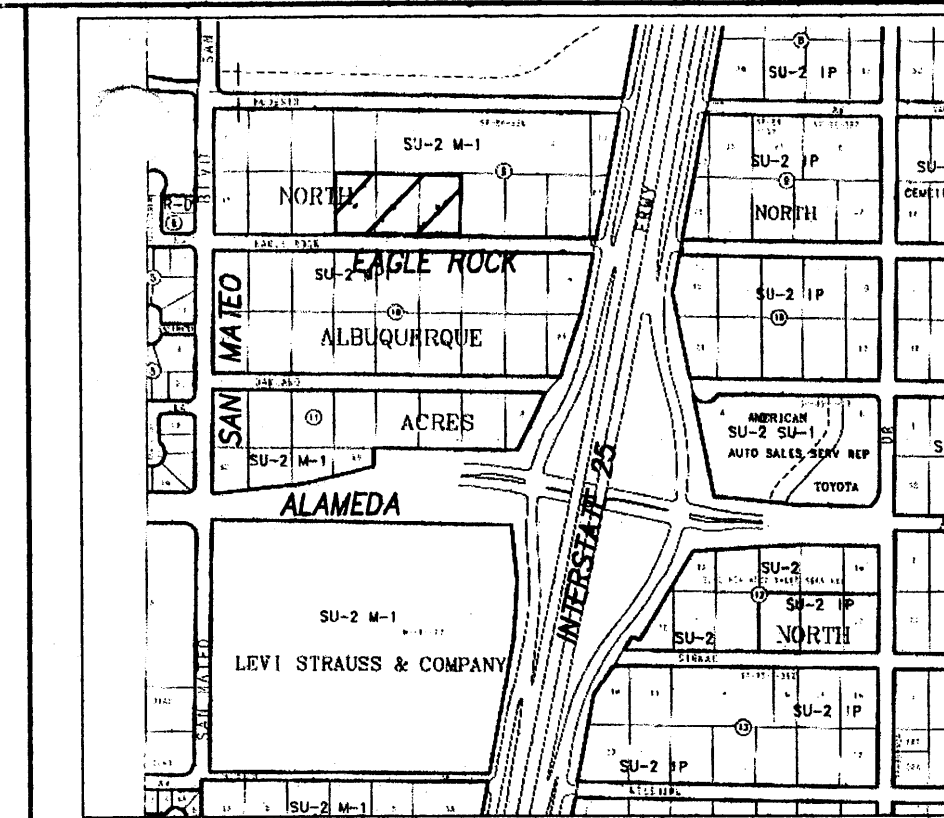
1. EXISTING CONTOURS, AND SPOT ELEVATIONS AND EXISTING DRAINAGE PATTERNS AND IMPROVEMENTS.
2. PROPOSED IMPROVEMENTS: 28220 SF OF OFFICE BUILDING, ASPHALT DRIVE/PARKING, CONCRETE FLAT WORK, NEW GRADE ELEVATIONS, REFUSE LOCATIONS, AND LANDSCAPING.
3. CONTINUITY BETWEEN EXISTING AND PROPOSED ELEVATIONS.
4. QUANTIFICATION OF DEVELOPED FLOWS GENERATED BY THE IMPROVEMENTS WHICH EXISTING FLOWS.

PRESENTLY, THE SITE IS A DIRT-VEGETATED SURFACE. THE SITE IS BOUNDED BY DEVELOPED COMMERCIAL/INDUSTRY ZONED FACILITIES. THE SITE FALLS APPROXIMATELY 3% FROM EAST TO WEST.

EAGLE ROCK AVENUE IS A MAJOR LOCAL STREET WITH 2 LANES, WITH CURB, GUTTER AND DETACHED SIDEWALKS (EXCLUDING FRONTAGE). SITE RUNOFF WILL BE ALLOWED TO DRAIN THROUGH THE SITE, AND PONDED IN DEPRESSIONED LANDSCAPE AREAS. THE SITE HAS HISTORICALLY DRAINED TO THE WEST VIA A COMBINATION OF OVERLAND SHEET AND GULLIED FLOW.

HISTORICAL DOWNSTREAM OUTFALL LOCATIONS WILL REMAIN UNCHANGED WITH DEVELOPMENT. FREE DISCHARGE OF A PORTION OF SITE RUNOFF IS ACCEPTABLE SINCE PARTIAL DOWNSTREAM CAPACITY EXISTS. A PORTION OF SITE RUNOFF IS ROUTED THROUGH PROPOSED LANDSCAPING.

Scale: 1" = 20'



Scale: 1" = 780'

NOTES

1. ALL WORK WITHIN THE RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECS. FOR PUBLIC WORKS CONSTRUCTION, 7TH EDITION W/ UPDATES.
2. AN EXCAVATION/CONSTRUCTION PERMIT IS REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY R.O.W. AN APPROVED COPY OF THIS PLAN MUST BE SUBMITTED AT THE TIME OF APPLICATION.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. ALL LANDSCAPING AREA SHALL BE SOFT-LINED WITH NATIVE VEGETATION AND/OR GRAVEL. ASPHALT PARKING AREA SHALL DRAIN DIRECTLY TO EXISTING CURB CUT.
5. LANDSCAPING IRRIGATION SYSTEM SHALL BE DRIP-TYPE. CONTRACTOR SHALL INSTALL SYSTEM PRIOR TO PLACEMENT OF PAVING.
6. CONTRACTOR SHALL ENSURE THAT NO SITE SOILS/SEDIMENT OR SILT ENTER THE RIGHT-OF-WAYS DURING CONSTRUCTION.
7. REVEGETATE ALL AREAS DISTURBED DUE TO CONSTRUCTION PER CITY OF ALBUQ. SPEC. 1011, NATIVE SEED MIX.
8. MAXIMUM SITE GRADING WITHOUT EROSION PROTECTION: 3 HORIZONTAL TO 1 VERTICAL, 3:1. ALL DIMENSIONS TO FACE OF CURB, UNLESS NOTED OTHERWISE.
9. REMOVE/REPLACE EXISTING CURB WITH STD. 8" COA CURB/GUTTER. PER DWG. 2415A.

LEGEND

As. Built Elev.	77.09
EXIST. SPOT ELEVATION	+24.0
EXIST. CONTOUR	-10
NEW SPOT ELEVATION	+24.0
NEW CONTOUR	-12
NEW SWALE	
DRAINAGE DIRECTION, EXISTING	
NEW CONCRETE CURB (0.5' HEIGHT)	
NEW P.C.C., CONCRETE	
TOP OF CURB, EXISTING	TBC
FLOWLINE	FL
FACE OF CURB/FACE OF CURB	F-F
EXISTING TOP OF ASPHALT CURB	TAC
EXIST. TOP OF ASPHALT	TA
EXIST. GROUND	G
EXIST. EDGE OF CONCRETE	EC
DOWNSPOUT	DS
LANDSCAPING	LS

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STD. SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 7TH EDITION, AND AMENDMENT #1.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT THE LINE LOCATING SERVICE, NW ONE CALL 280-1890, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.

APPROVAL	NAME
RECEIVED	
APR 24 2009	
HYDROLOGY SECTION	

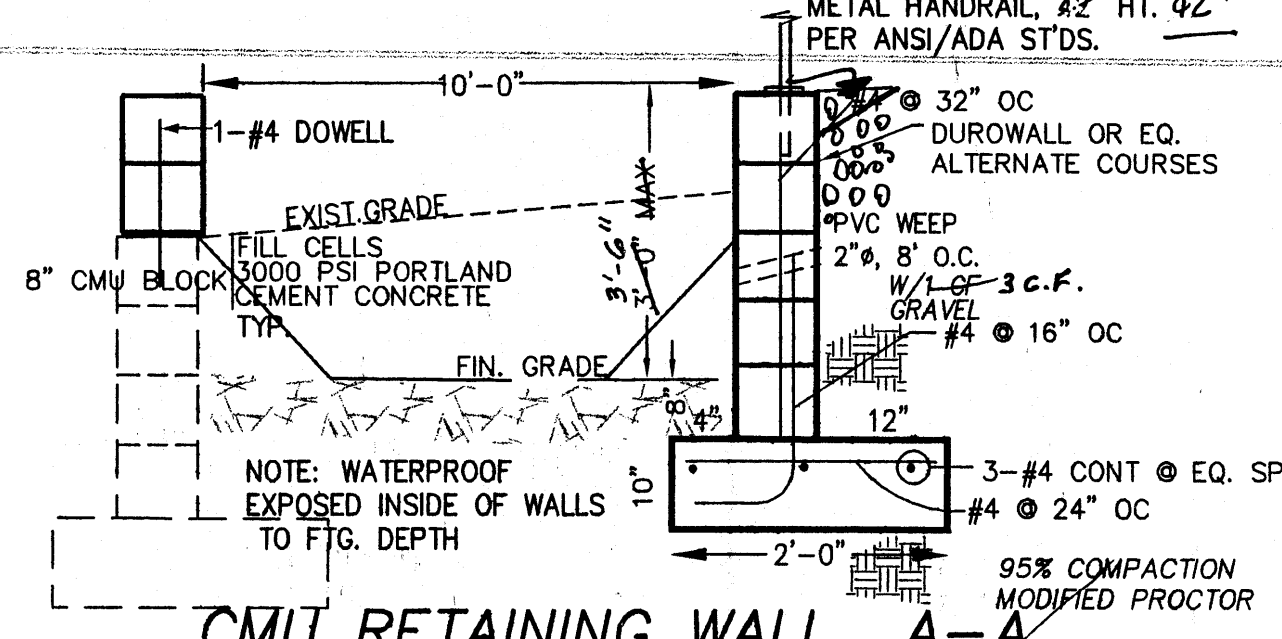
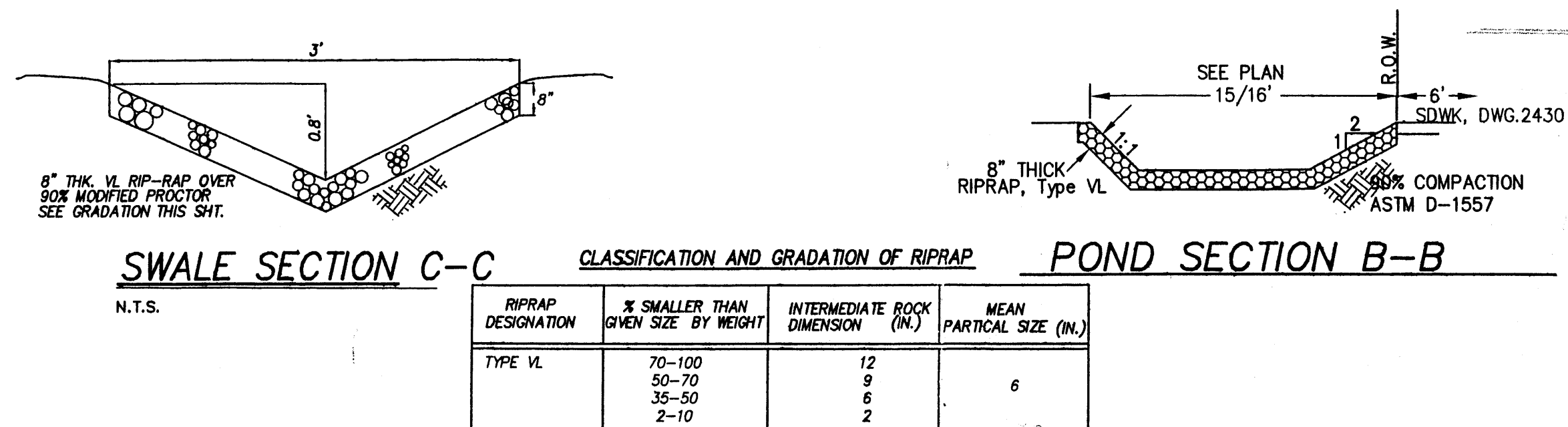
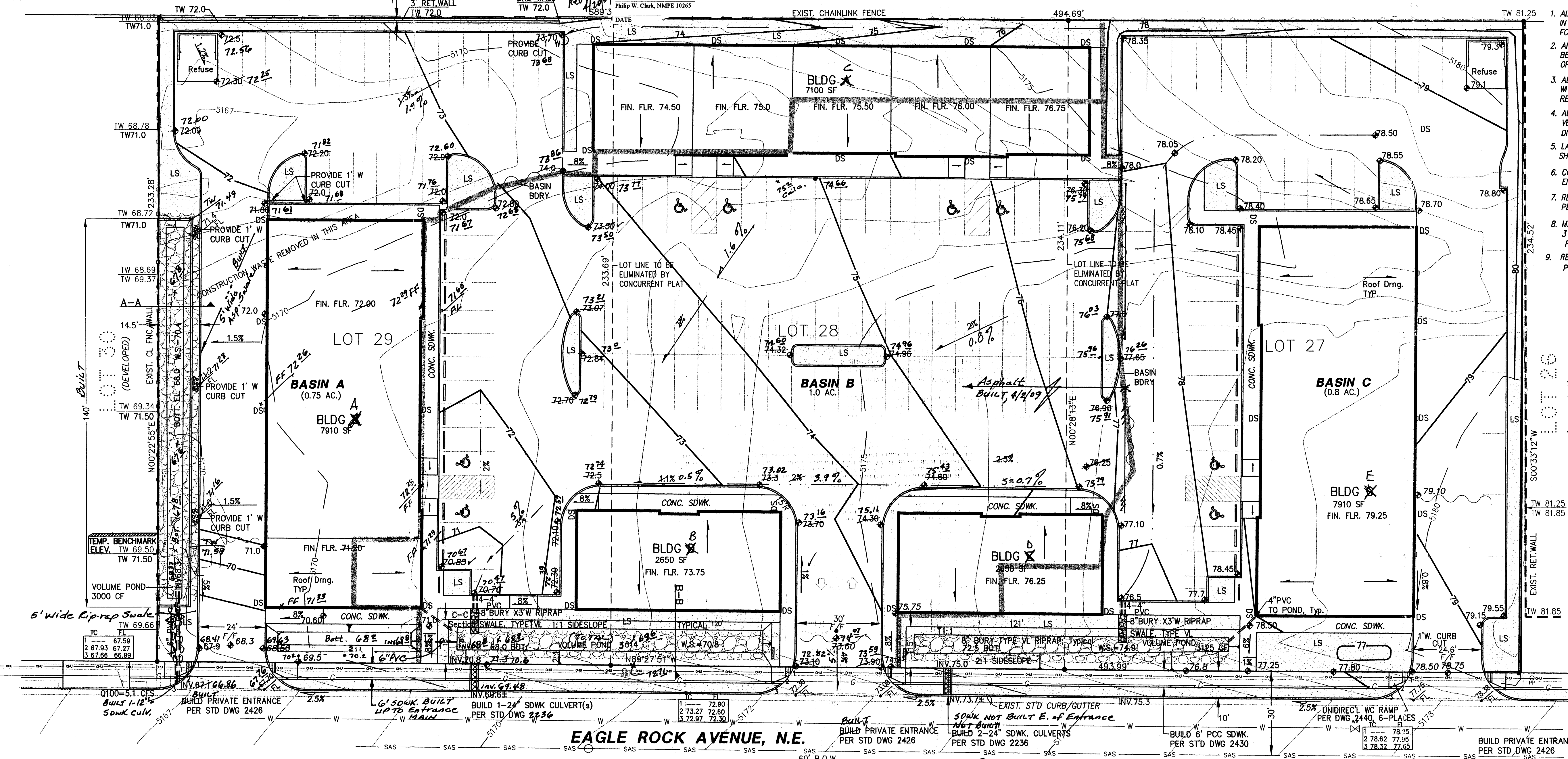
PROJECT DATA

LEGAL DESCRIPTION (Existing Platting)
LOTS 27-29, BLOCK 9, UNIT B, TRACT A, NORTH ALBUQUERQUE ACRES, Albuquerque, Bernalillo County, New Mexico

PROJECT BENCHMARK
GPS, TO ACS, NAVD 88 DATUM

TOPOGRAPHIC DESIGN SURVEY
Compiled by Clark Consulting Engineers From Design Survey Performed BY TERRAMETRICS (PHIL TURNER, PS), 10/07

Clark Consulting Engineers	
19 Ryan Road Edgewood, New Mexico 87015	
Tele: (505) 281-2444	Fax: (505) 281-2444
DATE	REVISION
12-21-07	ADDR.COAHYDR.
4-2-09	45-807-804-0
4-20-07	45-807-804-0
Grading & Drainage Plan	
DESIGNED BY: PWC	DRAWN BY: COE
CHECKED BY: PWC	DATE: 9/3/07
JOB #: Schiffer_Off	FILE #: G/D



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APR 24 2009
HYDROLOGY SECTION

PARKING SPACES:

NET LEASABLE BUILDING AREA: 26658 SF

REQUIREMENT: 1 OFF STREET PARKING SPACE PER 200 SF NET
26658 / 200 = 134 SPACES

SPACES PROVIDED = 137
HC SPACES REQUIRED = 8
HC SPACES PROVIDED = 8

MC SPACES REQUIRED = 4
MC SPACES PROVIDED = 4

BICYCLE PARKING REQUIRED = 1 SPACE PER 20 CAR SPACES
137 / 20 = 7 SPACES

PROVIDED = (4) 6'-0" RACKS (SPACES) = 24 SPACES

BUILDING AREAS:

ACTUAL GROSS PROPOSED BUILDING AREA: 28220 SF

NON-LEASABLE AREA =
834 SF (PERIMETER WALL)
128 SF (RESTROOMS)
1562 SF

NET LEASABLE BUILDING AREA: 26658 SF

KEYED NOTES

1. POWER POLE
2. PAD MOUNTED ELECTRICAL TRANSFORMER
3. WATER METER / SERVICE BOX - MINIMUM 1" WATER SERVICE LINE
4. TELEPHONE PEDESTAL
5. ELECTRICAL SERVICE PANEL
6. EXISTING 6' HIGH CHAIN LINK FENCE
7. WALL PAK SITE LIGHT WITH DIRECTIONAL SHROUD
8. BICYCLE PARKING
9. MOTORCYCLE PARKING
10. DESIGNATED ACCESSIBLE ROUTE
11. REFUSE ENCLOSURE - SEE A/3.0 FOR ELEVATIONS
12. EXISTING SIDEWALK
13. EXISTING FIRE HYDRANT
14. PROPERTY MONUMENT SIGN - SEE A/3.0 FOR ELEVATIONS/COLORS/AND LETTERING
15. EXISTING LANDSCAPE ZONE

16. EXISTING CURB EDGE
17. PAINTED ACCESS AISLE W/ STRIPING
18. UTVB PER ATTACHED DRAWING
19. UNDERECTIONAL ACCESSIBLE RAMP PER STANDARD DRAWING 2440
20. BUILD PRIVATE ENTRANCE PER STANDARD DRAWING 2430
21. ACCESSIBLE RAMP PER ADA STANDARDS - CURB RAMP, MAX SLOPE 1:12. MAX CROSS SLOPE 1:48. CURB RAMP SHALL BE CONSTRUCTED TO CONFIRM WITH ANSI A117.1 1998 AND IBC CHAPTER 11 REQUIREMENTS
22. PARKING BUMPER TYPICAL
23. PEDESTRIAN PATH

The Subject Property is Located near an Existing/Former Landfill. Due to the Subject Property being near an Existing/Former Landfill, certain Preliminary Measures may need to be taken to Ensure the Health & Safety of the Public. Recommendations Made by a Professional Engineer with Landfills and Landfill Gas Issues (As required by "Interim Guidelines for Development within City Designated Landfill Buffer Zones") shall be Constructed Prior to 180'-0" Development of the Site.

PROJECT NUMBER: 1006922

APPLICATION NUMBER: 07 DRB - 70351

DRB SITE DEVELOPMENT PLAN APPROVAL:

RLAS 11/14/07
Traffic Engineering, Transportation Division date

Roger A. Shew 11-14-07
ABCWA date

Christina Sandoval 11/14/07
Parks and Recreation Department date

Is an Infrastructure List Required () Yes (X) No. If yes, then a set of approved DRC plans with a work order is required for any construction within the Public Right-of-Way

Bradley A. Bingham 11/14/07
City Engineer date

Rhonda Methu 11/14/07
Environmental Health Department (conditional) date

Michael Holton 11/14/07
Solid Waste Management date

Andrew Amia 11/20/07
DRB Chairperson, Planning Department date



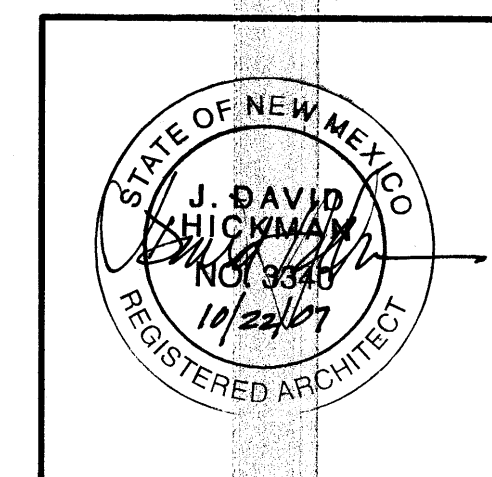
CORE, LTD

5924 ANAHEIM AVE. NE
SUITE A
ALBUQUERQUE, NM
87113

P: 505-796-0894
F: 505-796-0896

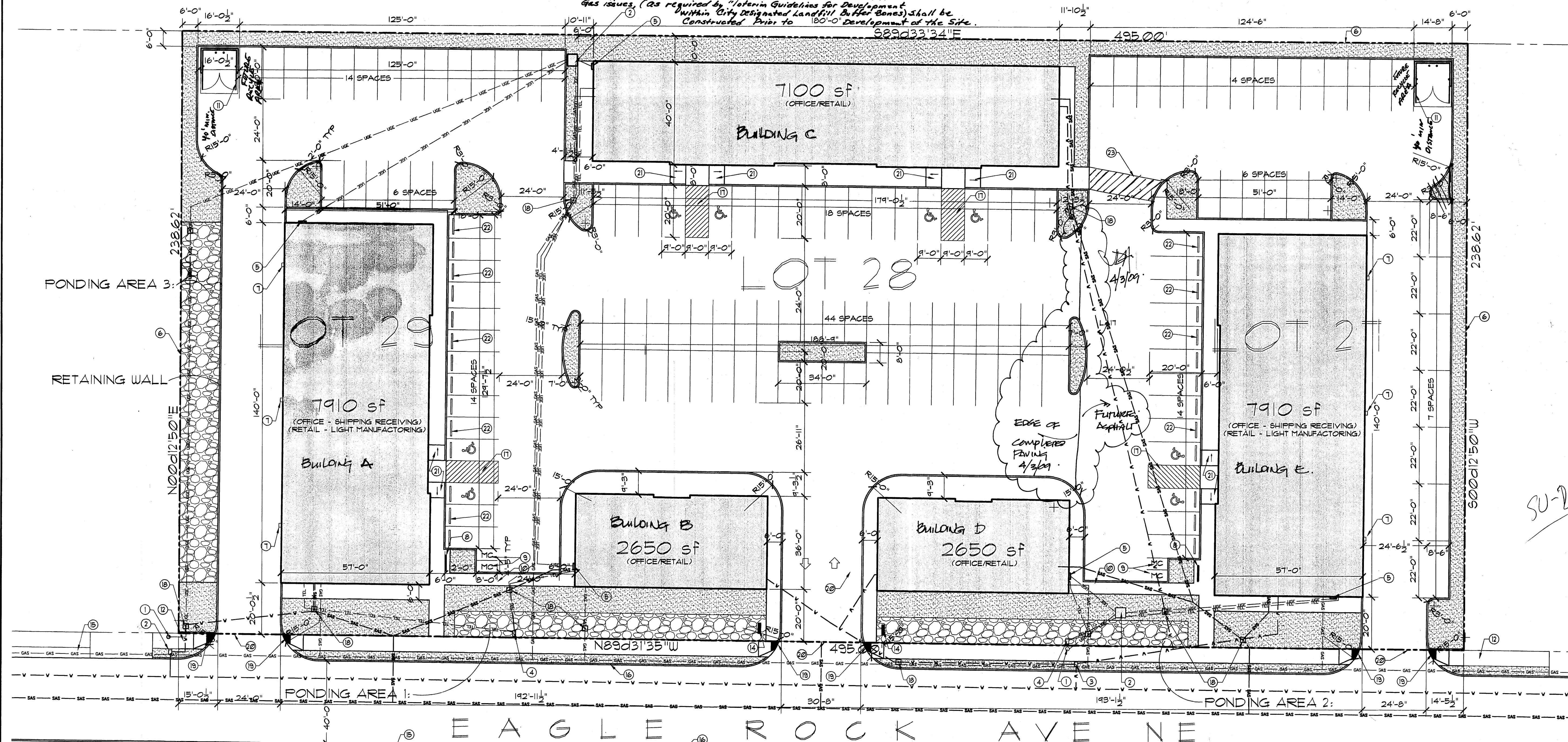
Job no:
acad file:
drawn by: CORE, LTD
checked: JDH/EB
date: 10/22/07

revisions:



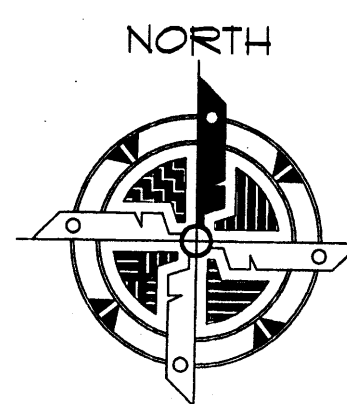
THE COMMONS AT EAGLE ROCK
EAGLE ROCK NE,
ALBUQUERQUE, NM 87113

sheet no:
S-1.0



SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

SCALE: 1" = 20'-0"



GENERAL NOTES

ALL STRUCTURES ARE PROPOSED NEW. NO STRUCTURES EXIST ON THE PROPERTY.

ALL SITE LIGHTING TO BE MOUNTED ON BUILDINGS. LIGHTS NOT INDICATED AS WALL SURFACE MOUNTED SHALL BE CEILING MOUNTED IN BUILDING OVERHANGS OR COVERED WALKS.

SITE LIGHTING SHALL CONFORM TO NIGHT SKY ORDINANCE.

North Interstate 25 Sector Development Plan...

Zoning "E. Industrial Uses"

"4. The SU-2/M-1 zone allowing uses permissible in the M-1 zone as regulated by the M-1 zone with the exception that all new industrial development zoned SU-2/M-1 shall require a landscape plan incorporating the design standards contained in Section VI."