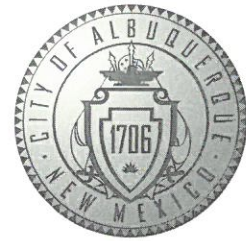


# CITY OF ALBUQUERQUE



February 18, 2020

J. David Hickman, RA  
Jeebs&Zuzu  
11030 Menaul NE, Suite C  
Albuquerque, NM 87112

**Re: Eagle Rock Commons, Building D**  
**5501 Eagle Rock Ave NE**  
**Request for Certificate of Occupancy**  
**Transportation Development Final Inspection**  
Engineer's/Architect's Stamp dated 9-23-09(AA)(C18D037H)  
Certification dated 12-13-19

Dear Mr. Hickman

Based upon the information provided in your submittal Pictures 2-14-20, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Ernie Gomez at (505) 924-3981.

Sincerely,

Jeanne Wolfenbarger, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

Ernie Gomez  
Plan Checker, Planning Dept.  
Development Review Services

EG via: email  
C: CO Clerk, File



December 13, 2019

Jeanne Wolfenbarger, PE  
Transportation Development  
Planning Department  
City of Albuquerque  
P.O. Box 1293  
Albuquerque, NM 87103

RE: Request for Certificate of Shell Occupancy – Building D  
Application Number: 07 DRB 70351  
Eagle Rock Commons [1006922]  
Eagle Rock, NE, Albuquerque  
DRB Chairman signature date 11/20/07  
Plan dated 10/22/07  
Administrative Amendment

Dear Ms. Wolfenbarger,

I am pleased to report to you that the work required by the approved DRB Site Development Plan, and the approved administrative amendment, has been completed for the above referenced project.

On December 13, 2019, I reviewed the project site to again verify that the work completed is in accordance with the DRB Site Development Plan as noted on the recent Administrative Amendment. I have found the work completed to be in full compliance with the DRB Site Development Plan as reflected on the included amended site plan.

I do hereby certify that the project meets and conforms to these requirements and the design provided in the approved DRB Site Development Plan. I am including with this package the previous letter of approval recommending Certificate of Occupancy for Building A dated October 09, 2009. The parking lot has not changed, nor has any additional work been completed since the former approval. In its current configuration, the parking lot has sufficient numbers of parking spaces to support Buildings A, B, C, and D. With the construction of Building E, the remainder of the parking lot will be completed.

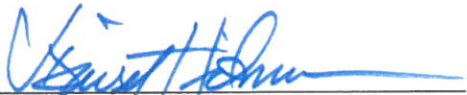
We appreciate your assistance in the completion of this project, and formally request that a Shell Certificate of Occupancy be issued for Building D at this time.

Thank you,

J. David Hickman,  
Architect



I, J. DAVID HICKMAN, A REGISTERED ARCHITECT IN THE STATE OF NEW MEXICO, OF THE FIRM JEEBS & ZUZU, LLC., HEREBY CERTIFY THAT THIS PROJECT, EAGLE ROCK COMMONS, IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE AMENDED DRB, AA OR TCL APPROVED PLAN DATED 11/20/07. THE RECORD INFORMATION EDITED ON THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY PHIL CLARK, A REGISTERED PROFESSIONAL ENGINEER WITH THE STATE OF NEW MEXICO. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON SEPTEMBER 30, 2009 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATION OF OCCUPANCY.

  
\_\_\_\_\_  
J. David Hickman  
Architect



12/13/19  
\_\_\_\_\_  
Date:



# PARKING SPACES:

NET LEASABLE BUILDING AREA: 26658 SF

REQUIREMENT: 1 OFF STREET PARKING SPACE PER 200 SF NET  
26658 / 200 = 134 SPACES

SPACES PROVIDED = 131  
HC SPACES REQUIRED = 8  
HC SPACES PROVIDED = 8

MC SPACED REQUIRED = 4  
MC SPACES PROVIDED = 4

BICYCLE PARKING REQUIRED = 1 SPACE PER 20 CAR SPACES  
131 / 20 = 7 SPACES

PROVIDED = (4) 6'-0" RACKS (SPACES) = 24 SPACES

# BUILDING AREAS:

ACTUAL GROSS PROPOSED BUILDING AREA: 28220 SF

NON-LEASABLE AREA =  
834 SF (PERIMETER WALL)  
128 SF (RESTROOMS)  
1562 SF

NET LEASABLE BUILDING AREA: 26658 SF

## KEYED NOTES

1. POWER POLE
2. PAD MOUNTED ELECTRICAL TRANSFORMER
3. WATER METER / SERVICE BOX - MINIMUM 1" WATER SERVICE LINE
4. TELEPHONE PEDESTAL
5. ELECTRICAL SERVICE PANEL
6. EXISTING 6' HIGH CHAIN LINK FENCE
7. WALL PAK SITE LIGHT WITH DIRECTIONAL SHROUD
8. BICYCLE PARKING
9. MOTORCYCLE PARKING
10. DESIGNATED ACCESSIBLE ROUTE
11. REFUSE ENCLOSURE - SEE A/3.0 FOR ELEVATIONS
12. EXISTING SIDEWALK
13. EXISTING FIRE HYDRANT
14. PROPERTY MONUMENT SIGN - SEE A/3.0 FOR ELEVATIONS/COLORS/AND LETTERING
15. EXISTING LANDSCAPE ZONE

16. EXISTING CURB EDGE
17. PAINTED ACCESS AISLE W/ STRIPING
18. UTVB PER ATTACHED DRAWING
19. UNDERECTIONAL ACCESSIBLE RAMP PER STANDARD DRAWING 2440
20. BUILD PRIVATE ENTRANCE PER STANDARD DRAWING 2430
21. ACCESSIBLE RAMP PER ADA STANDARDS - CURB RAMP, MAX SLOPE 1:12. MAX CROSS SLOPE 1:48. CURB RAMP SHALL BE CONSTRUCTED TO CONFIRM WITH ANSI A117.1 1998 AND IBC CHAPTER 11 REQUIREMENTS
22. PARKING BUMPER TYPICAL
23. PEDESTRIAN PATH

The Subject Property is Located near an Existing/Former Landfill. Due to the Subject Property being near an Existing/Former Landfill, certain Precautionary Measures may need to be taken to Ensure the Health & Safety of the Public. Recommendations Made by a Professional Engineer with Landfills and Landfill Gas Issues (As required by "Interim Guidelines for Development Within City Designated Landfill Buffer Zones") shall be Constructed Prior to 180'-0" Development of the Site.

PROJECT NUMBER: 1006922

APPLICATION NUMBER: 07 DRB - 70351

DRB SITE DEVELOPMENT PLAN APPROVAL:

11/14/07  
Traffic Engineering, Transportation Division date

11-14-07  
ABCWA date

11/14/07  
Christina Sandoval  
Parks and Recreation Department date

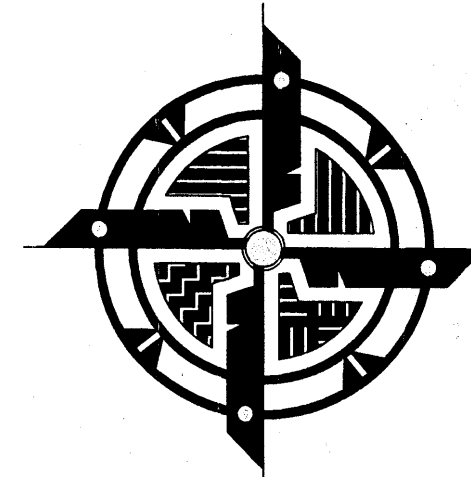
Is an Infrastructure List Required ( ) Yes (X) No. If yes, then a set of approved DRC plans with a work order is required for any construction within the Public Right-of-Way

11/14/07  
Bradley A. Bingham  
City Engineer date

11/14/07  
Rhonda Methu  
Environmental Health Department (conditional) date

11/14/07  
Michael Holton  
Solid Waste Management date

11/20/07  
Andrew Amia  
DRB Chairperson, Planning Department date



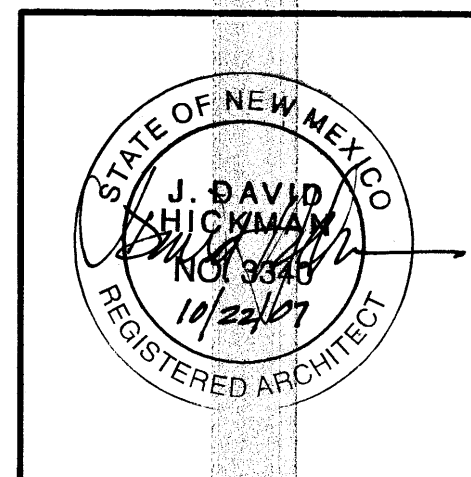
**CORE, LTD**

5924 ANAHEIM AVE. NE  
SUITE A  
ALBUQUERQUE, NM  
87113

P: 505-796-0894  
F: 505-796-0896

Job no:  
acad file:  
drawn by: CORE, LTD  
checked: JDH/EB  
date: 10/22/07

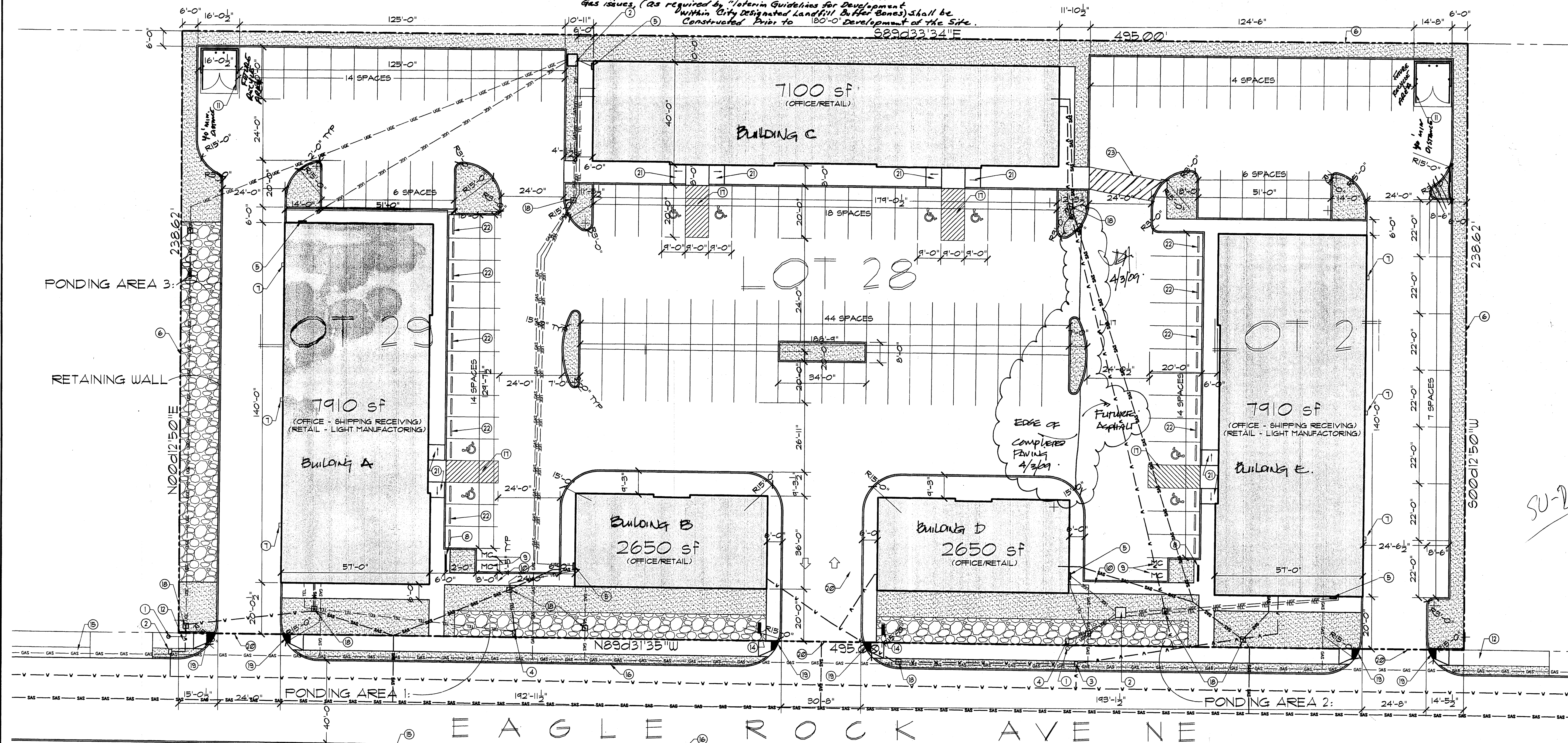
revisions:



THE COMMONS AT EAGLE ROCK

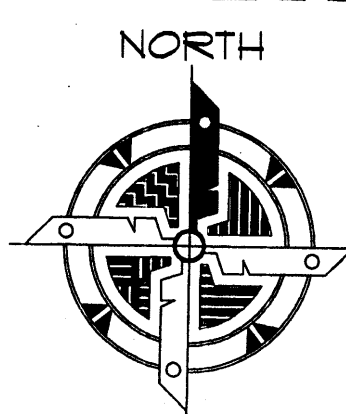
EAGLE ROCK NE,  
ALBUQUERQUE, NM 87113

sheet no:  
**S-1.0**



## SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

SCALE: 1" = 20'-0"



## GENERAL NOTES

ALL STRUCTURES ARE PROPOSED NEW. NO STRUCTURES EXIST ON THE PROPERTY.

ALL SITE LIGHTING TO BE MOUNTED ON BUILDINGS. LIGHTS NOT INDICATED AS WALL SURFACE MOUNTED SHALL BE CEILING MOUNTED IN BUILDING OVERHANGS OR COVERED WALKS.

SITE LIGHTING SHALL CONFORM TO NIGHT SKY ORDINANCE.

North Interstate 25 Sector Development Plan... Zoning "E. Industrial Uses"  
"4. The SU-2/M-1 zone allowing uses permissible in the M-1 zone as regulated by the M-1 zone with the exception that all new industrial development zoned SU-2/M-1 shall require a landscape plan incorporating the design standards contained in Section VI."