

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

December 17, 2009

James B. Clark III, Registered Architect
Masterworks Architects, Inc.
516 Eleventh Street NW
Albuquerque, NM 87102

Re: Certification Submittal for Final Building Certificate of Occupancy for
Speculative Office/Warehouse, [C-18 / D037J]
9001 Pan American Fwy NE
Architect's Stamp Dated 12/15/09

PO Box 1293

Dear Mr. Clark:

Albuquerque

Based upon the information provided in your submittal received 12-16-09,
Transportation Development has no objection to the issuance of a Permanent
Certificate of Occupancy (C.O.).

NM 87103

This letter serves as a "green tag" from Transportation Development for a
Permanent Certificate of Occupancy to be issued by the Building and Safety
Division.

www.cabq.gov

Sincerely,


N. E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

15 December 2009
Project MW 0839

Kristal D. Metro, P.E.
Traffic Engineering, Planning Department
Development and Building Services
City of Albuquerque
P.O. Box 1293
Albuquerque, New Mexico 87103

Re: Traffic Certification for Final CO

Project: Speculative Office/Warehouse,
9001 Pan American Frwy NE, Albuquerque
Traffic Circulation Layout
Architect's Stamp dated 09-15-08 (C-18/D037J)

I, James B. Clark, NMRA #1047, of Masterworks Architects, Inc., hereby certify that this project is in substantial compliance with and in accordance with the design intent of the TCL Approved Plan dated 26 September 2008.

I further certify that I personally visited the site on 11 December 2009 and have determined by visual inspection that the survey data provided is representative of the actual site conditions and is true and correct to the best of my knowledge and belief.

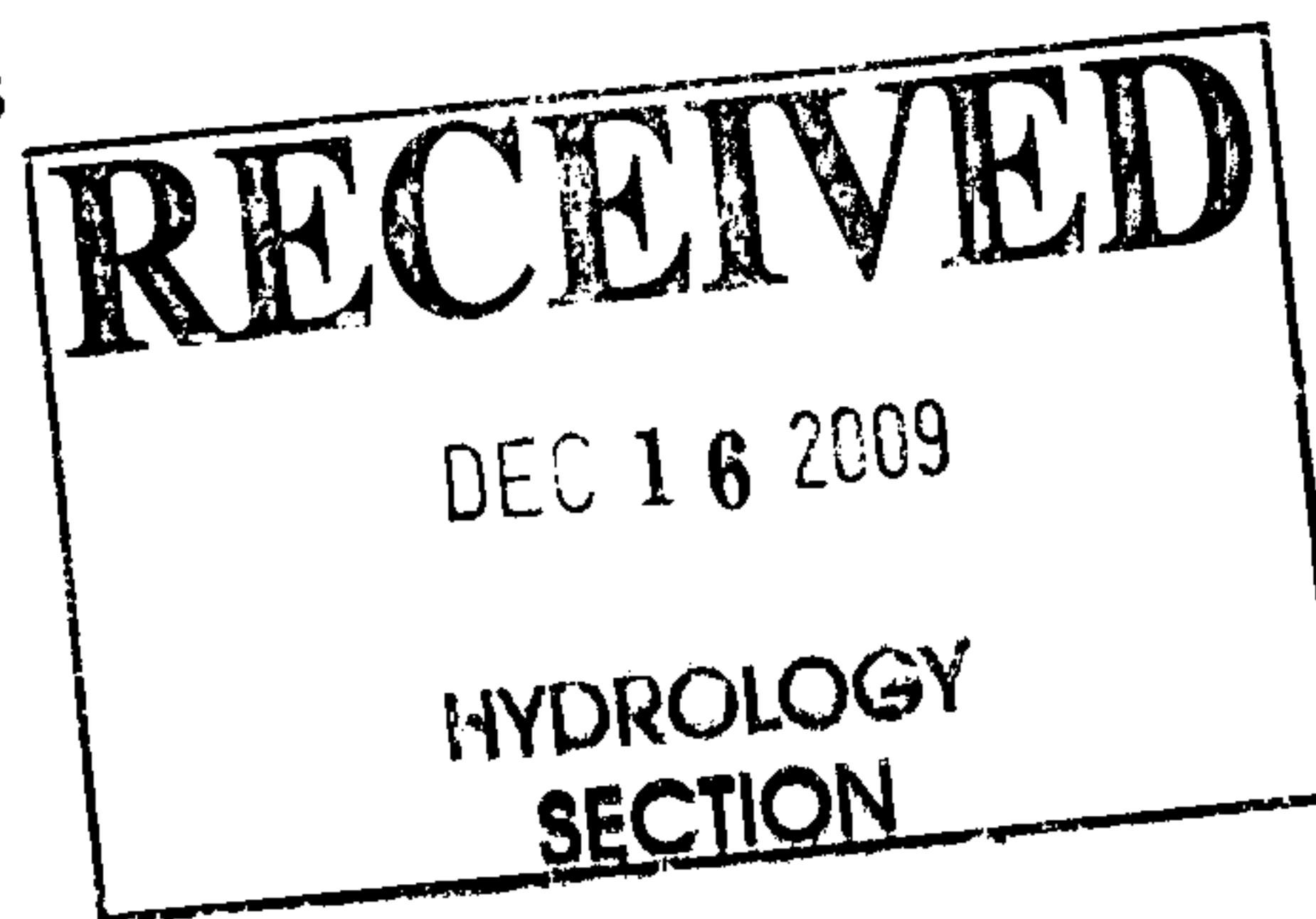
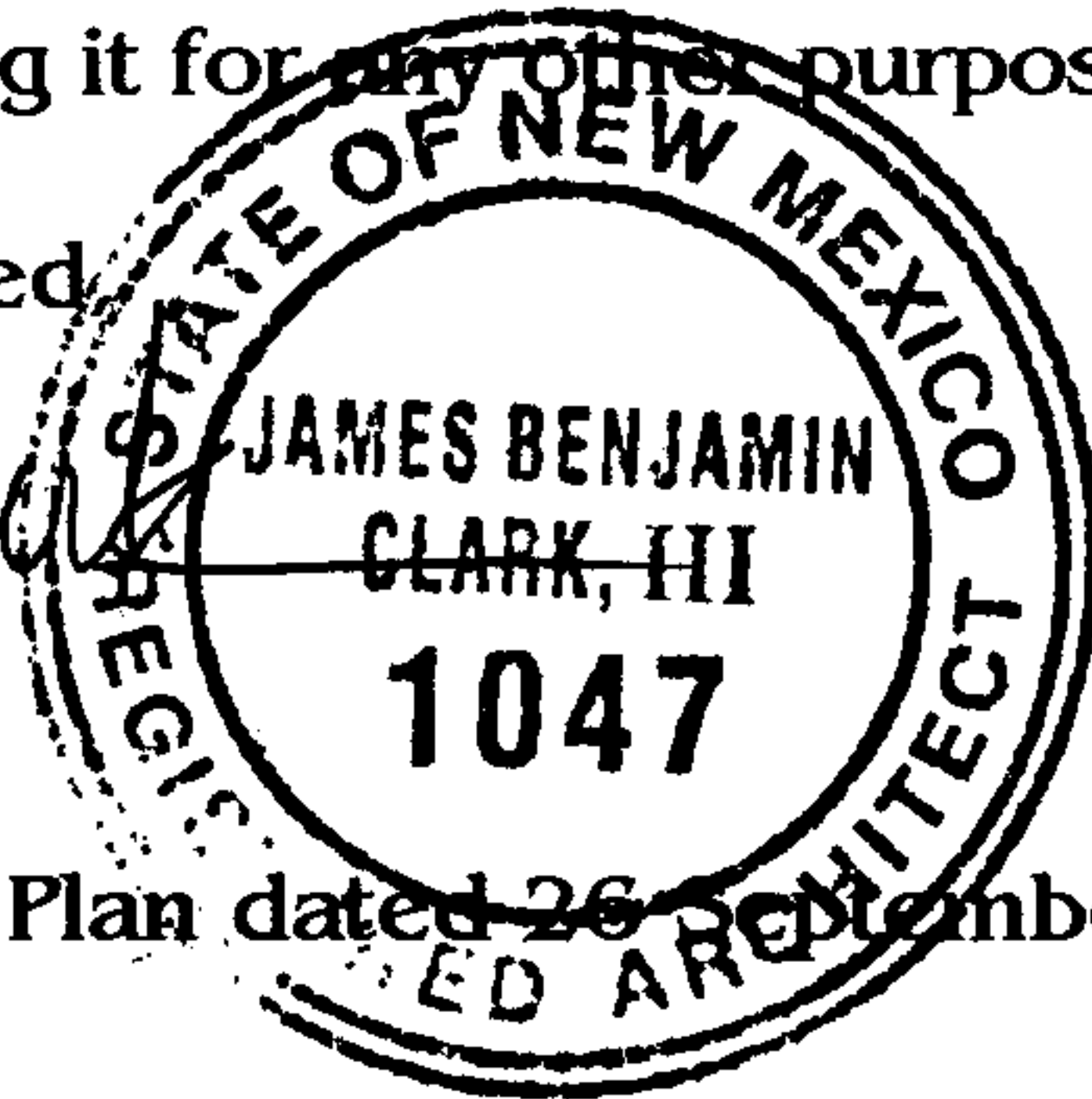
This Certification is submitted in support of a request for
Certificate of Occupancy (Perm).

The record information presented hereon is not necessarily complete and is intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Respectfully submitted,


James B. Clark, RA
President

Encl: Approved TCL Plan dated 26 September 2008



DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/05)

PROJECT TITLE: SPECULATIVE OFFICE/WAREHOUSE ZONE MAP/DRG. FILE # C-18/DO37J
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOTS 23 & 24, BLOCK 9, NORTH ABQ ACRES, TRACT A, UNIT B
CITY ADDRESS: 9001 Pan American Fwy NE

ENGINEERING FIRM: CLARK CONSULTING ENGINEERS
ADDRESS: 19 Ryan Rd
CITY, STATE: Edgewood, NM

CONTACT: Phil Clark
PHONE: 281-2444
ZIP CODE: 87015

OWNER: Robert Tryer
ADDRESS: 8200 Pan American Fwy NE
CITY, STATE: Albq, NM

CONTACT: Robert Tryer
PHONE: 237-7037
ZIP CODE: 87113

ARCHITECT: Masterworks Architect Inc
ADDRESS: 516 11th St. NW
CITY, STATE: Albq, NM

CONTACT: Jim Clark
PHONE: 242-1866
ZIP CODE: 87102

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER/ARCHITECT CERT (TCL)
- ☐ ENGINEER/ARCHITECT CERT (DRB S.P.)
- ☐ ENGINEER/ARCHITECT CERT (AA)
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

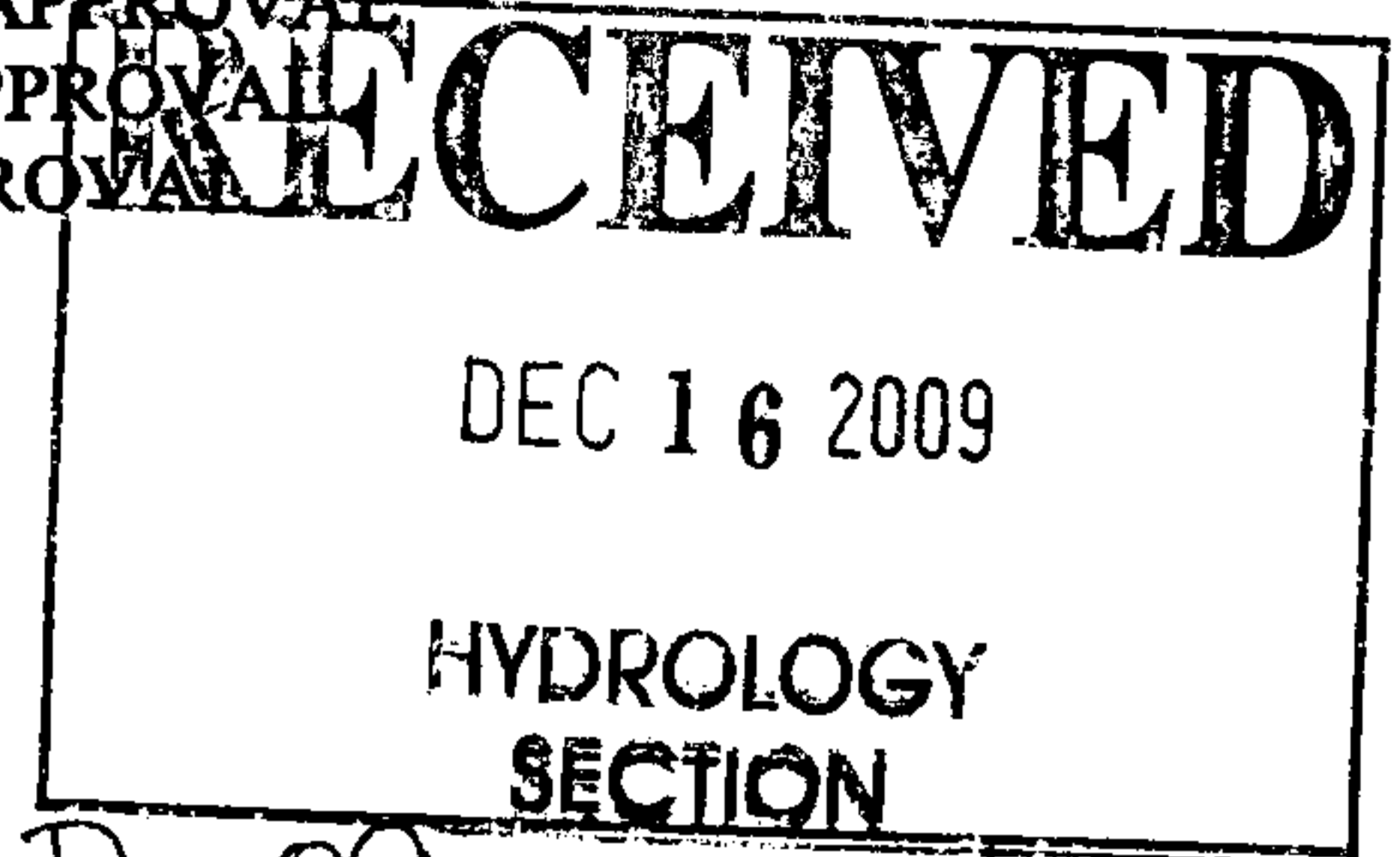
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

SUBMITTED BY: James B Clark DATE: 16 Dec 09

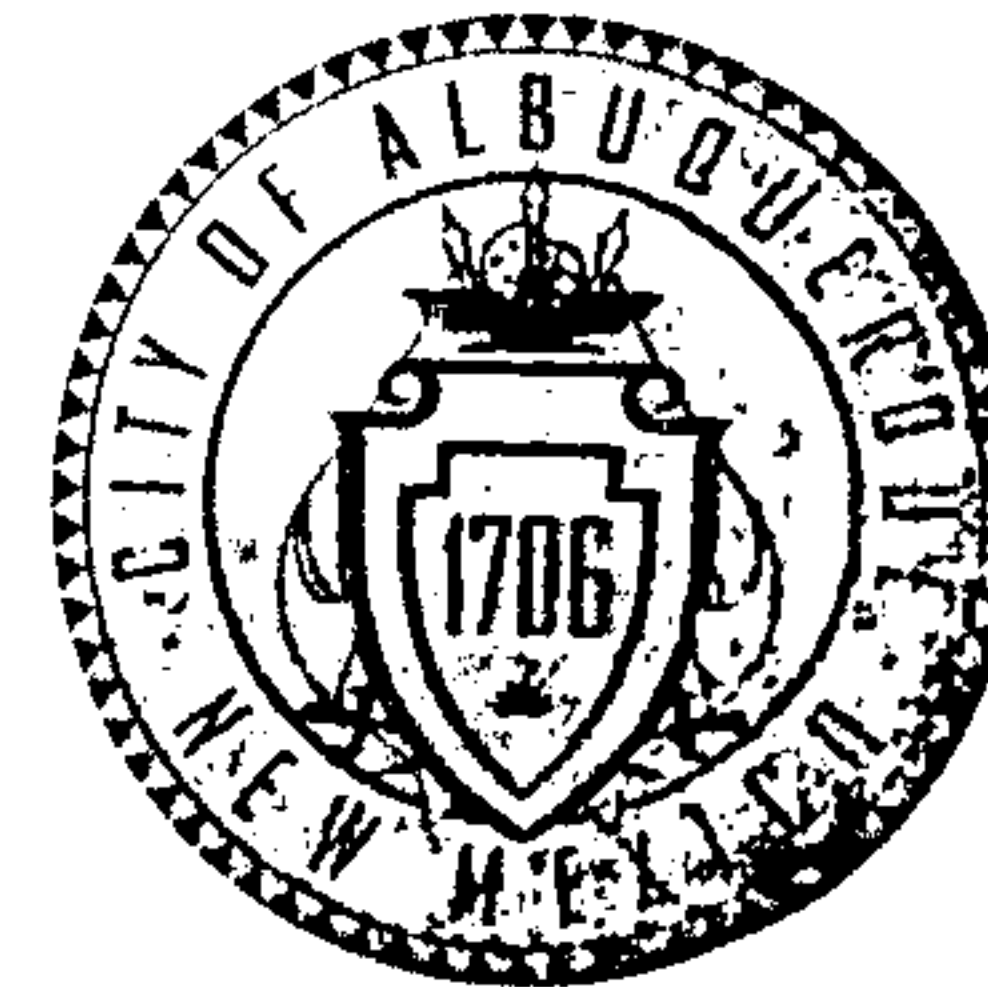
Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



Nov 16

CITY OF ALBUQUERQUE



September 26, 2008

James Benjamin Clark, R.A.
Masterworks Architects, Inc.
516 11th St. NW
Albuquerque, NM 87102

Re: Speculative Office/Warehouse, 9001 Pan American Freeway NE,
Traffic Circulation Layout, Architect's Stamp dated 9-15-08 (C-18/D037J)

Dear Mr. Clark,

The TCL submittal received 9-16-08 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 12/05)

PROJECT TITLE: SPECULATIVE OFFICE/WAREHOUSE ZONE MAP/DRG. FILE # C-18/DO375
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOTS 23 & 24, BLOCK 9, NORTH ABB ACRES, TRACT A, UNIT B
 CITY ADDRESS: 9001 PAN AMERICAN FWY NE

ENGINEERING FIRM: CLARK CONSULTING ENGRS
 ADDRESS: 19 Ryan Rd
 CITY, STATE: Edgewood, NM

CONTACT: PHIL CLARK
 PHONE: 281-2444
 ZIP CODE: 87015

OWNER: ROBERT TRYER
 ADDRESS: 8200 Pan American Fwy NE
 CITY, STATE: Albq, NM

CONTACT: ROBERT TRYER
 PHONE: 237-7037
 ZIP CODE: 87113

ARCHITECT: MASTERWORKS ARCHITECTS, INC.
 ADDRESS: 516 11th St NW
 CITY, STATE: Albq, NM

CONTACT: JIM CLARK
 PHONE: 242-1866
 ZIP CODE: 87102

SURVEYOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

CONTRACTOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ ~~TRAFFIC~~ CIRCULATION LAYOUT
☐ ENGINEER/ARCHITECT CERT (TCL)
☐ ENGINEER/ARCHITECT CERT (DRB S.P.)
☐ ENGINEER/ARCHITECT CERT (AA)
☐ OTHER (SPECIFY)

RESUBMITTAL

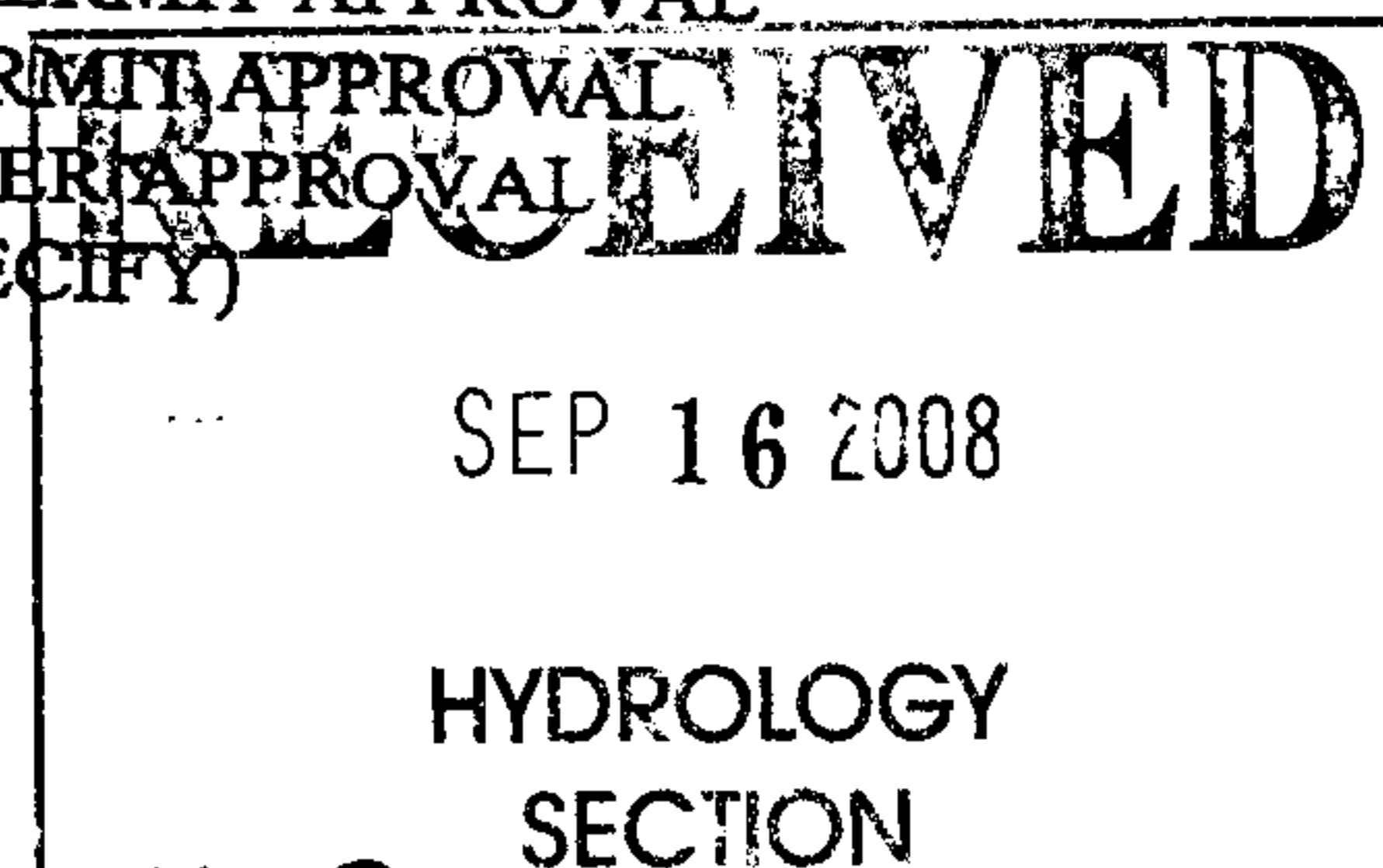
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☒ NO
☐ COPY PROVIDED

SUBMITTED BY: James B Clark DATE: 16 Sep 08

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ ~~BUILDING~~ PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



December 17, 2009

Philip W. Clark, P.E.
Clark Consulting Engineers
19 Ryan Road
Edgewood, NM 87015

**Re: Builtwell Buildings, 9001 Pan American Frwy. NE,
(C-18/D037J), Request for Permanent C.O.—Approved,
Engineer's Stamp Dated: 09-29-08
Engineer's Certification Date: 12-12-09**

Dear Mr. Clark,

PO Box 1293

Based upon the information provided 12/15/09, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3982.

NM 87103

Sincerely,

Timothy E. Sims
Plan Checker-Hydrology, Planning Dept
Development and Building Services

www.cabq.gov

C: CO Clerk—Katrina Sigala
file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/05)

PROJECT TITLE: Biltwell Bldgs ZONE MAP: C18/D37J
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: _____
CITY ADDRESS: 9001 Pan Am. Frwy NE

ENGINEERING FIRM: Clark Consulting Engineers

ADDRESS: 19 Ryan Road

CITY, STATE: Edgewood, NM

CONTACT: Phil

PHONE: 281-2444 & FAX

ZIP CODE: 87015

OWNER: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

ARCHITECT: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: Jim

PHONE: _____

ZIP CODE: _____

SURVEYOR: _____

ADDRESS: _____

CITY, STATE: Albuquerque NM

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CONTRACTOR: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES

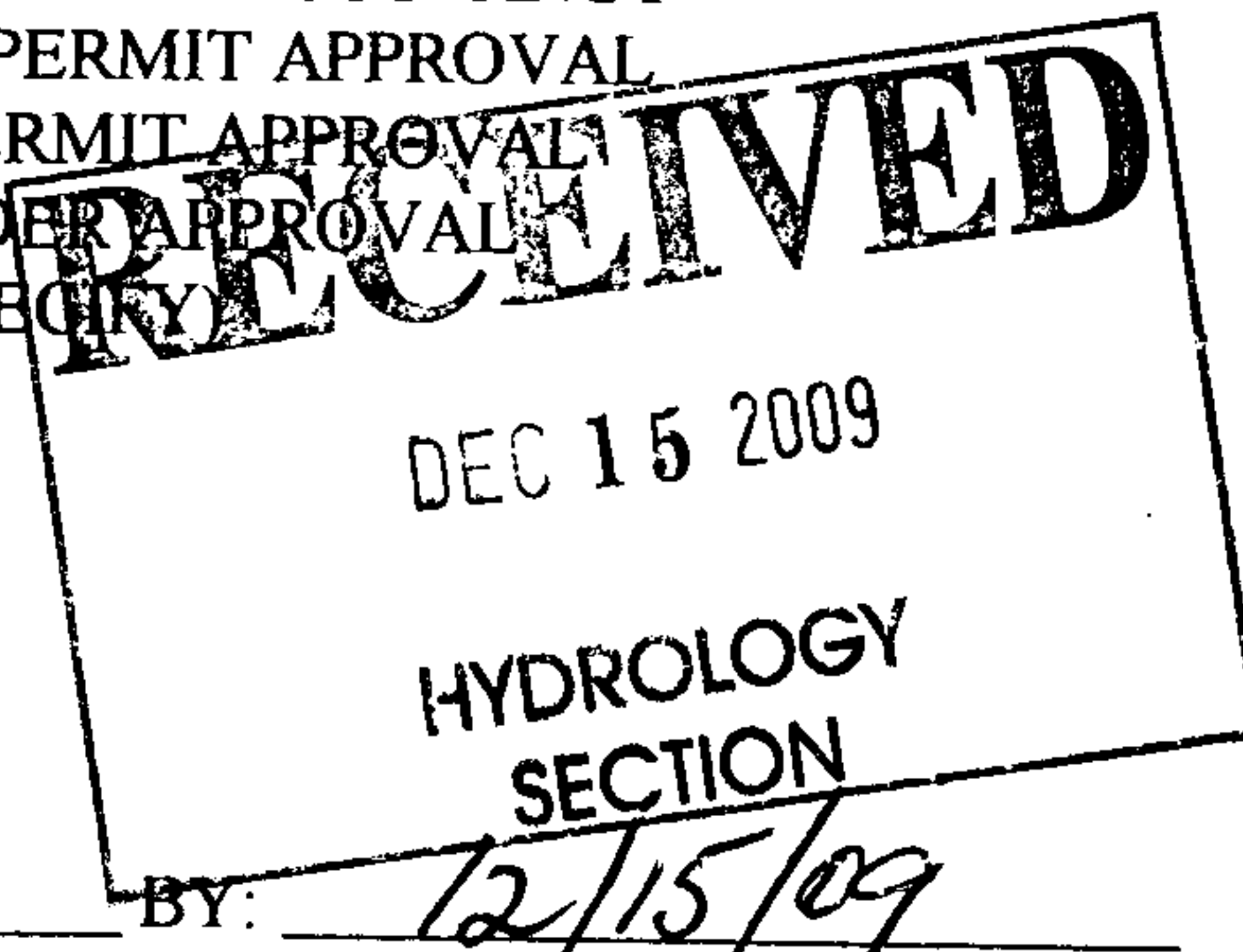
☐ NO

☐ COPY PROVIDED

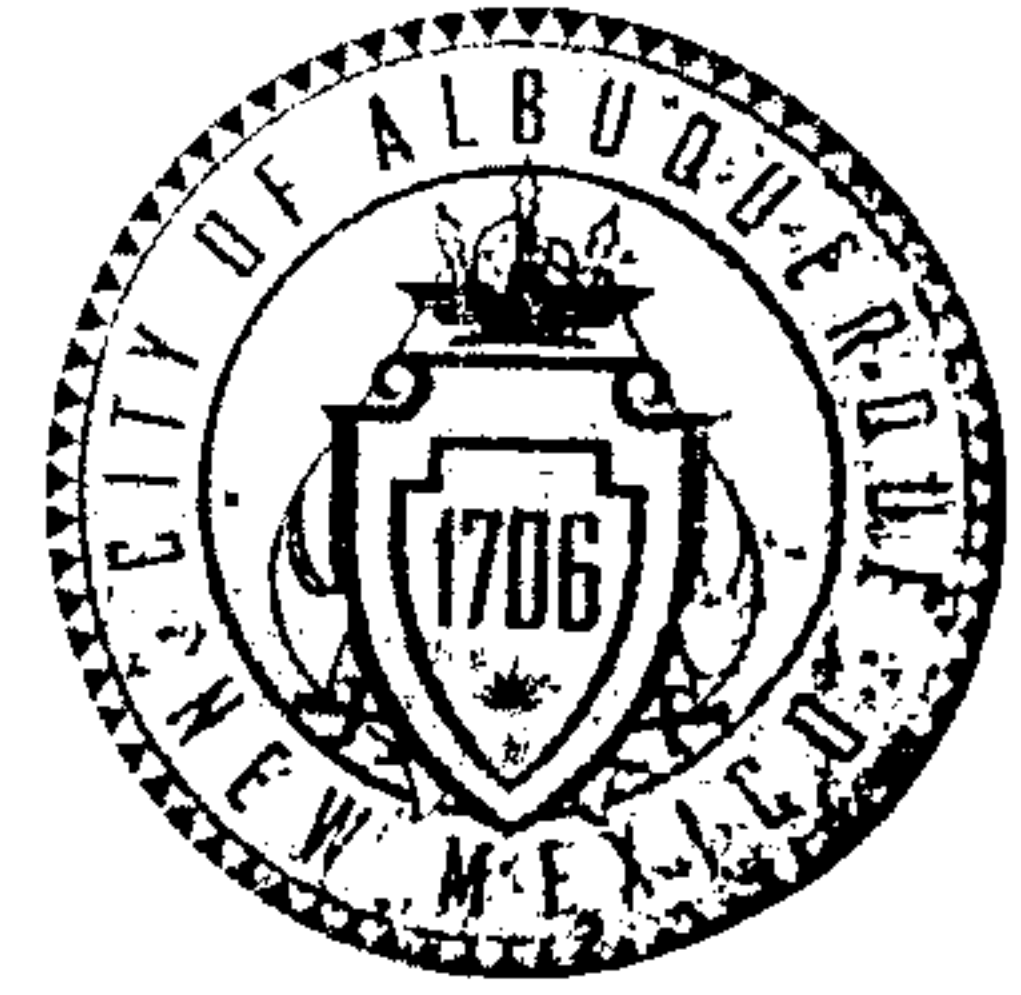
DATE SUBMITTED: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



CITY OF ALBUQUERQUE



October 16, 2008

Philip W. Clark, P.E.
Clark Consulting Engineers
19 Ryan Road
Edgewood, NM 87015

Re: Biltwell Buildings, 9001 Pan American Frwy NE, Grading and Drainage Plan

Engineer's Stamp dated 10-13-08 (C18/D037J)

Dear Mr. Clark,

Based upon the information provided in your submittal received 10-15-08, the above referenced plan is approved for Building Permit and SO 19 Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

A separate permit (SO 19) is required for construction within City ROW. A copy of this approval letter must be on hand when applying for the excavation/barricading permit.

Prior to Certificate of Occupancy release:

- Correct the pond volume on the Engineer Certification.
- The sidewalk culvert must be inspected and accepted. Please contact Duane Schmitz, 235-8016, to schedule an inspection.
- Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3695.

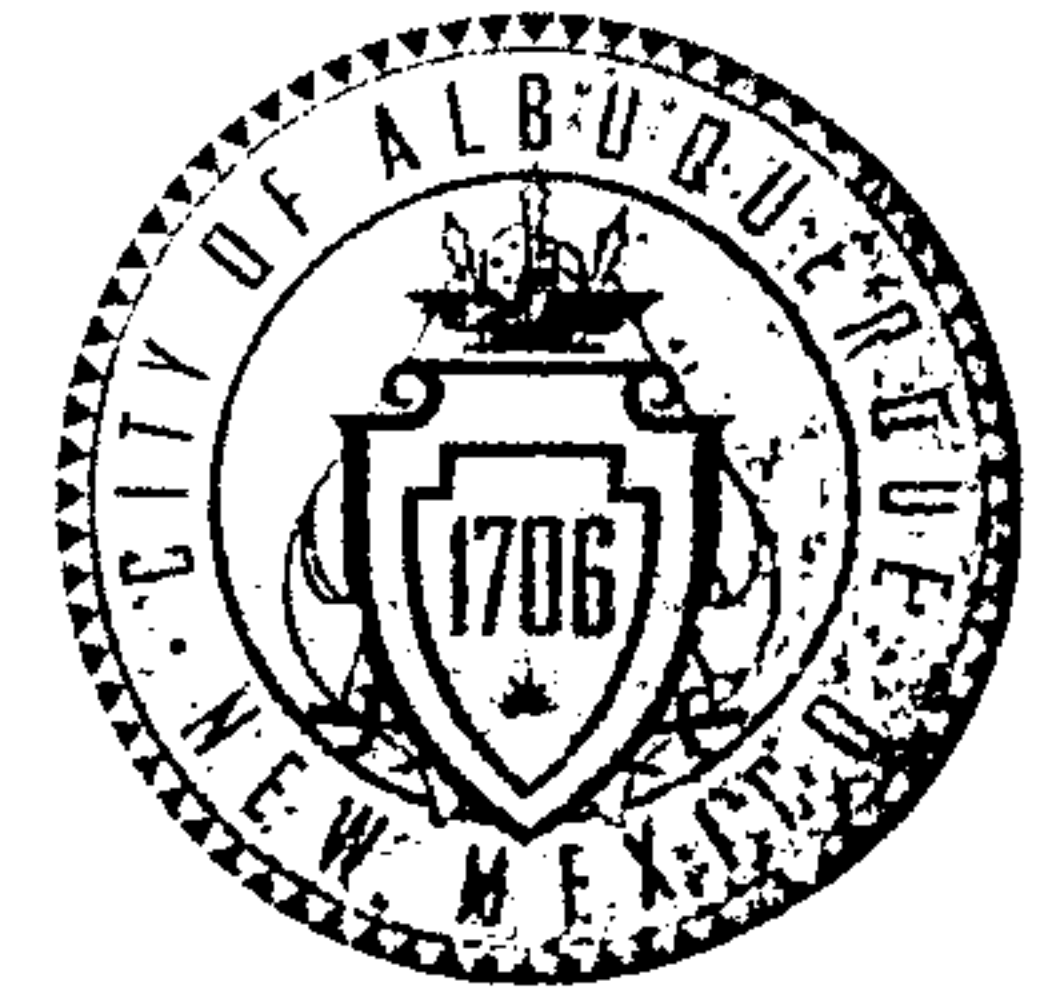
Sincerely,

Curtis A. Cherne

Curtis A. Cherne, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: file
Antoinette Baldonado, Excavation and Barricading
Duane Schmitz, Street/Storm Drain Maintenance

CITY OF ALBUQUERQUE



October 9, 2008

Philip W. Clark, P.E.
Clark Consulting Engineers
19 Ryan Road
Edgewood, NM 87015

Re: Biltwell Buildings, 9001 Pan American Frwy NE, Grading and Drainage Plan

Engineer's Stamp dated 9-29-08 (C18/D037J)

Dear Mr. Clark,

Based upon the information provided in your submittal received 10-1-08, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

- The sidewalk culvert needs to extend to the face of curb.
- The entrance is flat. Provide a water block.
- Provide Top of Wall/Bottom of Wall grades for the retaining wall east of the entrance.
- Provide proposed grades along the east edge of the gravel parking area in the drainage easement and along the northern boundary. Runoff should not leave this area and drain to the north.
- Is the Drainage Easement to the City or to AMAFCA? Provide documentation.

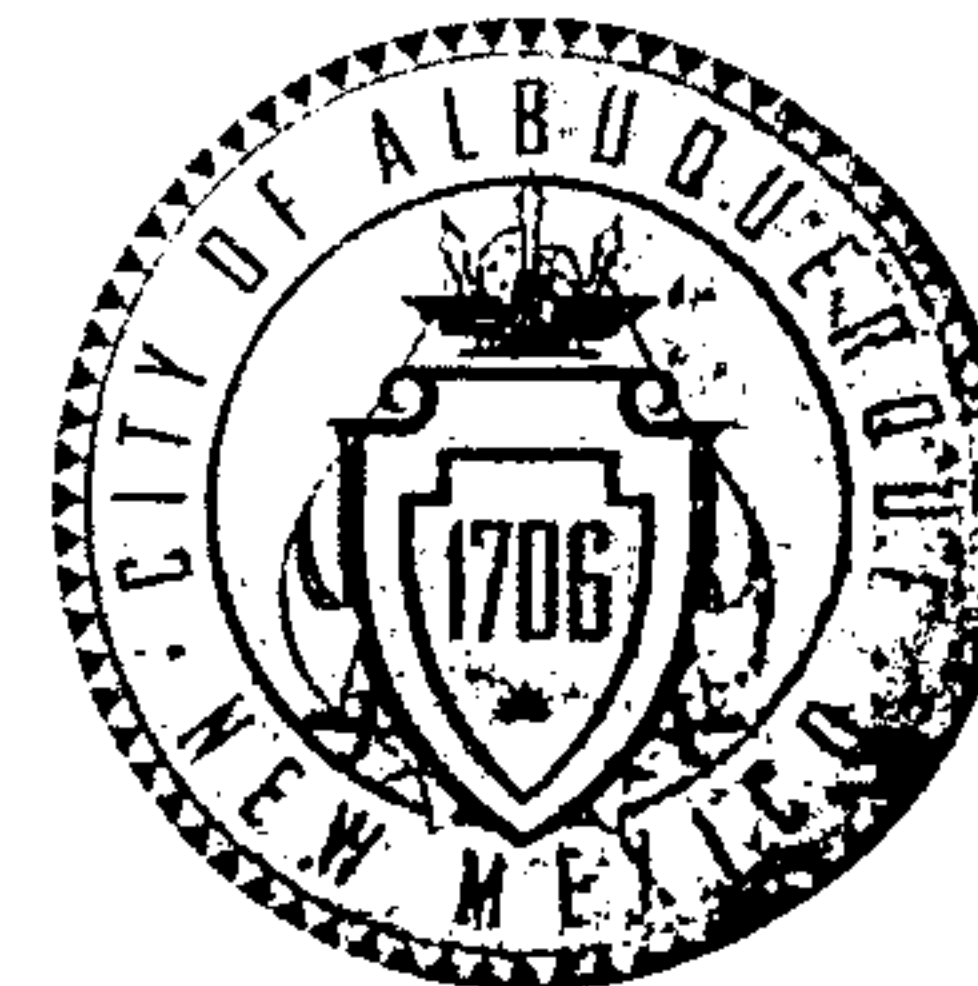
If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: file

CITY OF ALBUQUERQUE



September 2, 2008

Philip W. Clark, P.E.
Clark Consulting Engineers
19 Ryan Road
Edgewood, NM 87015

Re: Biltwell Buildings, 9001 Pan American Frwy NE, Grading and Drainage Plan

Engineer's Stamp dated 7-22-08 (C18/D037J)

Dear Mr. Clark,

Based upon the information provided in your submittal received 7-23-08, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

- The required volume from the pond hydrograph is 2052 cu. ft., but the volume provided is only 2000 cu. ft. Provide the water surface elevation in the pond. Freeboard is also required.
- The water surface elevation should be used in the determination of the release rate when modeling the outlet as an orifice.
- The north and west side of the building should drain south into the parking lot.
- The sidewalk culvert needs to extend to the face of curb.
- AMAFCA approval is required.
- Please provide 2 copies of the plan when an SO 19 is required.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: file

CITY OF ALBUQUERQUE



August 12, 2008

James Benjamin Clark, R.A.
Masterworks Architects, Inc.
516 11th St. NW
Albuquerque, NM 87102

**Re: Speculative Office/Warehouse, 9001 Pan American Freeway NE,
Traffic Circulation Layout, Architect's Stamp dated 8-03-08 (C-18/D037J)**

Dear Mr. Clark,

Based upon the information provided in your submittal received 8-06-08, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

1. ✓ Per the Development Process Manual, Chapter 23, Section 6, Part 6.B, "Where drives are to be constructed on opposite sides of the street, unless they are offset 50' or more, the centerlines need to be within 15' of each other." Therefore, you must relocate the private drive entrance to appropriately line up with the drive pad to the south of Eagle Rock.
2. Please dimension the ADA access aisle.
3. ✓ Call out the queuing distance of the gate. Will this gate remain open during business hours? Please provide more information.
4. ✓ Does the existing ramp at Eagle Rock / I-25 Frontage Road conform to current ADA regulations? If not, this ramp must be rebuilt.
5. Please note that coordination with the New Mexico Department of Transportation (NMDOT) is required to construct sidewalk along the I-25 Frontage Road.

If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File