

FIRM MAP PANELS # 129F/137F

CALCULATIONS

DESIGN CRITERIA
HYDROLOGIC METHODS PER SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL (DPM) REVISED JANUARY 1993 FOR CITY OF ALBUQUERQUE, ADOPTED BY THE COUNTY OF BERNALILLO
DISCHARGE RATE: $Q = Q_{PEAK} \times AREA$. "Peak Discharge Rates For Small Watersheds"
VOLUMETRIC DISCHARGE: $VOLUME = E_{WEIGHTED} \times AREA$
 $P_{100} = 2.60$ inches, Zone 3 Time of Concentration, TC = 10 Minutes
DESIGN STORM: 100-YEAR/6-HOUR, 10-YEAR/6-HOUR [] = 10 YEAR VALUES

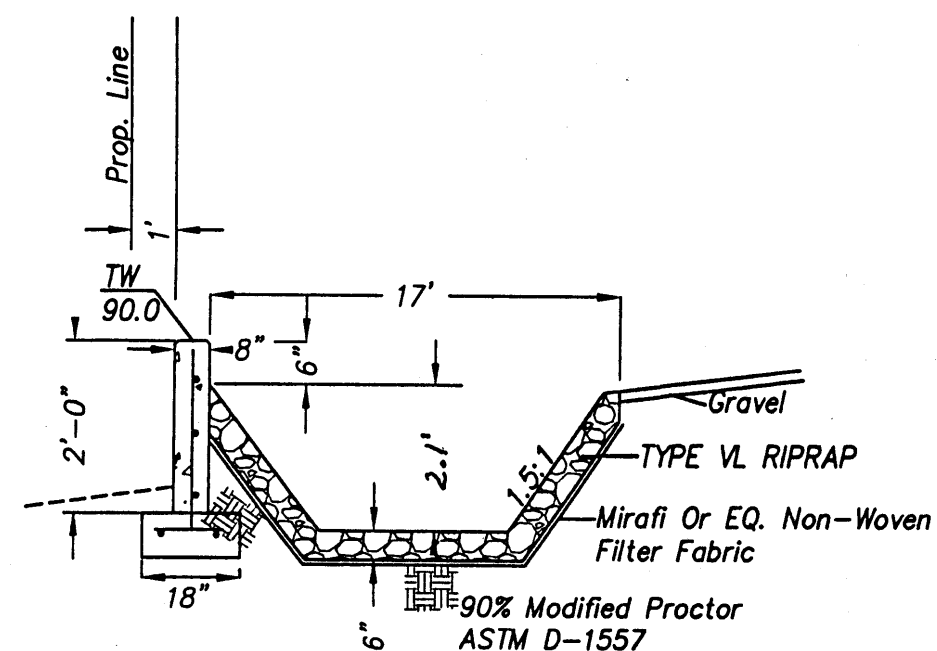
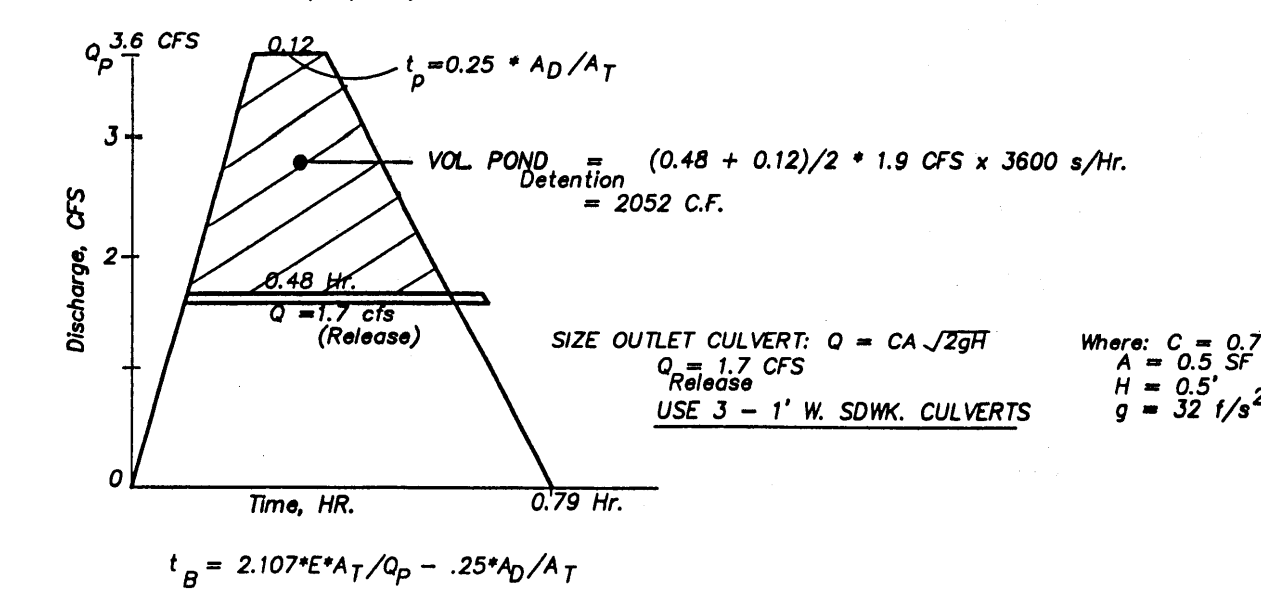
EXISTING CONDITIONS - TOTAL OF TWO LOTS
LOT AREA = 1.17 ACRES, WHERE EXCESS PRECIP. $'A' = 0.68$ in. [0.19]
PEAK DISCHARGE, Q100 = 2.19 CFS [0.68], WHERE UNIT PEAK DISCHARGE $'A' = 1.87$ CFS/AC. [0.58]
THEREFORE: $VOLUME_{100} = 2803$ CF [807]

DEVELOPED CONDITIONS
DETERMINE LAND TREATMENTS, PEAK DISCHARGE AND VOLUMETRIC DISCHARGE FOR STUDY AREA (Excludes AMAFCA Inside New Fence)

UNDEVELOPED	AREA	LAND TREATMENT	Q_{PEAK}	E
LANDSCAPING - POND	0.15 AC. (17%)	B	1.87 [0.58]	0.66 [0.19]
COMPACTED SOIL & Slopes >	0.30 AC. (34%)	C	2.60 [1.19]	0.92 [0.36]
ROOF - PAVEMENT	0.44 AC. (49%)	D	3.45 [2.00]	1.29 [0.62]
	0.89 AC.		5.02 [3.39]	2.36 [1.50]

THEREFORE: $E_{WEIGHTED} = 1.75$ in. [1.0] &
 $Q_{100} = 3.9$ CFS
 $Q_{10} = 2.3$ CFS
THEREFORE: UNIT DISCH. = 4.04 CFS (100-YR.)

DETERMINE POND SIZE
DETENTION POND PER HYDROGRAPH & DPM, Section A.8
STORAGE VOLUME (Required) = VOLUME AREA ABOVE ALLOWABLE RELEASE



POND SECTION NTS

CLASSIFICATION AND GRADATION OF RIPRAP

RIPRAP DESIGNATION	% SMALLER THAN GIVEN SIZE BY WEIGHT	INTERMEDIATE ROCK DIMENSION (IN.)	MEAN PARTICLE SIZE (IN.)
TYPE VI	70-100	12	6
	50-70	9	
	35-50	6	
	2-10	2	

I, PHILIP W. CLARK, A PROFESSIONAL ENGINEER LICENSED IN ACCORDANCE WITH THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT I HAVE VISITED THE SITE SHOWN HEREON, AND THAT THE CONTOURS SHOWN REPRESENT THE EXISTING GROUND CONDITIONS, AND DO FURTHER CERTIFY THAT NO EARTHWORK OF ANY KIND, NOR ANY DISTURBANCE OF THE EXISTING GROUND HAS OCCURRED ON THIS SITE SINCE THE CONTOURS WERE DETERMINED.

PHILIP W. CLARK NMPE #10285

GRADING & DRAINAGE PLAN

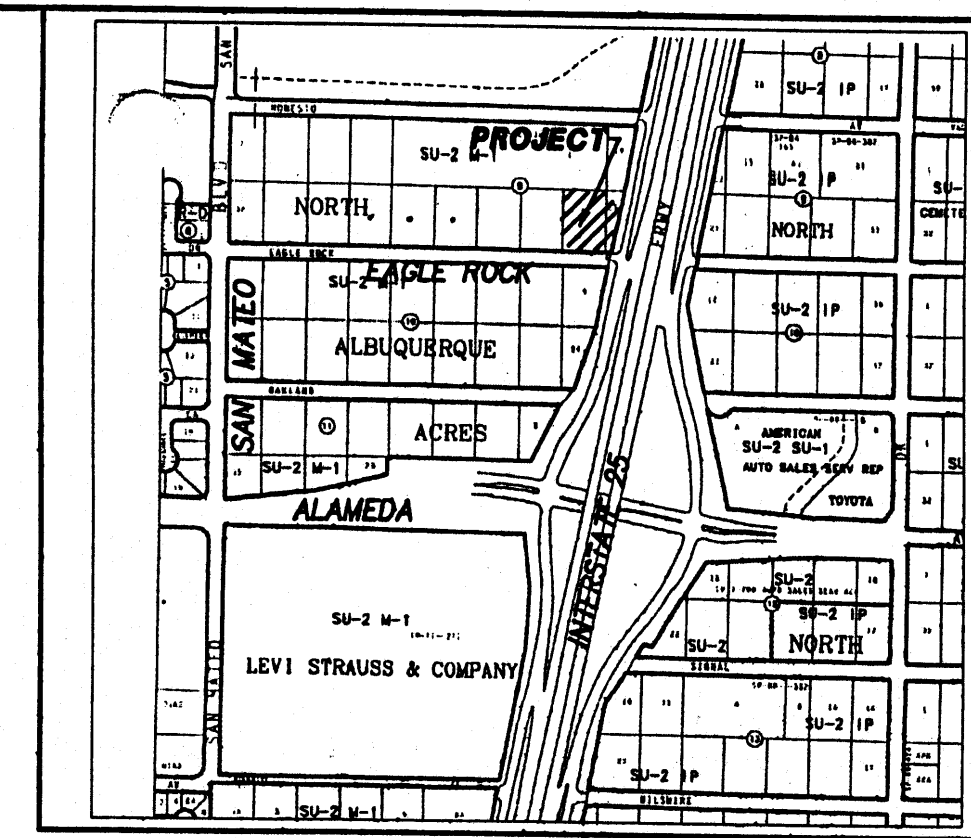
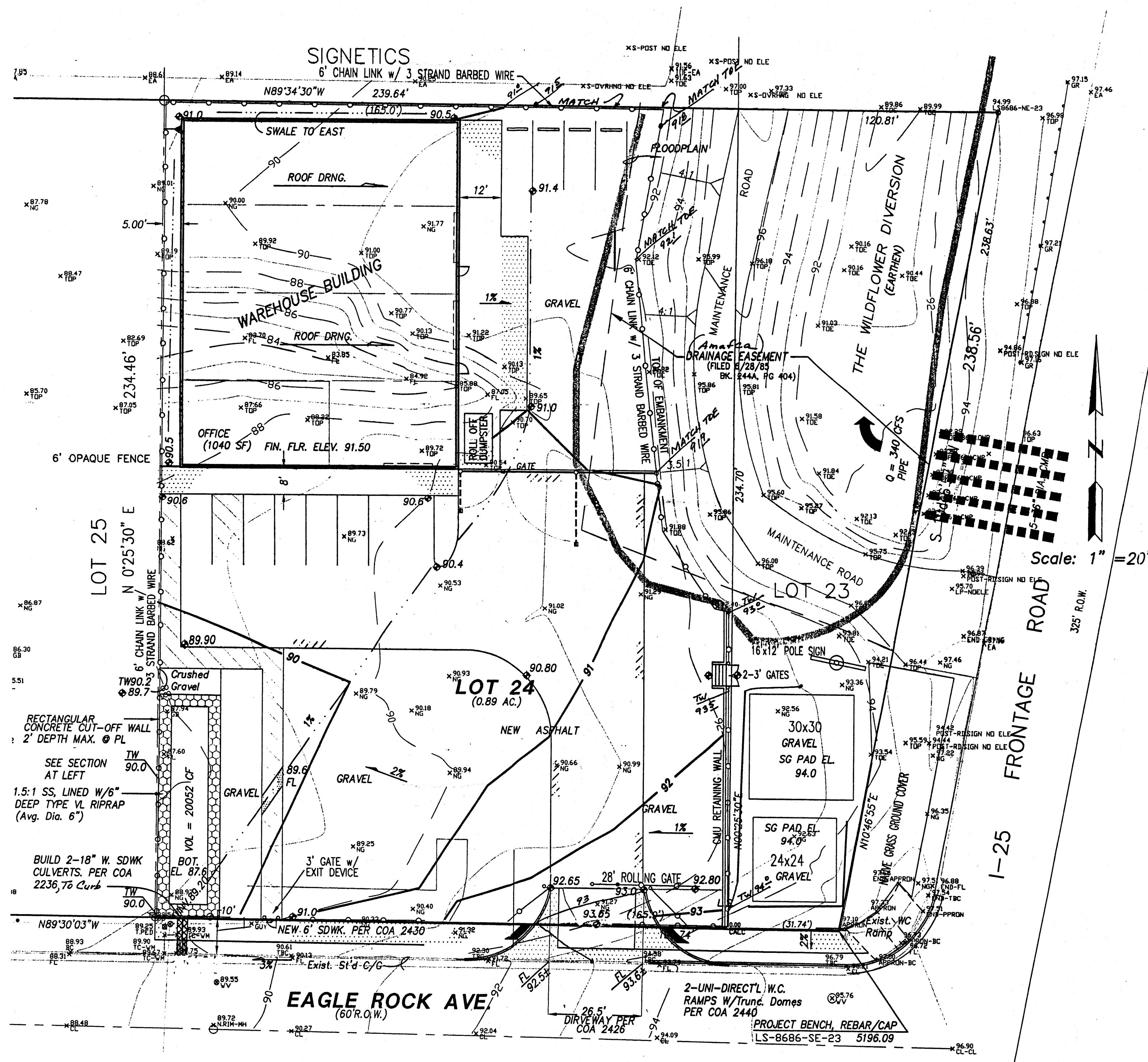
THE PROPOSED COMMERCIAL-WAREHOUSE PROJECT IS LOCATED IN THE NORTH ALBUQ. ACRES AREA OF ALBUQUERQUE ON EAGLE ROCK AVENUE IMMEDIATELY WEST OF I-25. THE GRADING AND DRAINAGE SCHEME HEREON IS IN COMPLIANCE WITH THE BERNALILLO COUNTY FLOOD HAZARD ORDINANCE, NO.88-46, AND THE CITY STORM DRAINAGE ORDINANCE. THE PLAN IS REQUIRED IN ORDER TO FACILITATE THE OWNER'S REQUEST FOR SITE DEVELOPMENT PLAN & BUILDING PERMIT. THE PLAN SHOWS:

1. EXISTING CONTOURS, AND SPOT ELEVATIONS AND EXISTING DRAINAGE PATTERNS AND IMPROVEMENTS.
2. PROPOSED IMPROVEMENTS: 8000 SF OF OFFICE-WAREHOUSE BUILDING, ASPHALT DRIVE/PARKING, CONCRETE FLAT WORK, NEW GRADE ELEVATIONS, REFUSE LOCATION, AND LANDSCAPING.
3. CONTINUITY BETWEEN EXISTING AND PROPOSED ELEVATIONS.
4. QUANTIFICATION OF DEVELOPED FLOWS GENERATED BY THE IMPROVEMENTS WHICH CONTRIBUTE TO THE EXISTING FLOWS.

PRESENTLY, THE SITE IS A DIRT-VEGETATED SURFACE. THE SITE IS BOUNDED BY DEVELOPED COMMERCIAL/INDUSTRIAL ZONED FACILITIES. THE SITE FALLS APPROXIMATELY 3% FROM EAST TO WEST.

EAGLE ROCK AVENUE IS A MAJOR LOCAL STREET WITH 2 LANES, WITH CURB, GUTTER AND DETACHED SIDEWALKS. SITE RUNOFF WILL BE ALLOWED TO DRAIN THROUGH THE SITE, AND PONDED IN DEPRESSED LANDSCAPE AREAS. THE SITE HAS HISTORICALLY DRAINED TO THE WEST AND NORTH VIA A COMBINATION OF OVERLAND SHEET AND GULLIED FLOW.

HISTORICAL DOWNSTREAM OUTFALL LOCATIONS WILL REMAIN UNCHANGED WITH DEVELOPMENT. FREE DISCHARGE OF A PORTION OF SITE RUNOFF IS ACCEPTABLE SINCE PARTIAL DOWNSTREAM CAPACITY EXISTS. A PORTION OF SITE RUNOFF IS ROUTED THROUGH PROPOSED LANDSCAPING.



VICINITY MAP ZONE C-18 Scale: 1" = 780'

NOTES

1. ALL WORK WITHIN THE RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECS. FOR PUBLIC WORKS CONSTRUCTION, 7TH EDITION W/ UPDATES.
2. AN EXCAVATION/CONSTRUCTION PERMIT IS REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY R.O.W. AN APPROVED COPY OF THIS PLAN MUST BE SUBMITTED AT THE TIME OF APPLICATION.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. ALL LANDSCAPING AREA SHALL BE SOFT-LINED WITH NATIVE VEGETATION AND/OR GRAVEL. ASPHALT PARKING AREA SHALL DRAIN DIRECTLY TO EXISTING CURB CUT.
5. LANDSCAPING IRRIGATION SYSTEM SHALL BE DRIP-TYPE. CONTRACTOR SHALL INSTALL SYSTEM PRIOR TO PLACEMENT OF PAVING.
6. CONTRACTOR SHALL ENSURE THAT NO SITE SOILS/SEDIMENT OR SILT ENTER THE RIGHT-OF-WAYS DURING CONSTRUCTION.
7. REVEGETATE ALL AREAS DISTURBED DUE TO CONSTRUCTION PER CITY OF ALBUQ. SPEC. 1011, NATIVE SEED MIX.
8. MAXIMUM SITE GRADING WITHOUT EROSION PROTECTION: 3 HORIZONTAL TO 1 VERTICAL 3:1. ALL DIMENSIONS TO FACE OF CURB, UNLESS NOTED OTHERWISE.
9. REMOVE/REPLACE EXISTING CURB WITH STD. 8" COA CURB/GUTTER. PER DWG. 2415A, if applicable.

LEGEND

EXIST. SPOT ELEVATION	+24.0
EXIST. CONTOUR	10
NEW SPOT ELEVATION	24.0
NEW CONTOUR	12
NEW SWALE	
DRAINAGE DIRECTION, EXISTING	
NEW CONCRETE CURB (0.5' HEIGHT)	
NEW P.C.C., CONCRETE	
TOP OF CURB, EXISTING	TBC
FLOWLINE	FL
FACE OF CURB/FACE OF CURB	F-F
EXISTING TOP OF ASPHALT CURB	TAC
EXIST. TOP OF ASPHALT	TA
EXIST. GROUND	G
EXIST. EDGE OF CONCRETE	EC
DOWNSPOUT	DS
LANDSCAPING	LS

NOTICE TO CONTRACTORS

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2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STD. SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 7TH EDITION, AND AMENDMENT #1.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT THE LINE LOCATING SERVICE, NM ONE CALL 280-1990, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.

APPROVAL NAME	DATE

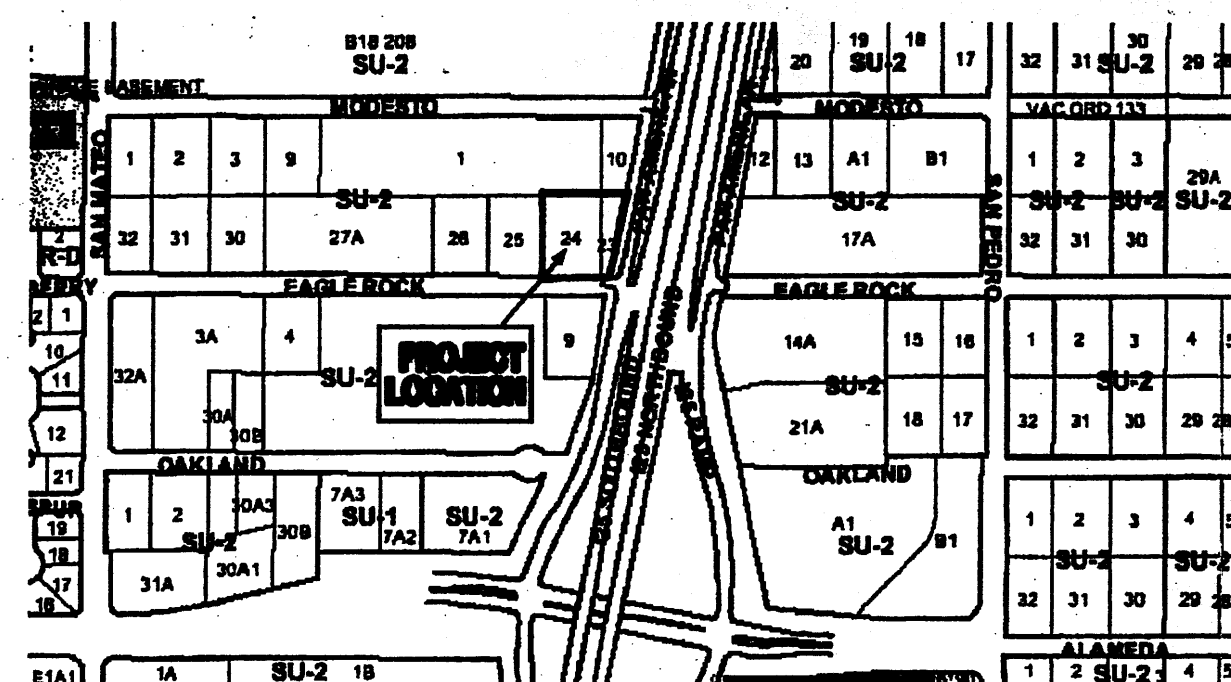
PROJECT DATA

LEGAL DESCRIPTION (Existing Platting)
LOTS 23 & 24, BLOCK 9, UNIT B, TRACT A, NORTH ALBUQUERQUE ACRES, Albuquerque, Bernalillo County, New Mexico

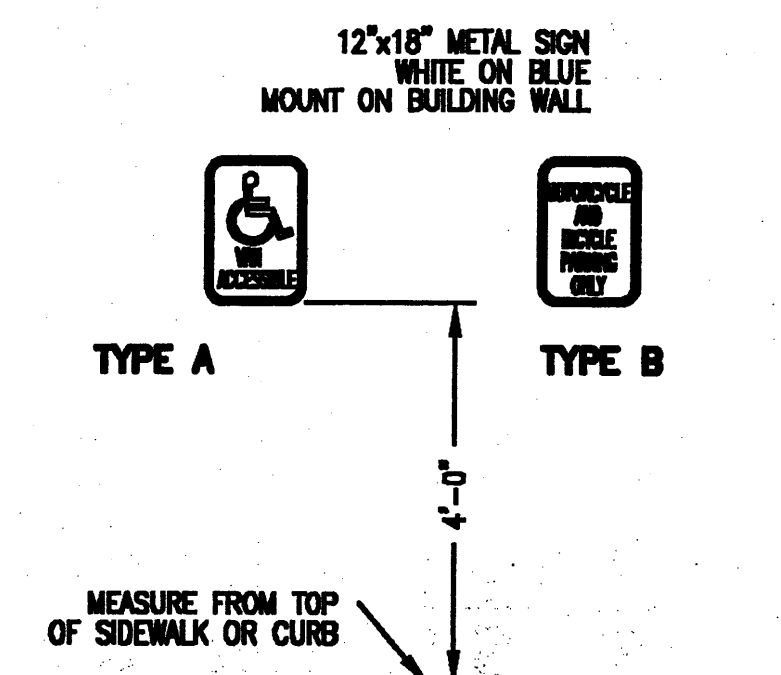
PROJECT BENCHMARK
GPS, TO ACS, NAVD 88 DATUM, SEE PLAN, SE CORNER OF LOT 23.

TOPOGRAPHIC DESIGN SURVEY
Compiled by Clark Consulting Engineers From Design Survey Performed By TERRAMETRICS (PHIL TURNER, PS), 6/08

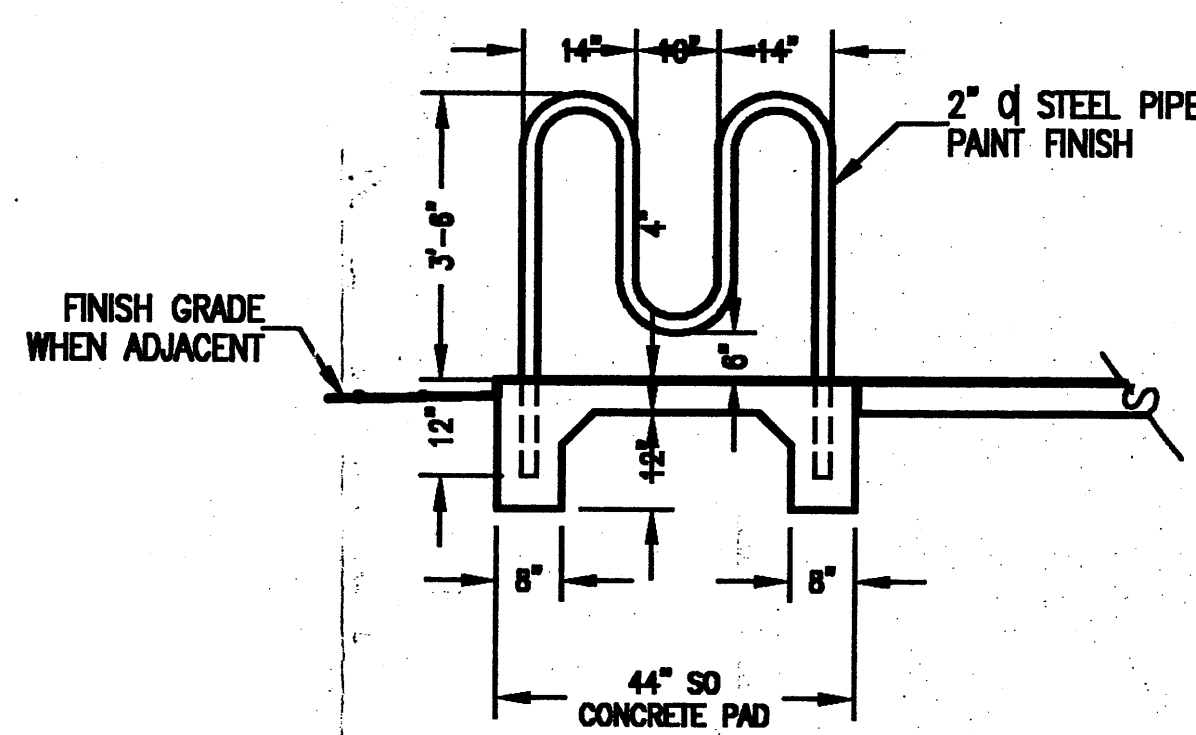
Clark Consulting Engineers 19 Ryan Road Edgewood, New Mexico 87015 Tel: (505) 281-2444 Fax: (505) 281-2444	
DATE 9/29/08 10/13/08 305 RUC	REVISION 2nd RUC 3rd RUC 4th RUC
LOTS 23 & 24, BLOCK 9, UNIT B, TRACT A NORTH ALBUQUERQUE ACRES BILTWELL BUILDINGS EAGLE ROCK AVENUE NE Grading & Drainage Plan	
DESIGNED BY: PWC CHECKED BY: PWC	DRAWN BY: CCE DATE: 7/10/08 JOB #: BILTWELL FILE #: G/D



2 LOCATION MAP
NO SCALE



3 PARKING SIGNS
SCALE: 1/2" = 1'-0"



4 BIKE RACK
SCALE: 1/2" = 1'-0"

PARKING CALCULATIONS

AUTOMOBILES AND LIGHT TRUCKS
OFFICE OCCUPANCY: 1,000 SQ. FT. = 5 SPACES
1 SPACE PER 200 SQ. FT.
WAREHOUSE OCCUPANCY: 7,000 SQ. FT. = 4 SPACES
1 SPACE PER 2,000 SQ. FT.
TOTAL REQUIRED PARKING SPACES: 9 SPACES

DISABLED PARKING SPACES
TOTAL REQUIRED SPACES FOR AUTOMOBILES AND LIGHT TRUCKS: 9 SPACES
REQUIRED NUMBER OF DESIGNATED DISABLED SPACES: 1 SPACE
TOTAL DISABLED SPACES PROVIDED: 1 SPACE

MOTORCYCLES
TOTAL REQUIRED SPACES FOR AUTOMOBILES AND LIGHT TRUCKS: 9 SPACES
REQUIRED NUMBER OF MOTORCYCLE SPACES: 2 SPACES
TOTAL MOTORCYCLE SPACES PROVIDED: 2 SPACES

BICYCLES
TOTAL REQUIRED SPACES FOR AUTOMOBILES AND LIGHT TRUCKS: 9 SPACES
REQUIRED NUMBER OF BICYCLE SPACES: 2 SPACES
TOTAL BICYCLE SPACES PROVIDED: 2 SPACES

LANDSCAPE CALCULATIONS:

REQUIRED LANDSCAPE AREA
GROSS LOT AREA: 51,015.3 GSF
AREA BEHIND 6" OPAQUE FENCE: Less 23,887.4 GSF
BUILDING FOOTPRINT: Less 8,000.0 GSF
NET LOT AREA: 19,127.9 NSF
X 15%
REQUIRED AREA: 2,869 GSF

LANDSCAPE PROVIDED
LANDSCAPE AREA 1: 812 SF
LANDSCAPE AREA 2: 558 SF
LANDSCAPE AREA 3: 1,427 SF
LANDSCAPE AREA 4: 292 SF
TOTAL PROVIDED: 3,089 GSF
HIGH WATER TURF PROVIDED: -0- SF

IBC CODE ANALYSIS:

OCCUPANCY TYPE: B-OFFICE 1,000 SF
S-1 STORAGE 7,000 SF
TOTAL BUILDING AREA 8,000 GSF

NEW BUILDING: BASIC ALLOWABLE AREA: 17,500 GSF
CONST TYPE II-B NON-COMBUSTIBLE 8,000 GSF
ACTUAL FLOOR AREA: 8,000 GSF

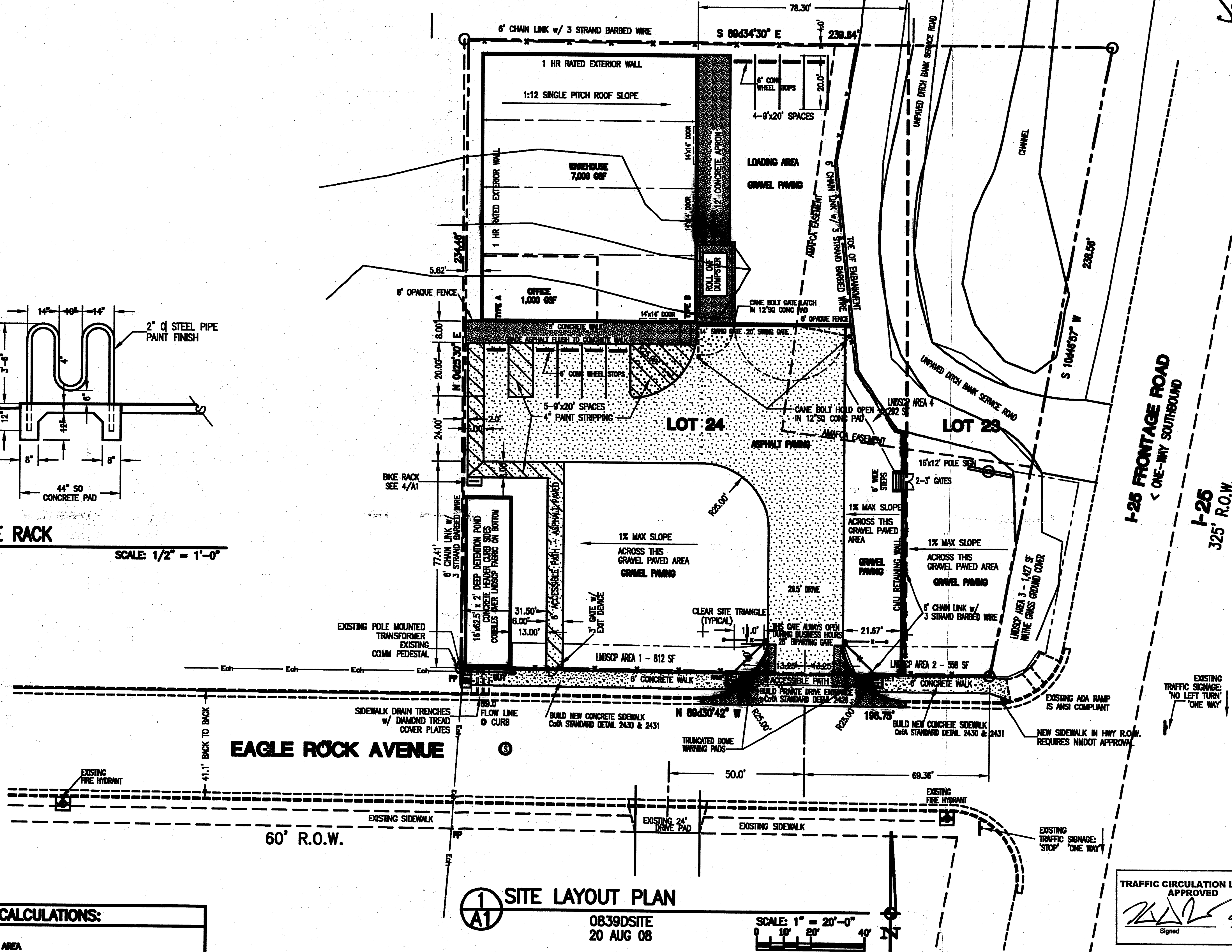
EXTERIOR WALL FIRE PROTECTION: PROPERTY LINE SETBACK DISTANCE 5' to 10' 1 HR RATED WALL FIRE BOTH SIDES

LEGAL DESCRIPTION:

LOTS 23 AND 24, BLOCK 9
NORTH ALBUQUERQUE ACRES
TRACT A, UNIT B
ALBUQUERQUE, NEW MEXICO

ZONING SU-2 / M-1
ZONE MAP C-18

LOT 24 - UPC 101808414049020909 - 0.922 AC
LOT 23 - UPC 101808415249020910 - 0.255 AC
LOTS ARE WITHIN CORONADO LAND FILL 1,000 FT BUFFER ZONE



1 SITE LAYOUT PLAN
0839DSITE
20 AUG 08
SCALE: 1" = 20'-0"
0 10' 20' 40'

TRAFFIC CIRCULATION LAYOUT
APPROVED
9/26/08
Signed
Date

RECEIVED
DEC 16 2009
HYDROLOGY
SECTION

RECEIVED
SEP 16 2008
HYDROLOGY
SECTION

ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.

Public Infrastructure shown
on these plans for information
only and not part of approval.
Separate DRC/Permit approval
and Work Order required.

A NEW SPECULATIVE BUILDING FOR
ROBERT TRYER
9001 PAN AMERICAN FRWY NE
ALBUQUERQUE, NEW MEXICO 87113

TRAFFIC CIRCULATION LAYOUT
SITE LAYOUT PLAN
CODE REQUIREMENTS

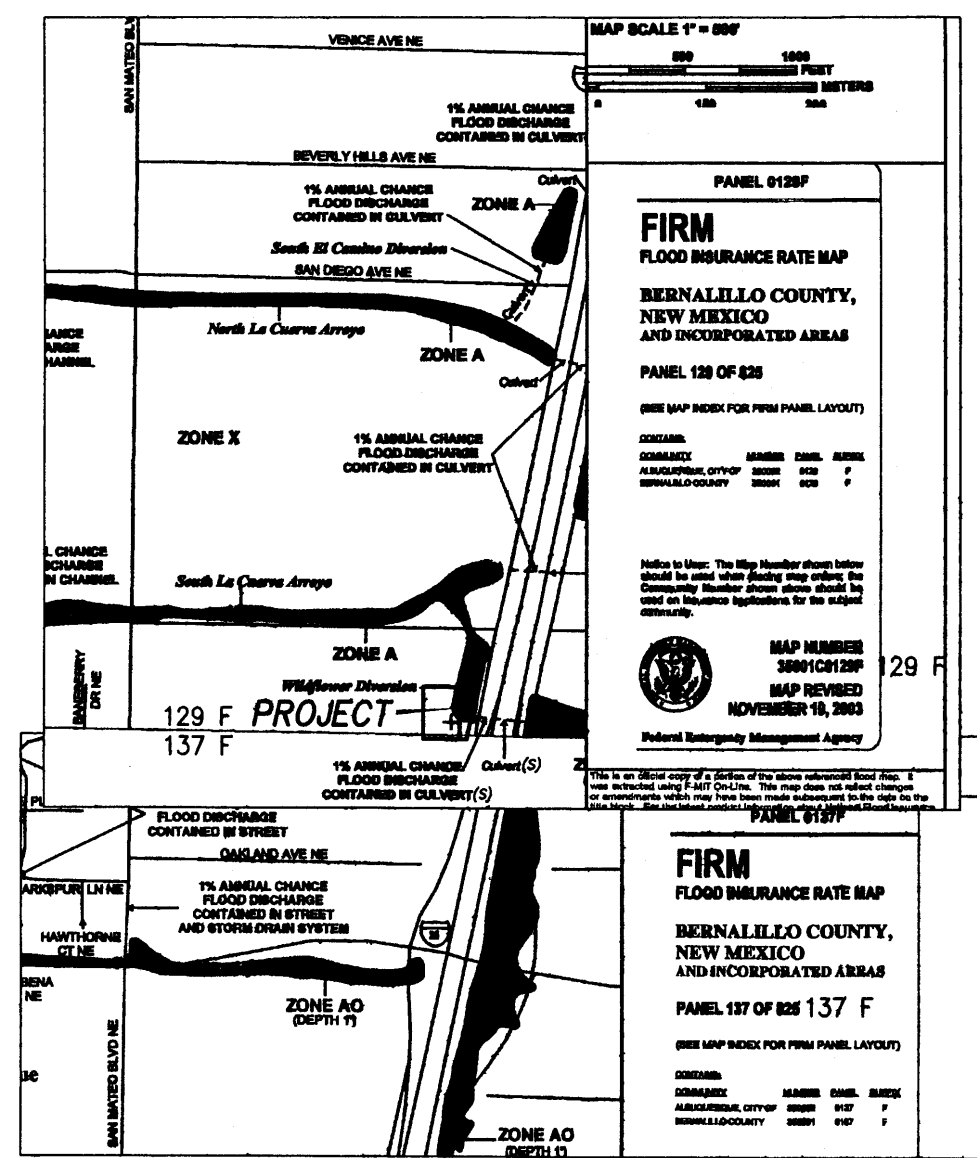
SHEET
A1
OF 01

FILE # 0839DSITE
15 SEP 08

MASTERWORKS
ARCHITECTS, INC
516 ELEVENTH ST NW 242-1866
ALBUQUERQUE, NEW MEXICO 87102

JAMES BENJAMIN
CLARK III
1047
REGISTERED ARCHITECT

0839 D SITE / 15 SEP 08



FIRM MAP PANELS # 129F/137F

CALCULATIONS

DESIGN CRITERIA

HYDROLOGIC METHODS PER SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL (DPM) REVISED JANUARY 1993 FOR CITY OF ALBUQUERQUE, ADOPTED BY THE COUNTY OF BERNALILLO. DISCHARGE RATE: $Q = Q_{PEAK} \times AREA$. "Peak Discharge Rates For Small Watersheds". VOLUMETRIC DISCHARGE: $VOLUME = E_{WEIGHTED} \times AREA$. $P_{100} = 2.60$ inches, Zone 3. Time of Concentration, $TC = 10$ Minutes. DESIGN STORM: 100-YEAR/6-HOUR, 10-YEAR/6-HOUR [] = 10 YEAR VALUES.

EXISTING CONDITIONS - TOTAL OF TWO LOTS

LOT AREA = 1.17 ACRES, WHERE EXCESS PRECIP. "A" = 0.68 in. [0.19]. PEAK DISCHARGE, $Q_{100} = 2.19$ CFS [0.68], WHERE UNIT PEAK DISCHARGE "A" = 1.87 CFS/AC. [0.58] THEREFORE: $VOLUME_{100} = 2803$ CF [807].

DEVELOPED CONDITIONS

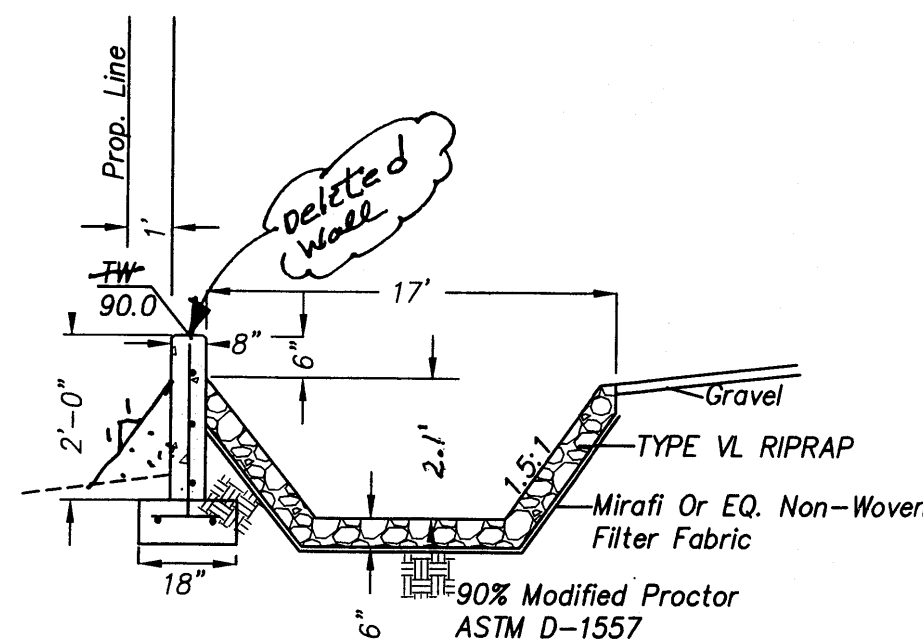
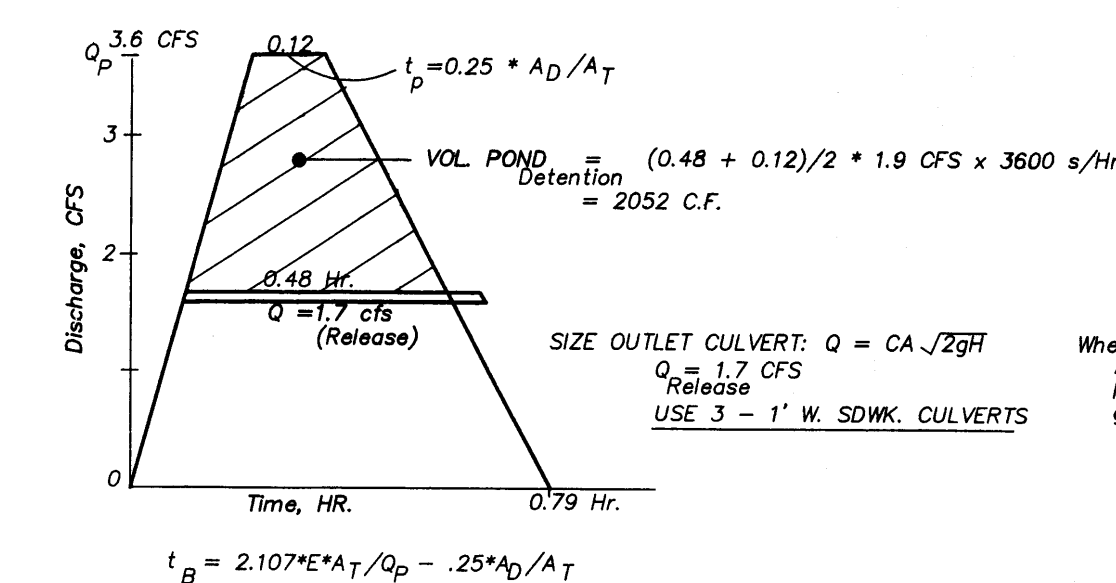
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AREA	LAND TREATMENT	Q_{Peak}	E
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LANDSCAPING - POND	0.15 Ac. (17%)	2.60 [1.19]	0.92 [0.36]
COMPACTED SOIL & Slopes >	0.30 Ac. (34%)	3.45 [2.00]	1.29 [0.62]
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	0.89 Ac.		

THEREFORE: $E_{Weighted} = 1.75$ in. [1.0] & $Q_{100} = 3.6$ CFS. $Q_{10} = 2.3$ CFS. $VOLUME_{100} = 5654$ CF. $VOLUME_{10} = 3230$ CF. THEREFORE: UNIT DISCH. = 4.04 CFS (100-YR.).

DETERMINE POND SIZE

DETENTION POND PER HYDROGRAPH & DPM, Section A.8. STORAGE VOLUME (Required) = VOLUME AREA ABOVE ALLOWABLE RELEASE.



POND SECTION NTS

CLASSIFICATION AND GRADATION OF RIPRAP

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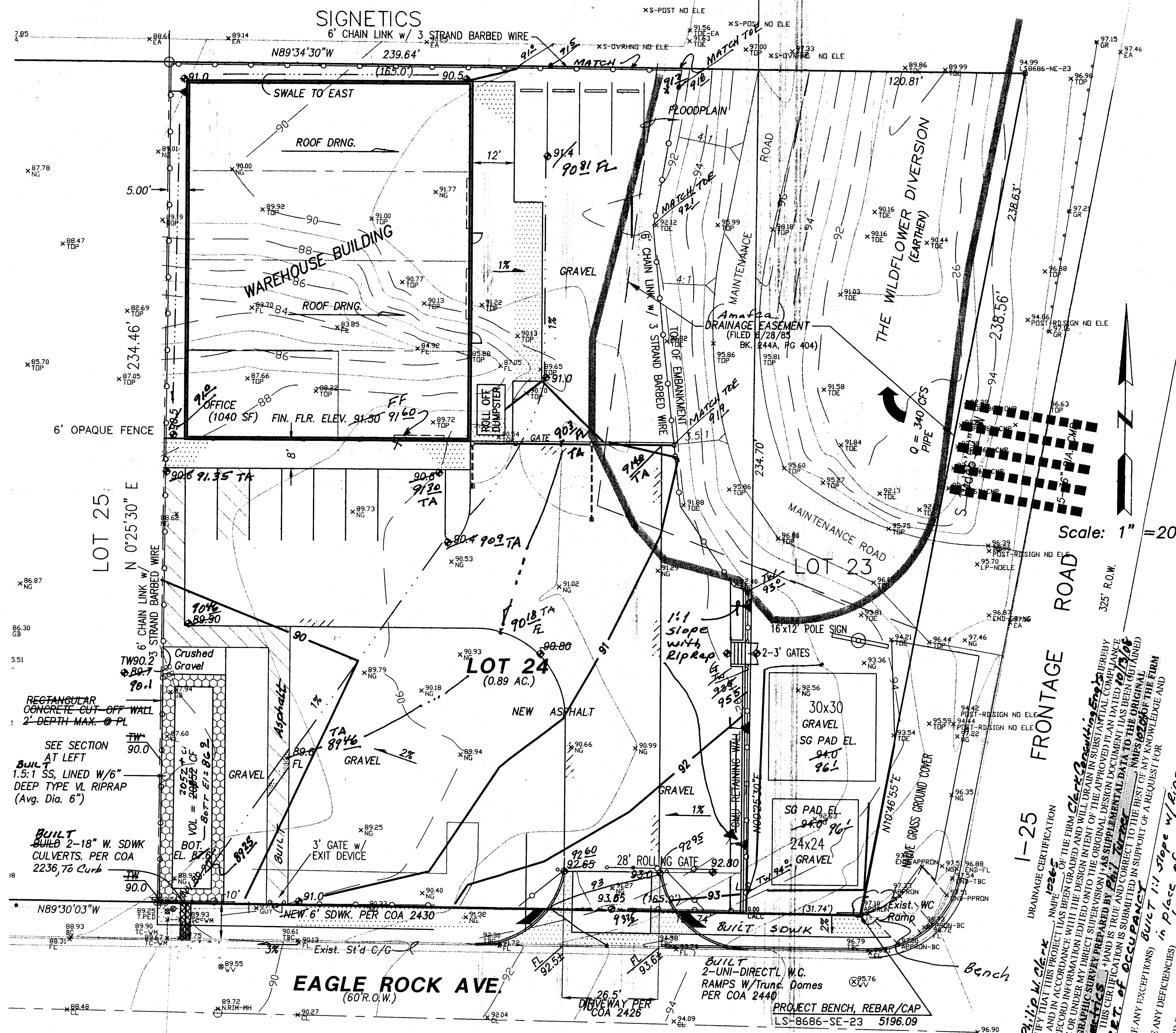
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- REMOVE/REPLACE EXISTING CURB WITH STD. 8" COA CURB/GUTTER. PER DWG. 24154, IF APPLICABLE.

LEGEND

As-Built Elev.	90.18
EXIST. SPOT ELEVATION	+24.0
EXIST. CONTOUR	10
NEW SPOT ELEVATION	+24.0
NEW CONTOUR	12
NEW SWALE	
DRAINAGE DIRECTION, EXISTING	
NEW CONCRETE CURB (0.5' HEIGHT)	
NEW P.C.C., CONCRETE	
TOP OF CURB, EXISTING	TBC
FLOWLINE	FL
FACE OF CURB/FACE OF CURB	F-F
EXISTING TOP OF ASPHALT CURB	TAC
EXIST. TOP OF ASPHALT	TA
EXIST. GROUND	G
EXIST. EDGE OF CONCRETE	EC
DOWNSPOUT	DS
LANDSCAPING	LS

NOTICE TO CONTRACTORS

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APPROVAL NAME	DATE
Philip W. Clark	9/29/08

PROJECT DATA

LEGAL DESCRIPTION (Existing Platting)

LOTS 23 & 24, BLOCK 9, UNIT B, TRACT A, NORTH ALBUQUERQUE ACRES, Albuquerque, Bernalillo County, New Mexico

PROJECT BENCHMARK

GPS, TO ACS, NAVD 88 DATUM, SEE PLAN, SE CORNER OF LOT 23.

TOPOGRAPHIC DESIGN SURVEY

Compiled by Clark Consulting Engineers From Design Survey Performed By TERRAMETRICS (PHIL TURNER, PS), 6/08

HYDROLOGIC SECTION
Clark Consulting Engineers
19 Ryan Road
Edgewood, New Mexico 87015
Tel: (505) 281-2444 Fax: (505) 281-2444

DATE	REVISION	LOTS 23 & 24, BLOCK 9, UNIT B, TRACT A NORTH ALBUQUERQUE ACRES
9/29/08	2nd r. COA	BILTWELL BUILDINGS
10/13/08	505 RUC	EAGLE ROCK AVENUE NE
12/12/09	As-Built	Grading & Drainage Plan

DESIGNED BY: PWC	DRAWN BY: CCE	JOB #: BILTWELL
CHECKED BY: PWC	DATE: 7/10/08	FILE #: G/D