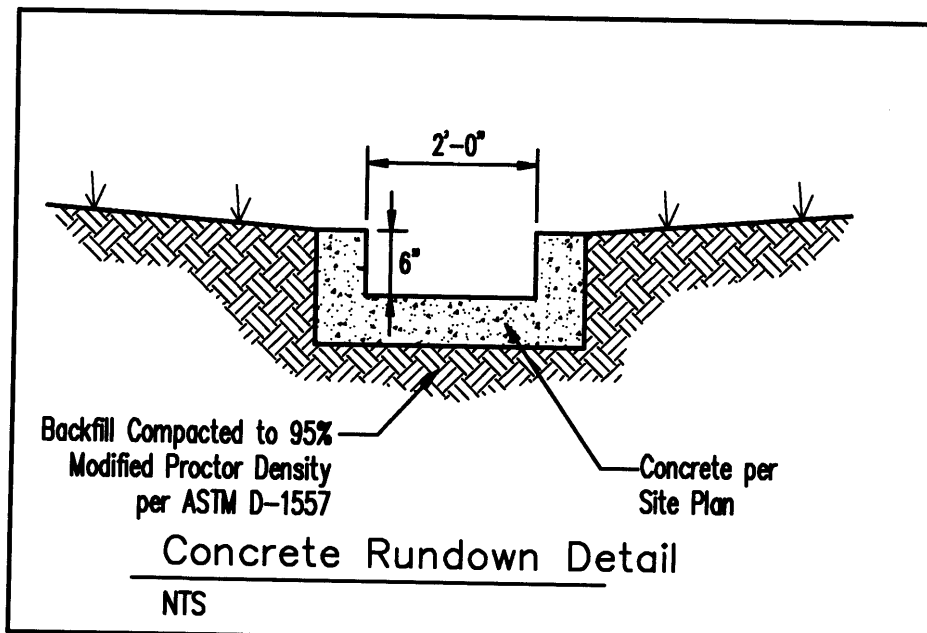


LEGEND

- 27.8 PROPOSED TOP OF GRADE/PVMT ELEVATIONS
- FL27.8 PROPOSED FLOW LINE/GUTTER ELEVATIONS
- TC27.8 PROPOSED TOP OF CURB ELEVATIONS
- 515 EXISTING CONTOUR
- 515 PROPOSED CONTOUR
- EXISTING STORM DRAIN
- FLOW LINE
- RIDGE LINE



Existing Bernitski Eye Care Drainage Calculations (based on COA DPM Section 22.2, Hydrologic Zone 3)								
BASIN	Area (SF)	Area (AC)	Land Treatment Percentages				Q(100) (cfs/ac.)	Q(100) (CFS)
			A	B	C	D		
Site	32,929	0.76	0.0%	50.0%	50.0%	00.0%	3.03	2.29
								1.15
								3,032

Proposed Bernitski Eye Care Drainage Calculations (based on COA DPM Section 22.2, Hydrologic Zone 3)								
BASIN	Area (SF)	Area (AC)	Land Treatment Percentages				Q(100) (cfs/ac.)	Q(100) (CFS)
			A	B	C	D		
Site	32,929	0.76	0.0%	00.0%	10.0%	90.0%	4.86	3.68
								2.25
								6,182

CAUTION - NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

DRAINAGE CERTIFICATION

I, JEFFREY T. WOOTEN, NMPE 16892, OF THE FIRM WOOTEN ENGINEERING, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 05/29/08. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY LARRY W. MEDRANO, NMPS 11993, OF THE FIRM PRECISION SURVEYS, INC. I FURTHER CERTIFY THAT I PERSONALLY VISITED THE PROJECT SITE ON 10/24/08 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR FINAL CERTIFICATE OF OCCUPANCY (FINAL C.O.).

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

JEFFREY T. WOOTEN, NMPE 16892

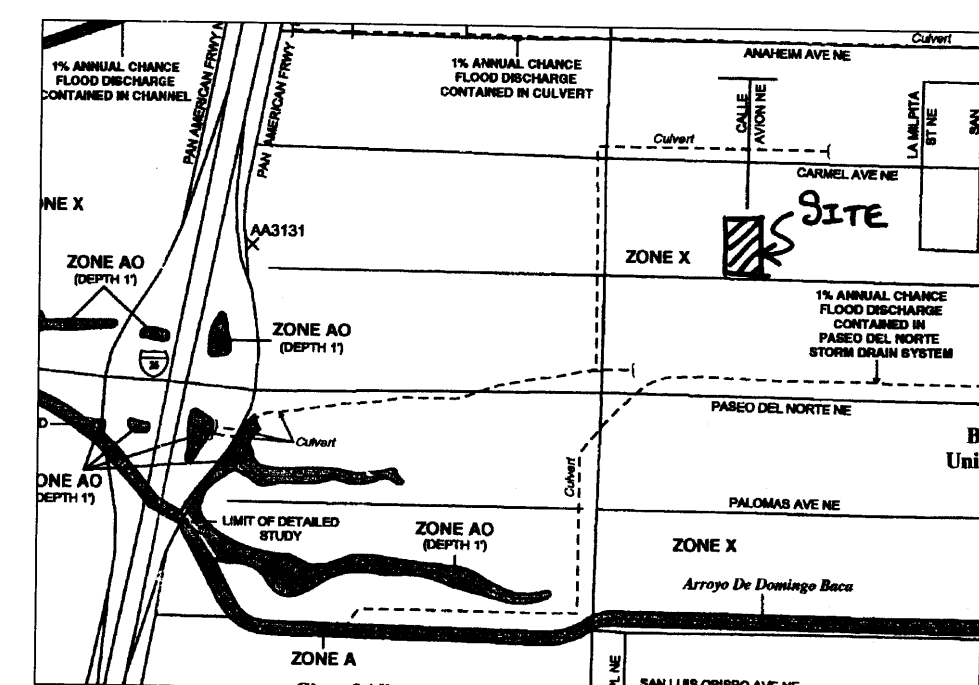
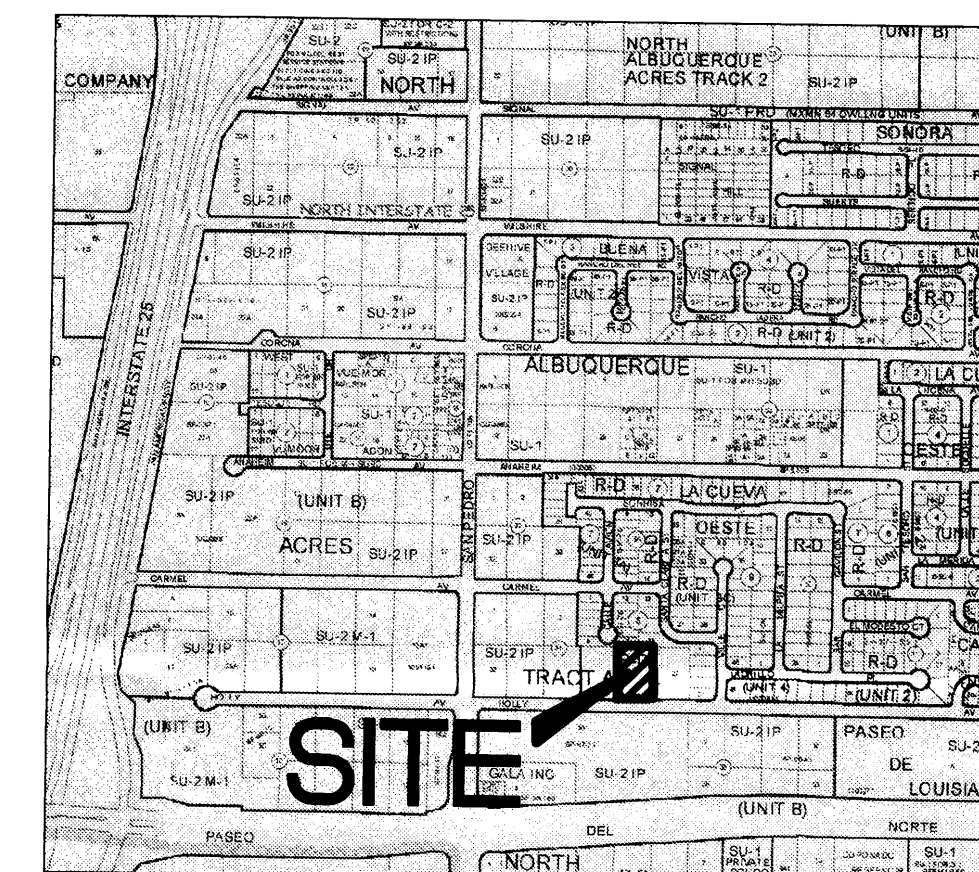
DRAINAGE MANAGEMENT PLAN

INTRODUCTION
The purpose of this submittal is to provide a conceptual and final drainage management plan for the new David Bernitski Eye Care Facility, which includes a new +/- 6,600 square foot building and associated parking areas. The site is located at 6401 Holly Ave NE in Albuquerque, NM, which is near the northeast corner of San Pedro and Holly. The site contains approximately 0.76 acres.

EXISTING HYDROLOGIC CONDITIONS
According to plans developed by Tierra West for Holly Ave, this site is shown to surface flow 100% of the runoff to Holly Ave. The site is part of the Paseo Nuevo campus, which was master planned for drainage. The curb cut onto Holly is existing.

PROPOSED HYDROLOGIC CONDITIONS
According to the Drainage Calculations table, this sheet, the existing runoff from the site show that 2.29 cfs currently leaves the site to the west via surface flow. Analysis for these and all drainage calculations were performed using the COA DPM Section 22.2, released June 1997.

CONCLUSION
This drainage management plan provides for grading and drainage elements which are capable of safely passing the 100 year storm and which meets city requirements. According to the previous approved Drainage Management Plan for the Paseo Nuevo campus, the site is shown to discharge developed flows directly to the southwest corner of the site, without causing a negative impact. With this submittal, we are requesting conceptual grading and drainage plan (Site Plan for Building Permit) approval as well as Building Permit Approval.



FIRM MAP 35001C0137F
Per FIRM Map 35001C0137F, Dated Nov. 9, 2003, the site is located in Zone X Areas determined to be outside the 0.2% chance Annual Floodplain.

NOTICE TO CONTRACTORS

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1990, FOR LOCATION OF EXISTING UTILITIES. (NM ONE CALL = 811)
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

GRADING NOTES

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
- A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND Haul to OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE +/- 0.05' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
- ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIANS AND ISLANDS.
- VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE THE SWPPP DOCUMENT (IF NECESSARY) AND SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.

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CONSULTANT

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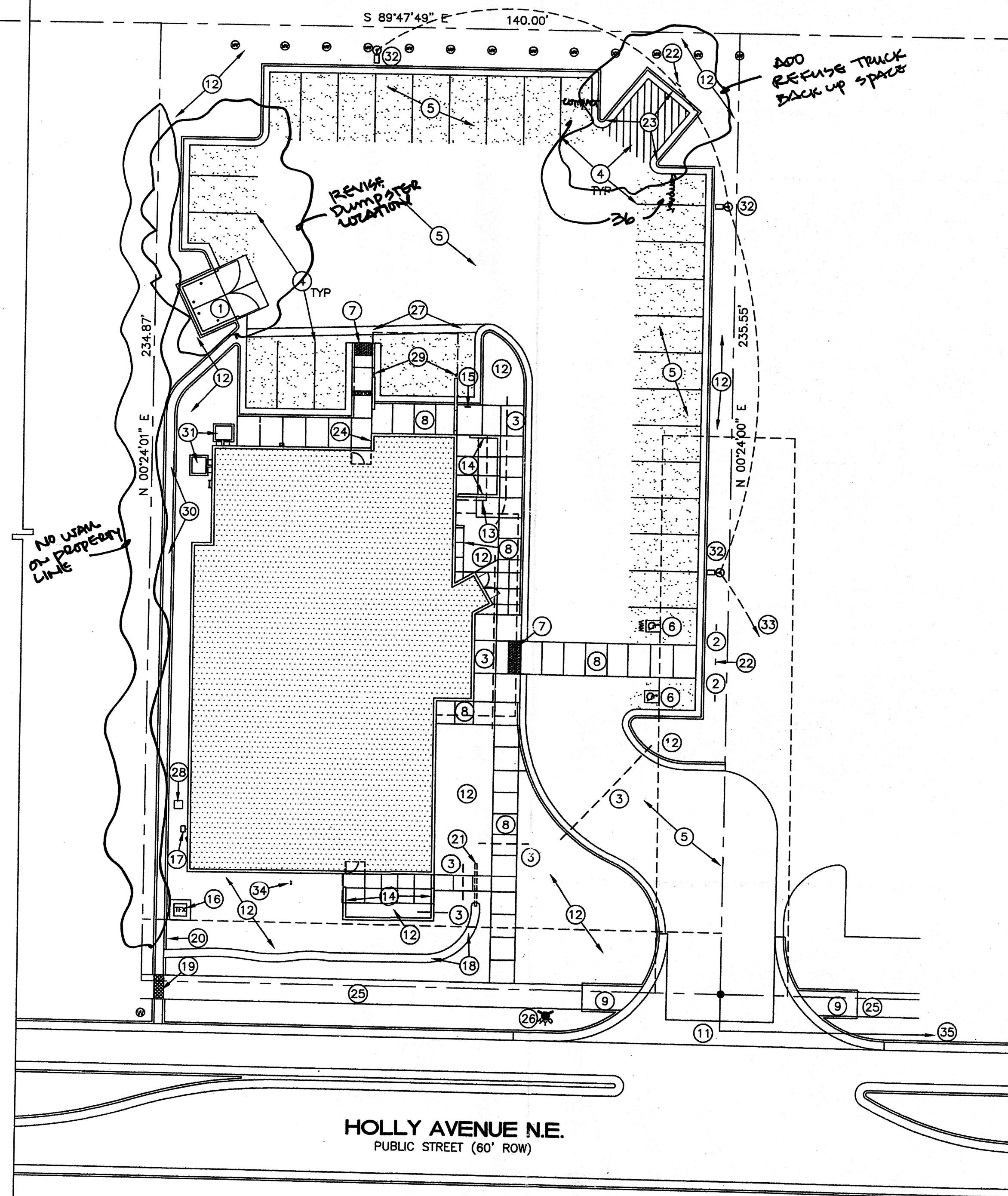
JEFFREY TODD WOOTEN
LICENSED PROFESSIONAL ENGINEER
NEW MEXICO
16892
10/24/08

DAVID BERNITSKY M.D. FACILITY

PROJECT ADDRESS
6401 HOLLY AVE NE
ALBUQUERQUE, NM
87113

MARK DATE DESCRIPTION
ISSUE DATE: 04/03/2008

PROJECT NO:
COPYRIGHT AKT ARCHITECTS, LLC
SHEET TITLE
GRADING/DRAINAGE
PLAN



SITE IMPROVEMENTS PLAN
10 5 0 20
1" = 20'-0"

ADMINISTRATIVE AMENDMENT
File # 081A-10069 Project # 1005132
Additional square footage
Revised elevations
Revise landscaping
Russell Berts 28 May '08
APPROVED BY DATE

GENERAL NOTES:

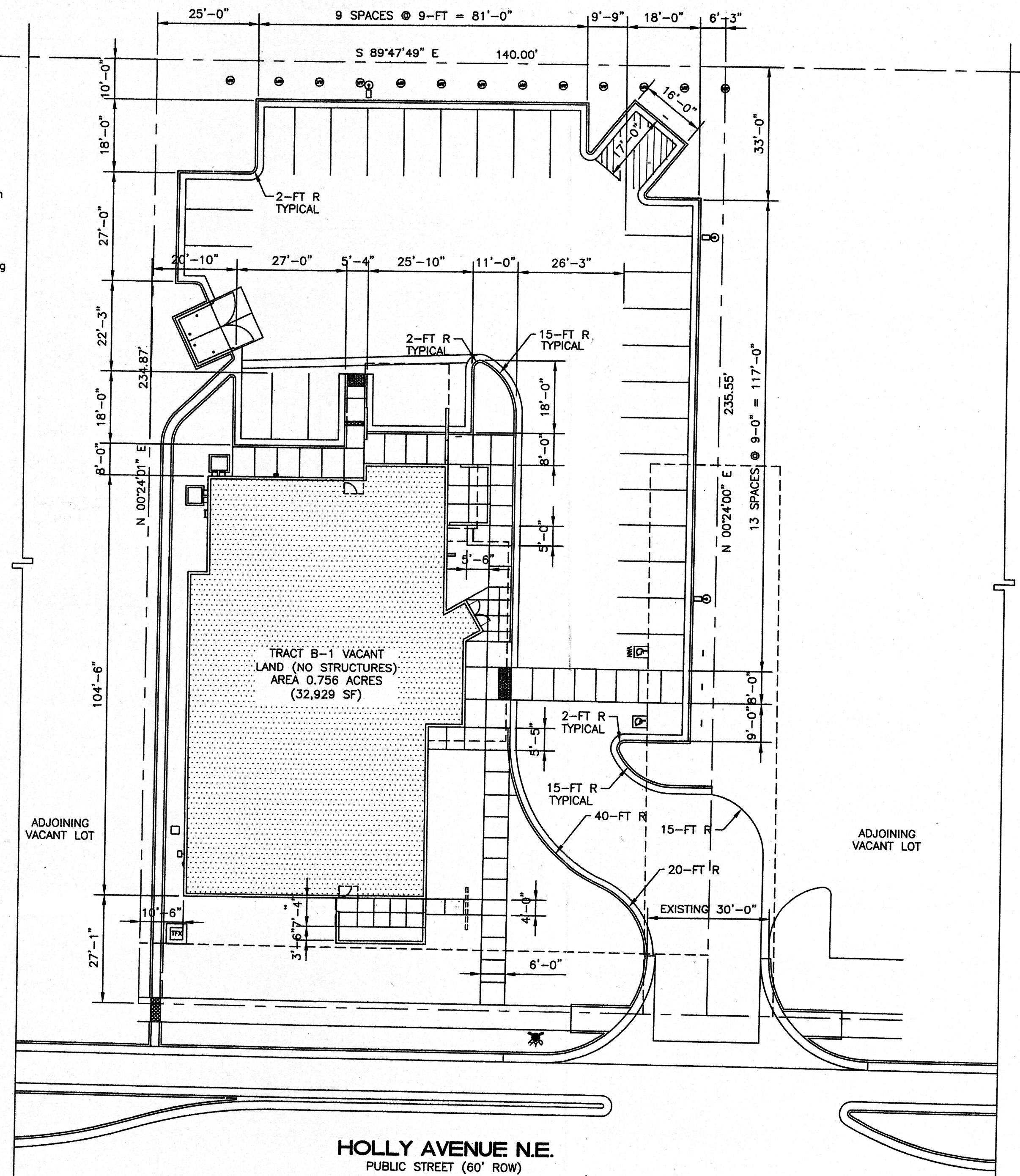
1. THE GRADE AT ALL LANDSCAPE OR PLANTED AREAS THAT ADJUT CONCRETE WALKS OR CURBS SHALL BE DEPRESSED SO THAT THE LANDSCAPING SOIL AND/OR ROCK MATERIAL WILL BE FLUSH WITH THE TOP OF ADJOINING CONCRETE.
2. PROVIDE CURB CUTS FOR DRAINAGE AS REQUIRED BY THE GRADING AND DRAINAGE PLAN.
3. ALL EARTHWORK AND SITE PREPARATION SHALL COMPLY WITH THE GRADING AND DRAINAGE PLAN.
4. THE CONTRACTOR SHALL REMOVE ALL EXISTING SITE IMPROVEMENTS, UTILITIES, AND PLANT MATERIALS AND SHALL DISPOSE OF THEM AS REQUIRED.
5. ALL EXTERIOR CONCRETE SHALL BE 3000 PSI AT 28 DAYS.

ZONING DATA

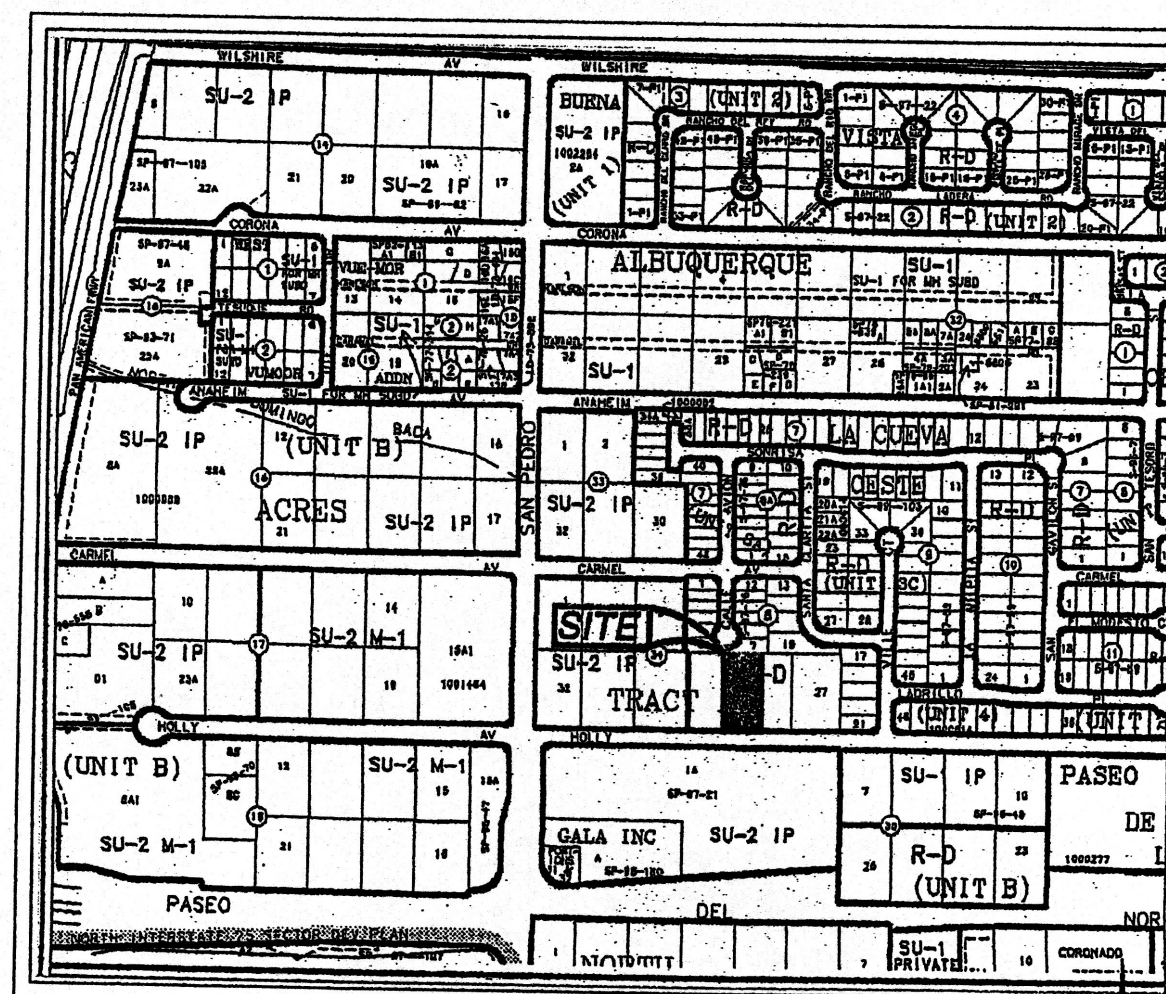
LEGAL: TRACT B-1 PASEO NUEVO 2, ALBUQUERQUE, NM
ADDRESS: 6401 HOLLY AVE NE, ALBUQUERQUE 87113
SITE AREA: 0.7759 ACRES (32,929 SF)
ACTUAL BLDG AREA (32% SITE AREA): 6500 SF
ZONING: SU-2 FOR O-1 (OFFICE)
ATLAS PAGE C-18-Z
REQUIRED SETBACKS:
FRONT: 5-FT
SIDE: 0-FT
REAR: 15-FT
REQUIRED ON-SITE PARKING: 6500 / 200 = 33 SPACES
PROVIDED ON-SITE PARKING: 31 SPACES, PARKING INCLUDES
1 HC AND 1 HO VAN SPACE,
1 MOTOR CYCLE PARKING SPACE PROVIDED
1 BICYCLE RACK PROVIDED

KEYED NOTES

1. Refuse enclosure, see sheet AS-102.
2. Handicapped parking sign, see E/A-101.
3. 3" PVC pipe under pavement for installing irrigation lines. Stub line up inside building for irrigation controller, location per owners direction.
4. Two coats traffic paint. Markings shall be 4" wide striping (yellow on concrete, white on asphalt), as shown throughout the paved areas as shown.
5. Asphalt: general drive area paving (detail H/AS-101), paving at parking areas, shown hatched (detail G/AS-101). See geotechnical report.
6. Handicapped parking symbol. City of Albuquerque standard detail 2426.
7. Handicap ramp, per COABQ standard detail 2441, see F/AS-101. All ramps shall comply with ADA requirements, 1:12 max slope, 1:10 max slope at side flares, and ADA truncated dome mat (detectable warning surface) for the first 36-inches, at the bottom of the ramp.
8. Existing concrete walk, as shown, per COABQ standard detail 2430.
9. Existing wheelchair ramp per City of Albuquerque standard detail 2441 to remain.
11. Existing concrete driveway (per COABQ standard detail 2425) complete to property side of wheelchair ramp on either side. Complete construction into property per detail.
12. Landscaped area, see landscaping plan.
13. Bicycle rack, see I/AS-101.
14. Stucco covered patio wall, 6'-0" high, see 7/S-102.
15. 4' x 8' motorcycle parking space with minimum 12' x 18' sign designating "MOTORCYCLE PARKING". Mount on sign standard with bottom of sign no less 48" above finish grade, see E/A-101.
16. Extend existing PNM electrical service to transformer, see electrical for service entrance to the building.
17. Extend existing PNM gas to new gas meter/regulator, see plumbing for extension to the building.
18. Cobble lined drainage swale, see grading / drainage and landscape plans.
19. Construct 2-ft wide sidewalk culvert per COA standard drawing 2236.
20. Construct 2-ft wide concrete run-down, see grading and drainage.
21. Area drainage pipe under concrete walk, see grading and drainage.
22. Install "NO PARKING" sign.
23. 4-inch high white letters "FIRE LANE NO PARKING" over red painted curb.
24. Install Fire Department knock box.
25. Existing concrete walk to remain, protect during construction.
26. Install new fire hydrant complete with fire line, see site utilities plan. Fire flow requires two fire hydrants.
27. Concrete valley gutter, see grading and drainage.
28. Irrigation control valve box, coordinate exact location with landscaping.
29. Pipe bollard, point to match stucco, see detail L/AS-101.
30. Concrete drainage flume, see grading and drainage.
31. Mechanical package units, install 4-inch concrete housekeeping pad with turned-down edges as required by slope of grade.
32. Lighting standard, see detail M/AS-101 and electrical.
33. Circuit A-37 to time clock pole #1, (3) #10's THWN in 3/4" conduit, see electrical schedules.
34. 2-Way cleanout, see plumbing.
35. 150 LF to second fire hydrant on north side of Holly.
36. LABEL PARKING SPACES "COMPACT" WITH TRAFFIC PAINT.



DIMENSIONED SITE PLAN
10 5 0 20
1" = 20'-0"



LOCATOR / ZONE ATLAS PAGE: C-18-Z

PROJECT NUMBER: 1005132

APPLICATION NUMBER:

IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEER, TRANSPORTATION DIVISION _____ DATE _____

WATER UTILITY DEPARTMENT _____ DATE _____

PARKS AND RECREATION DEPARTMENT _____ DATE _____

CITY ENGINEER _____ DATE _____

ENVIRONMENTAL HEALTH DEPARTMENT _____ DATE _____

SOLID WASTE MANAGEMENT _____ DATE _____

DRB CHAIRPERSON, PLANNING DEPARTMENT _____ DATE _____

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aktarch@earthlink.net

CONSULTANT

STATE OF NEW MEXICO
KENT TRAUBNIGHT
1285
REGISTERED ARCHITECT

PROJECT

DAVID A. BERNITSKY M.D.
OFFICE BUILDING

PROJECT ADDRESS
6401 HOLLY AVE NE
ALBUQUERQUE, NM
87113

MARK DATE DESCRIPTION
ISSUE DATE: 4/15/08

PROJECT NO:
COPYRIGHT AKT ARCHITECTS, LLC
SHEET TITLE

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

AS-100

OCT 30 2008

HYDROLOGY SECTION

RECEIVED